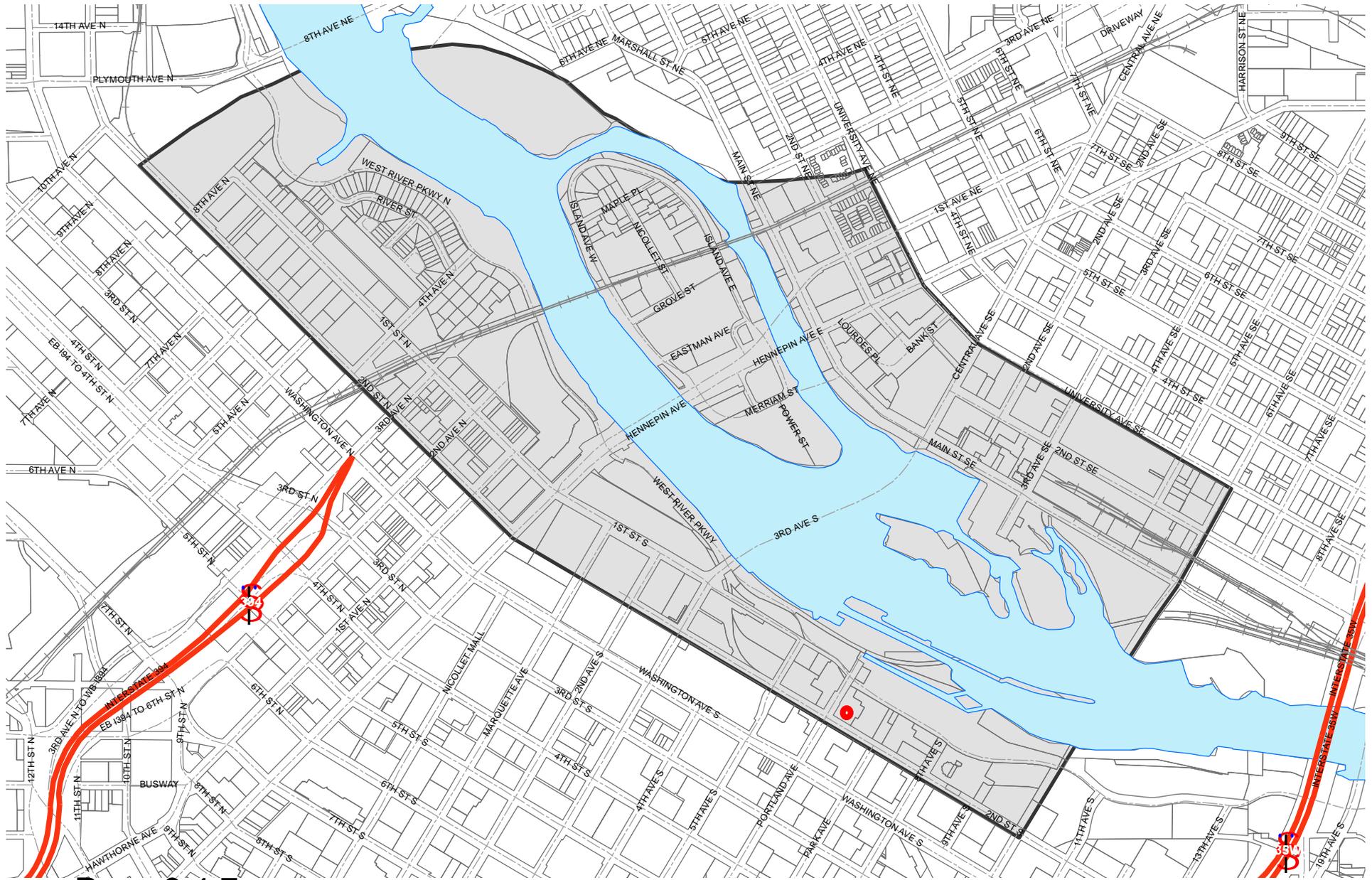


St. Anthony Falls Historic District



Gold Medal Park

W River Pkwy

S 2nd St

Chicago Ave S

Washington Ave

S Washington Ave

S Washington Ave

Portland Ave S

W River Pkwy

Park Ave S

S 2nd St

S Washington Ave

S Washington Ave

W River Pkwy

S 2nd St

Portland Ave S

S 2nd St

West River Parkway

W River Pkwy

Portland Ave S

West River Pkwy

S 1st St

Stone Arch Bridge

Stone Arch Bridge

Stone Arch Bridge

Stone Arch Bridge



October 9, 2013

Aaron Hanauer
Planning Division—CPED
City of Minneapolis
250 South Fourth Street, Room 300 PSC
Minneapolis, Minnesota 55415

Re: Certificate of Appropriateness Application
North Star Lofts Sign Rehabilitation Project, 117 Portland Avenue South

Dear Mr. Hanauer:

I authorize Charlene Roise of Hess, Roise and Company to submit the above application on our behalf.

Sincerely,

A handwritten signature in black ink, appearing to read "Kate Grutzmacher", written in a cursive style.

Kate Grutzmacher for the Board of Directors
North Star Lofts Homeowner Association
117 Portland Avenue South
Minneapolis, Minnesota 55401

Cc: Board of Directors

Contact Ward 7 - Lisa Goodman

Name*

E-mail Address*

Phone Number

Phone Type

Address*

City

State Zip Code*

Question/Comment*

Information you provide is subject to the Minnesota Government Data Practices Act. This law classifies certain information as available to the public on request.

Last updated Jan. 5, 2012

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Contact

DMNA Mailing Address

40 S. 7th Street
Suite 212, PMB 172
Minneapolis, MN 55402
612.659.1279
info@thedmna.org

DMNA Meeting Location

Central Public Library
300 Nicollet Mall
Room N-202
Minneapolis, MN 55401-1992

Send DMNA an E-mail

Subject *

North Star Lofts Sign Rehabilitation Project

Name *

Charlene

Roise

First

Last

Email *

roise@hessroise.com

Message *

I write at the request of the North Star Lofts Homeowner Association, 117 Portland Avenue South. The Association plans to rehabilitate its rooftop and will "North Star Blankets" signs and is submitting an application for a Certificate of Appropriateness to the Minneapolis Heritage Preservation Commission. We hope to have the application on the agenda for the HPC's November 4 public hearing.

If you have any questions in advance of the hearing, please feel free to contact me.

Sincerely,

Charlene Roise
Hess, Roise and Company

SUBMIT



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SUBMIT

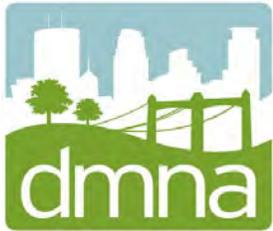
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The next DMNA Board meeting is Tuesday, September 10, at 6 p.m., at ... [\[Read More\]](#)

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**DOWNTOWN
MINNEAPOLIS
NEIGHBORHOOD
ASSOCIATION**

**40 S. 7th Street
Suite 212, PMB 172
Minneapolis, MN 55402
Phone: (612) 659-1279
Online: www.thedmna.org**

October 28, 2013

Aaron Hanauer, Senior City Planner
City of Minneapolis
250 S. 4th Street, Room 300
Minneapolis, MN 55415

Re: North Star Blanket Lofts – Certificate of Appropriateness application

Dear Aaron:

I am writing to you on behalf of the Downtown Minneapolis Neighborhood Association (DMNA) Board of Directors regarding the North Star Blanket Lofts Certificate of Appropriateness application submitted by Hess Roise.

The DMNA Board of Directors received informational materials explaining the project from Charlene Roise from Hess Roise in mid October. Due to the fact the Heritage Preservation Commission is scheduled to hear the application prior to the next DMNA Board meeting, the DMNA reviewed the application electronically.

After reviewing the materials and asking a few questions, the DMNA Board passed a motion recommending approval of Hess Roise's Certificate of Appropriateness application for the North Star Blanket Lofts.

If you have any questions about this letter, please feel free to contact me at christie@hantge.com, or 320-583-4573. You may also contact DMNA Board Chair, Gerry Ewald, at gerrye@g2group-mn.com.

Sincerely,

Christie Rock
DMNA Neighborhood Coordinator

Cc: Charlene Roise, Hess Roise
Gerry Ewald, DMNA Board Chair
Ward 7 Council Member Lisa Goodman



**North Star Lofts
Sign Rehabilitation Project
117 Portland Avenue South**

**Certificate of
Appropriateness Application**

**Minneapolis Heritage
Preservation Commission**

October 2013

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PROJECT NARRATIVE

The two signs atop the historic North Star Woolen Mill building were apparently installed in 1930. Both signs featured the company's iconic upside-down five-pointed star and the words "North Star Blankets." The three-dimensional star and letters were made of sheet metal and seem to have been outfitted with neon lighting the outset. Shortly after the signs were installed, the company went into decline, and the mill was shut down in 1949. It is not known how whether the signs' neon lighting worked until that time. In any event, the neon has not been used in recent memory and at some point the tubes and other components of the neon system were removed. Even without the neon, the signs retain sufficient integrity to contribute to the Saint Anthony Falls Historic District, which was listed in the National Register of Historic Places in 1971. The district is also locally designated.

The North Star Woolen Mill was converted into condominiums in the 1990s, a pioneering effort in revitalizing the Minneapolis riverfront. The signs were painted, but no additional work was done to conserve them. Illuminated at night by spotlights, the signs served as beacons that attracted people and development to the blighted area. Within two decades, the area was transformed into a vibrant neighborhood with a substantial residential population, offices, restaurants, and cultural offerings.

Historic signs are a key component of the character of the Saint Anthony Falls Historic District. The Reddy Kilowatt sign that once topped the Main Street Hydroelectric Plant is long gone but other important signs survive, including the Pillsbury's Best Flour sign on the East Bank, the Grain Belt Beer sign on Nicollet Island, and the North Star Blanket and Gold Metal Flour signs on the West Bank. The preservation of all of these highly visible landmarks, however, is far from assured because most are privately owned and expensive to maintain.

The North Star Lofts Homeowner Association (NSL) is committed to retaining its iconic signs, but recently discovered that deteriorated sections of the signs were falling to the ground. An engineering consultant, Encompass, inspected the signs and concluded that the corroded connections on the support structure needed repairs in the near future, while the wall sign's frame was stable but needed maintenance. The stars and letters contained "significant levels of corrosion, varying from surface corrosion, to a 100% loss of the substrate." The consultant recommended that the components "receive a comprehensive restoration or replacement as soon as the budget allows."

In August 2012, Encompass produced drawings and specifications to solicit bids for repair or replacement of the letters and stars. The scope also included repairs to the structural framing and masonry repair and repointing. NSL requested bids from the masonry contractors for the work on the signs and brick walls. Only two bids were received; both proposed to replace rather than rehabilitate the letters and stars. Bids came in substantially higher than the amount NSL had allocated. The risk of damage from falling metal, however, led NSL to begin obtaining a building permit for replacing the sign components.

Upon consultation with Minneapolis Heritage Preservation Commission staff, NSL reconsidered its plans for replacement and decided to retain and rehabilitate the historic letters and stars.

Encompass revised the drawings and specifications. NSL has received a quote for restoration from Signcrafters, which maintains the Gold Medal Flour sign on the Mill City Museum, and is in the process of getting bids from other sign contractors.

Work Scope

Wall Sign (Area A) and Rooftop Sign (Area B)

Existing feature/condition: A sign is attached to the south wall of the tower and another is attached to a frame on the roof. Both signs have a star and individual letters reading "NORTH STAR BLANKETS." The 3-D star and letters are made of painted sheet metal pierced with grommets for neon light fixtures. The neon tubes and most components of the lighting system are gone and the metal is rusted and deteriorating; sections are falling off.

Work plan: The sheet metal will be examined to identify rusted missing areas; deteriorated sections will be removed; new sections duplicating removed sections will be fabricated in sheet metal; historic metal will be cleaned using the gentlest means possible; replacement sections will be attached to historic sections. The metal will be primed and painted. The contractor will submit shop drawings for HPC staff review and approval before proceeding with the rehabilitation. The work will conform to *Preservation Brief 25: The Preservation of Historic Signs* and other relevant NPS publications.

Rooftop Sign Frame (Area C)

Existing feature/condition: The frame is composed of steel beams and gusset plates bolted together. Most of the structure is painting and the paint is peeling. Rust is visible in many locations.

Work plan: When the sign is removed for rehabilitation, the frame will be cleaned, primed, and repainted. Elements that are missing or very deteriorated will be replaced.

Sign Lighting

Existing feature/condition: Although no historic photographs of the lit sign can be found, remnants of a neon lighting system are visible on both signs. None of the neon tubes remain, and transformers and other equipment are in very poor condition. The signs are currently light by external floodlights.

Work plan: If the budget allows, neon lighting will be incorporated into the signs as it was historically, or LED lighting will be substituted. The expense of neon or LED lighting is anticipated to exceed available funds, however, so while provision will be made for installing neon/LED lighting in the future, it is likely that the existing lighting will be retained for the present time.



PHOTOGRAPHS OF PROPERTY



Photo 1: South side, looking north.



Photo 2 (above): North Star Woolen Mills, circa 1925 (Negative 8146-A)
Photo 3 (below): The signs on the tower, 1957 (Norton and Peel, photographers; NP 242804)
Both photographs from Minnesota Historical Society Collections





The North Star Blanket signs were historically prominent in the West Bank mill district, as the 1937 view above illustrates (Photo 4), and they remain prominent today (Photo 5, below).
Historic image from Minnesota Historical Society Collections; Minneapolis Star Tribune photograph, M.18.H.1 Packet 123





Photo 6 (top left): looking northeast from the corner of Third Avenue and Second Street
 Photo 7 (top right): looking north from the corner of Portland and Washington
 Photo 8 (bottom left) looking north from the corner of Portland and Second Street
 Photo 9 (bottom right): telephoto view of sign, from Portland, looking northeast

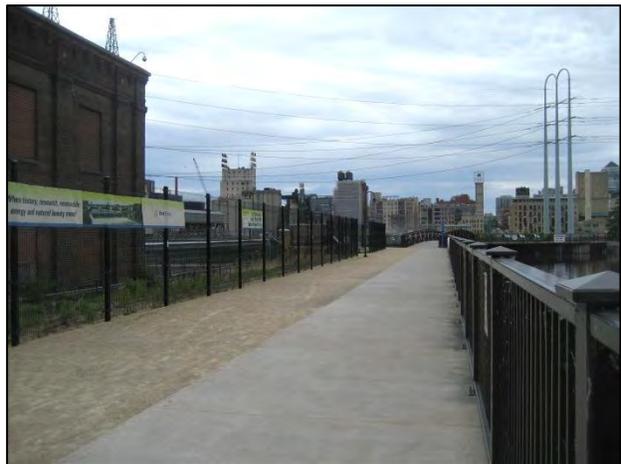
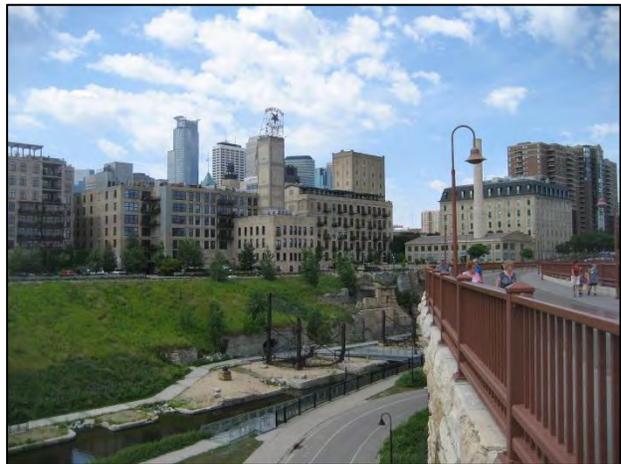


Photo 10 (above): looking southwest from the Stone Arch Bridge

Photo 11 (top right): looking southwest from the Stone Arch Bridge

Photo 12 (center right): looking southwest from the Stone Arch Bridge

Photo 13 (bottom right): looking south from entry to Water Power Park on East Bank





circa: 1983



Wall Sign
Photo 14 (above)
Photo 15 (below left)
Photo 16 (below right)





Wall Sign
Photo 17 (above left)
Photo 18 (above right)
Photo 19 (right)





Rooftop Sign
Photo 20 (above)
Photo 21 (below left)
Photo 22 (below right)





Rooftop Sign Frame
Photo 23 (above)
Photo 24 (below left)
Photo 25 (below right)



DRAWINGS

WORK AREA B

WORK AREA C

WORK AREA A

1
2

ROOF 5

LEVEL 5

LEVEL 4

LEVEL 3

LEVEL 2

LEVEL 1

FOOTING

1
1 SOUTH ELEVATION
NTS

Encompass
 engineering consultants
 forensic analysis

14850 Martin Drive
 Eden Prairie, MN 55344
 Tel: (952) 854-4511
 Fax: (952) 854-3126
 www.encompassinc.com

CERTIFICATION:
 I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature _____
 Name _____
 Date _____
 Registration Number _____

Project Number: **1434-07**
 Date: 6/20/2013
 Drawn: MDI
 Checked: DJI
 Scale: NTS

REVISIONS:
 6/20/2013 REVISED DET

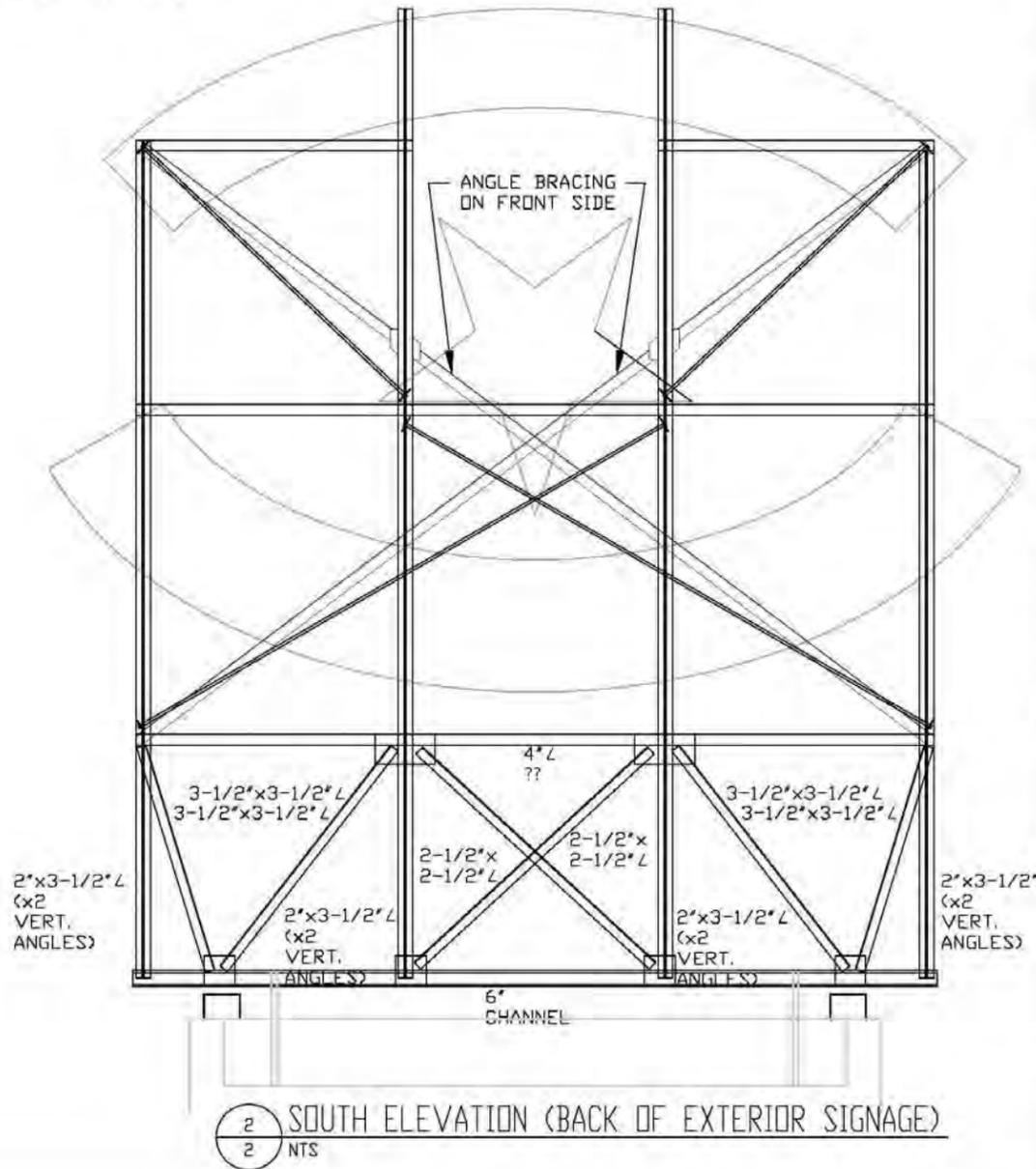
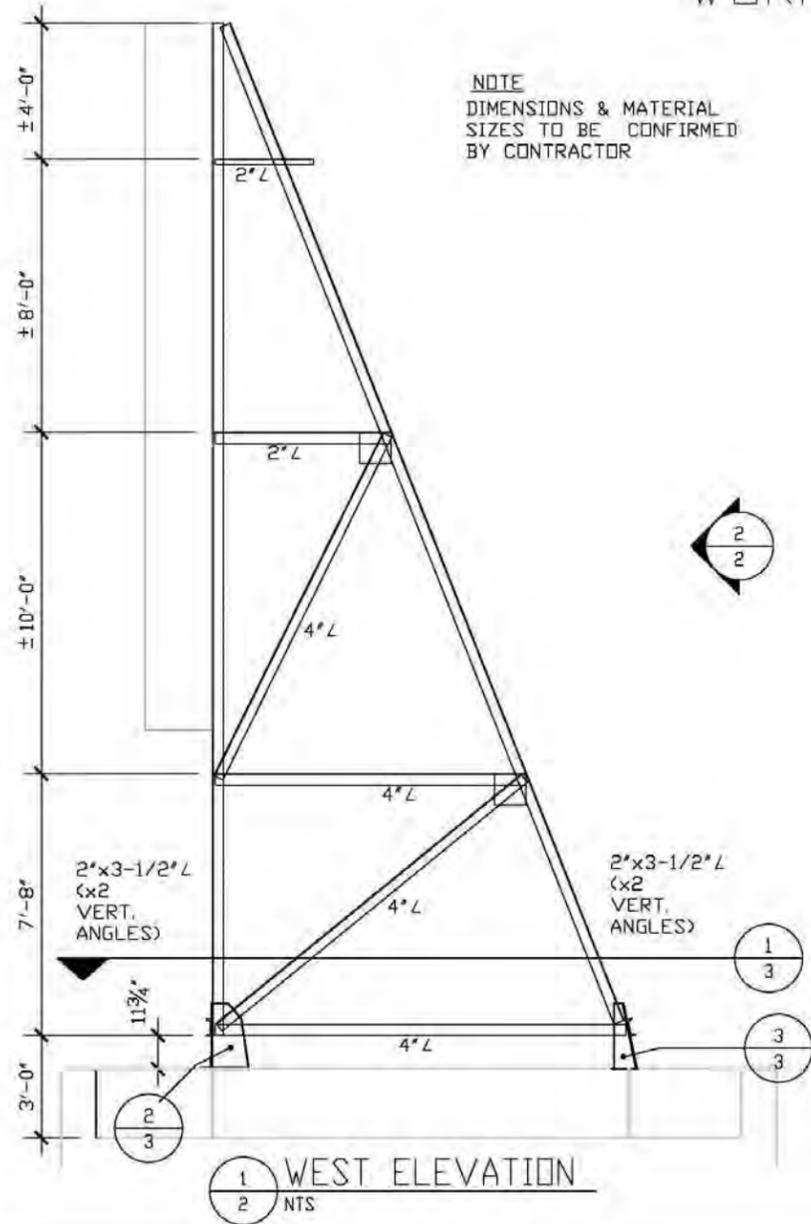
PROJECT:
 NORTH STAR LOFTS
 EXTERIOR SIGNAGE &
 SUPPORT RESTORATION

SHEET TITLE:

SHEET NUMBER:
 1
 SHEET 1 OF 3

WORK AREA C

NOTE
DIMENSIONS & MATERIAL
SIZES TO BE CONFIRMED
BY CONTRACTOR



Encompass
engineering consultants
forensic analysis

14850 Martin Drive
Eden Prairie, MN 55344
Tel: (952) 854-4511
Fax: (952) 854-3126
www.encompassinc.com

CERTIFICATION:
I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: _____
Name: _____
Date: _____
Registration Number: _____

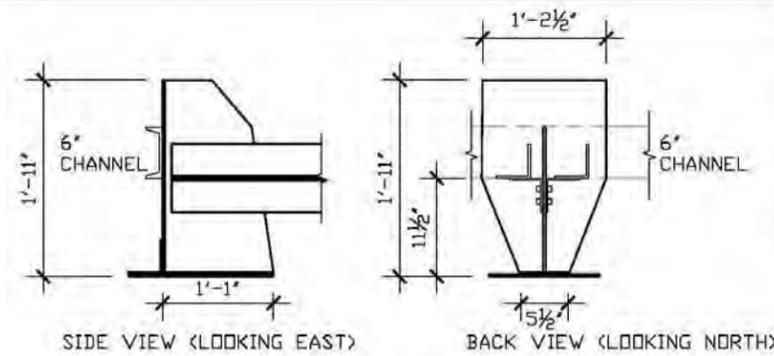
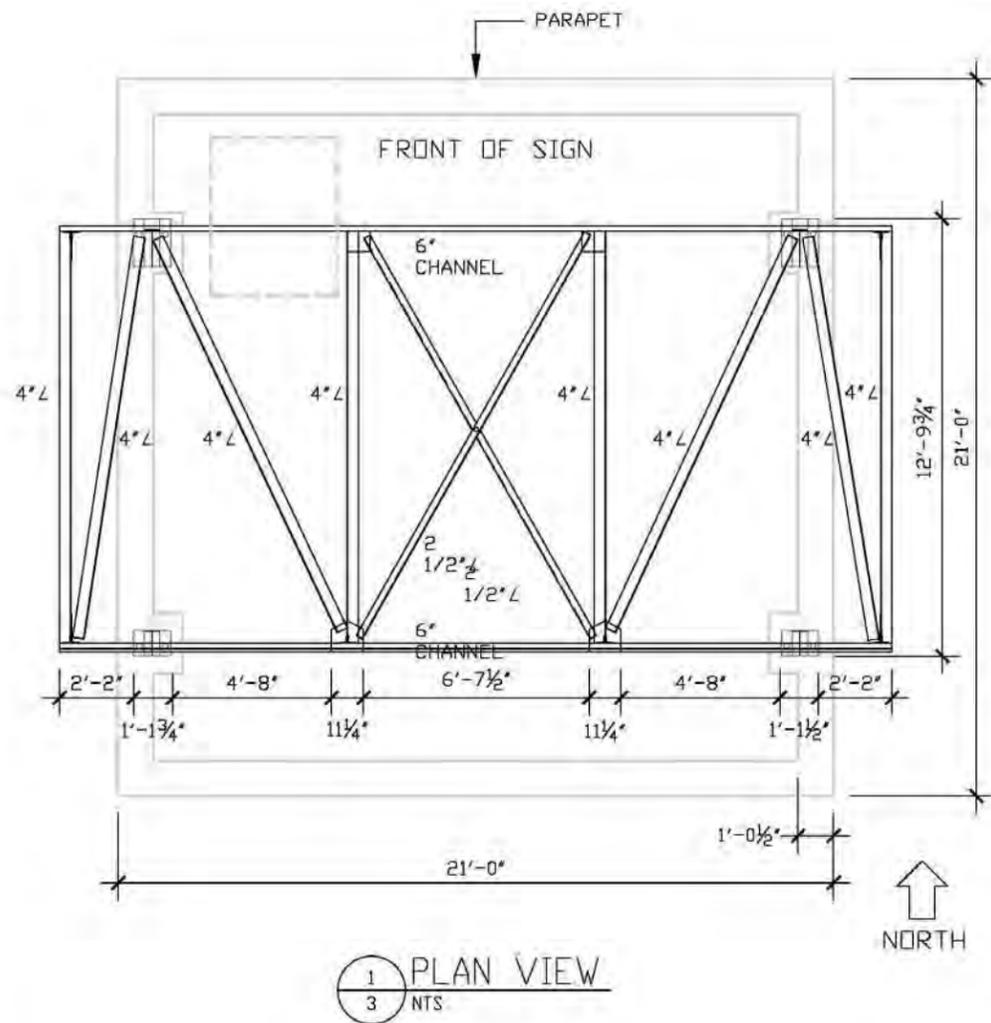
Project Number: **1434-07**
Date: 8/20/2003
Drawn: **WJF**
Checked: **DL**
Scale: **N/S**

REVISIONS:

PROJECT:
NORTH STAR LOFTS
EXTERIOR SIGNAGE &
SUPPORT RESTORATION

SHEET TITLE:

SHEET NUMBER:
2
SHEET 2 OF 3

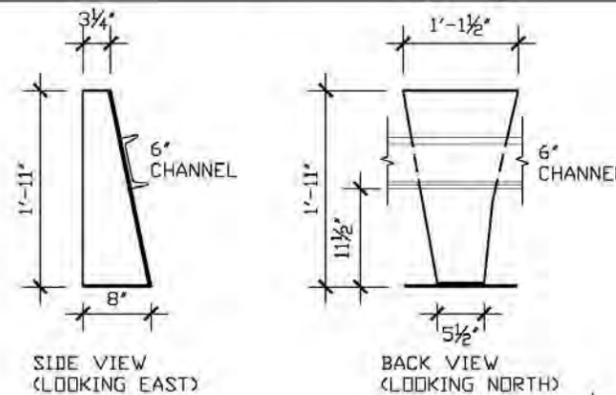
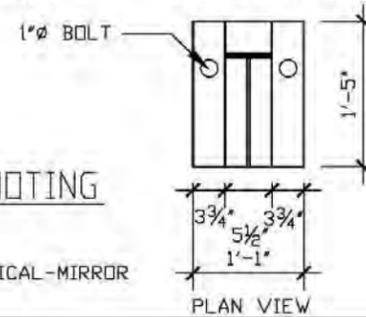


2

3 RIGHT-FRONT FOOTING

NTS

NOTE:
LEFT-FRONT FOOTING TYPICAL-MIRROR

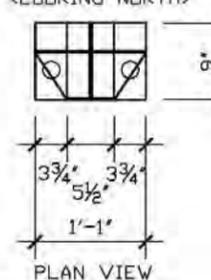


3

3 RIGHT-REAR FOOTING

NTS

NOTE:
LEFT-REAR FOOTING TYPICAL-MIRROR



Encompass
engineering consultants
forensic analysis

14850 Martin Drive
Eden Prairie, MN 55344
Tel: (952) 854-4511
Fax: (952) 854-3126
www.encompassinc.com

CERTIFICATION:
I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: _____
Name: _____
Date: _____
Registration Number: _____

Project Number: 1434-07
Date: 6/20/2005
Drawn: WJF
Checked: JLI
Scale: NTS

REVISIONS:

PROJECT:
NORTH STAR LOFTS
EXTERIOR SIGNAGE &
SUPPORT RESTORATION

SHEET TITLE:

SHEET NUMBER:
3
SHEET 3 OF 3

October 30, 2013

Aaron Hanauer
Senior City planner
CPED Planning Division
250 South 4th Street
Minneapolis, Minnesota



Re: North Star Lofts – Potential Sign Repair project
117 Portland Avenue South
Minneapolis, MN
Enc. Proj. #: 13-1434-007

Dear Aaron:

This letter is to address a request for additional information for the proposed signage repair project, per your letter to Charlene Roisse dated October 28, 2013. This letter has been attached to this document for reference.

The questions are technical in nature and relate to the repair specifications prepared by Encompass, thus I am responding to the request directly.

The question(s) stated in your letter, located in the third bullet paragraph, are as follows:

“Additional details of the rehabilitation work that is proposed to be completed by Signcrafters or other sign contractor from the bides) that have been received to date. It is realized that more specifics will be completed when shop drawings are completed, but are more details available on what is entailed with the metal rehabilitation and replication? Is there any way to estimate how much of the original material will be able to be rehabilitated at the current time.”

For clarity, I will attempt to provide appropriate information for each item individually.

Question/Statement 1: *“Additional details of the rehabilitation work that is proposed to be completed by Signcrafters or other sign contractor from the bides) that have been received to Date.”*

Answer 1: The repair specifications that Signcrafters and other bidders have based their bid on are updated/revised specifications prepared by Encompass, dated August 6, 2013. A set of these repair specifications, drawings, and details are attached at the end of this report for reference. Please note that comments received from your office regarding the 2012 version of these

specifications, specifically elimination of the letter replacement option, had been incorporated into the attached repair documents.

Question 2: "It is realized that more specifics will be completed when shop drawings are completed, but are more details available on what is entailed with the metal rehabilitation and replication?"

Answer 2: Details regarding specific methods for restoring the sheet metal box letters are included in the specifications under Summary of Work 01 11 00 – Sign Restoration Areas A & B, historic preservation guidelines of the SMACNA Architectural Sheet Metal Manual 7th Edition as referenced within the summary of work, and 05 12 10 Ornamental Sheet Metal. Methods are prescribed for both small and large area repairs.

Question 3: "Is there any way to estimate how much of the original material will be able to be rehabilitated at the current time?"

Answer 3: We have revised the specifications to include an estimate of sheet metal repair/replacement, as outlined in Summary of Work 01 11 00 – Sign Restoration Areas A & B, under Base bid quantity. Based on a detailed review of photographs of the letters from different angles, our estimate of material replacement, as outlined in the specifications, is 50%. This estimate may be slightly conservative, yet we tend to err in that direction to prevent costly adds to the owner during the project

Should you have any additional questions, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Curt Isernhagen". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Curt Isernhagen, P.E.
Principal

SUMMARY OF WORK
Section 01 11 00

NORTH STAR LOFTS
2013 EXTERIOR SIGNAGE AND
SUPPORT RESTORATION
Minneapolis, Minnesota

PART I GENERAL

1.1 SECTION INCLUDES

- A. Description of Project.
- B. Contractor Use of Site and Premises.
- C. Work Sequence.
- D. Owner Occupancy.

1.2 DESCRIPTION OF PROJECT

- A. Scope of the project shall consist of conducting brick façade repairs and balcony railing and structural member repainting at The North Star Lofts, located at 117 Portland Avenue South in Minneapolis, Minnesota. Work items include sign restoration and re-lighting, and supplementary masonry restoration in the vicinity of the sign.
- B. Contractor shall verify quantities and existing conditions prior to submitting bid. Contract for the work shall be awarded based on a lump sum total price for the activities included in the scope of the work. Activity price shall be based on the estimated quantities given for each activity. Unit prices for additions or reductions in the actual quantities from the estimated quantities shall be included in the bid.
- C. The following is a general description of the work and quantities to be performed at the building and is intended as an indication of the scope and nature of the project. Additional details of the work are given in the drawings/details.

BASE BID ITEMS

SIGN RESTORATION – AREA A

Scope of Work: Repair will consist of removing, repairing, and re-installing the “NORTH STAR BLANKETS” letters and star emblem. Work description:

- Reference attached elevation sheet 1 for Work Area A.
- Repair will consist of performing sheet metal repairs to, and repainting of star and “NORTH STAR BLANKETS” sheet metal signage components attached to the tower south facade.
- Remove star, all letters, and supporting framing and anchor clips from tower façade for shop restoration/repainting.
- Restore corroded and damaged sheet metal components in accordance with historic preservation guidelines of the SMACNA Architectural Sheet Metal Manual, 7th Edition.
- Remove all loose paint and rust scale via mechanical abrasion.
- Repair holes less than 3/16” by soldering.
- At holes larger than 3/16”, remove deteriorated/rusted metal at edges of holes to provide a clean square edge and patch with new galvanized sheet metal of equal thickness to existing. Solder patch material in place. Grind down all solder joints to provide a smooth finished surface.
- Provide 3/16” diameter weep holes at lowest point of each letter/star.
- Clean and paint all exposed surfaces of structural members as follows: Remove all existing loose paint, rust scale, etc., clean surfaces to SSPC-SP3, coat all structural steel surfaces with spot primer, full primer, and top coat.
- Approved primer/paint products: Spot primer–Sherwin Williams KemKromic Industrial Primer, full prime coat - Sherwin Williams Macropoxy two component catalized epoxy, top coat - Acrolon catalized urethane.
- Signage repair to be conducted in conjunction with new neon or LED lighting.
- Signage repairs to include demolition and disposal of existing conduit and wiring as necessary.
- Reinstall star, letters, and supporting framing at tower façade. Anchor components to facade as shown in Drawings.

Location of Work: South tower facade.

Base bid quantity for SIGN RESTORATION – AREA A: 1 (lump sum), to include sheet metal patching (50% of full sheet metal area is to be assumed for bidding purposes).

SIGN RESTORATION – AREA B

Scope of Work: Repair will consist of removing, repairing, and re-installing the “NORTH STAR BLANKETS” letters and star emblem. Work description:

- Reference attached elevation sheet 1 for Work Area B.
- Repair will consist of performing sheet metal repairs to, and repainting of star and “NORTH STAR BLANKETS” sheet metal signage components attached to tower rooftop structural framing.
- Remove star and all letters for shop restoration/repainting.
- Restore corroded and damaged sheet metal components in accordance with historic preservation guidelines of the SMACNA Architectural Sheet Metal Manual, 7th Edition.
- Remove all loose paint and rust scale via mechanical abrasion.
- Repair holes less than 3/16" by soldering.
- At holes larger than 3/16", remove deteriorated/rusted metal at edges of holes to provide a clean square edge and patch with new galvanized sheet metal of equal thickness to existing. Solder patch material in place. Grind down all solder joints to provide a smooth finished surface.
- Provide 3/16" diameter weep holes at lowest point of each letter/star.
- Clean and paint all exposed surfaces of structural members as follows: Remove all existing loose paint, rust scale, etc., clean surfaces to SSPC-SP3, coat all structural steel surfaces with spot primer, full primer, and top coat.
- Approved primer/paint products: Spot primer–Sherwin Williams KemKromic Industrial Primer, full prime coat - Sherwin Williams Macropoxy two component catalized epoxy, top coat - Acrolon catalized urethane.
- Signage repairs to be conducted in conjunction with new neon or LED lighting.
- Signage repairs to include demolition and disposal of existing conduit and wiring as necessary.

- Reinstall star, letters, and supporting framing at tower roof. Anchor components as shown in Drawings.

Location of Work: Tower roof area.

Base bid quantity for SIGN RESTORATION – AREA B: 1 (lump sum), to include sheet metal patching (50% of full sheet metal area is to be assumed for bidding purposes).

STRUCTURAL FRAMING REPAIRS – AREA C

Scope of Work: Repair will consist of removing, repairing, and re-installing the signage support structure at the tower roof. Work description:

- Reference attached elevation sheet 1 for Work Area C.
- Remove structure, via unbolting from roof, for shop restoration/repainting.
- Deformed Gusset Plates (2 locations): Cut existing rivets connecting deformed gusset plate to channel. Remove bolts from three existing steel angles connected to gusset plate, remove existing gusset plate, install new gusset plate and reattach existing structural members as shown in drawings.
- Clean and paint all exposed surfaces of structural members as follows: Remove all existing loose paint, rust scale, etc., clean surfaces to SSPC-SP3, coat all structural steel surfaces with spot primer, full primer, and top coat.
- Approved primer/paint products: Spot primer–Sherwin Williams KemKromic Industrial Primer, full coat primer - ProCryl Industrial Acrylic Primer, top coat - SherCryl Industrial Acrylic Enamel, all manufactured by Sherwin Williams.

Base bid quantity for STRUCTURAL FRAMING REPAIRS: 1 (lump sum).

SIGN LIGHTING RESTORATION – AREA A & B – NEON OPTION

Scope of Work: Repair will consist of re-establishing neon lighting at the metal signs at area A and B. Work description:

- Reference attached elevation sheet 1 for Work Areas A and B.
- Supply all material, labor, and supporting work to implement a comprehensive neon lighting system for all letters and stars at both “NORTH STAR BLANKETS” signs and star symbols.
- Neon lighting to be implemented in conjunction with restoration of metal sign assemblies.

- Neon lighting to run full length of all letters centered within width of letter, and to run full perimeter of 10 triangular shapes within each star.
- Neon lighting to utilize existing holes in sign for entry and exit points. New attachment clips to be provided for neon tubing, and are to receive same finish as refurbished sign sheet metal.
- Neon lighting is to include all electrical items required to provide current National Electric Code and local code compliant power distribution and related components from the primary service panel to the new lighting. Electrical system additions, electrical modifications, and new lighting assembly layout are to be designed and certified by a qualified electrical engineer licensed in the State of Minnesota, to be included in the contractor's bid.
- Neon lighting is to be red in color and is to provide a minimum light output of 100 lumens/foot.
- A five year warranty for all materials and labor is to be provided.

Location of Work: Signs at work areas A and B.

Base bid quantity for SIGN LIGHTING RESTORATION – AREA A & B – NEON OPTION: 1 (lump sum).

MISCELLANEOUS LABOR

Scope of Work: Provide man-hours for unspecified work activity as directed by the Owner/Engineer on the buildings. This work item is to provide for any contingent activity unanticipated in the scope of the project. Price shall be the total charge assessed for actual labor hours required and shall include the total cost of labor, tools, scaffolding, plant, equipment and all else required to perform the labor, including overhead and profit. Any material required to be installed by this labor shall be provided by the owner, or per executed change order by the contractor. A secondary use of these hours would be contractor personnel time spent assisting with Engineering observation. Bid price shall be provided on a lump sum basis with an add and deduct unit price to adjust the contract sum for variance in the final quantity from the base bid quantity.

Location of Work: Work shall be performed anywhere on the building as directed by the Owner/Engineer, and shall include Contractor's personnel assisting Owner/Engineer during in-process work inspections.

Base bid quantity for MISCELLANEOUS LABOR: 20 Hours.

RIGGING

Scope of Work: Provide all labor, material, plant, equipment, rental and all else necessary for the complete installation of a temporary system of swing stage scaffolding, and/or other suitable means, necessary to access the building façade and to execute the work activities required in the scope of the project on the building. Sufficient scaffolding shall be provided to access the entire façade in the areas designated for work. Contractor shall have the full responsibility for the design, safety, installation, operation, relocation, final removal and all else required for the complete execution of the project. Bid Price shall be provided on a lump sum basis for the base bid and shall be all-inclusive for the complete project.

Location of Work: Scope of the work requires the execution of all work activity described in the summary of work. Swing stages may be suspended and ballasted from the roof, and other building appendages, as approved by the Engineer. Where rigging is proposed to take place on private balconies, or similar locations, approval of the Engineer is required. A minimum of 72 hours notice shall be given to building management before entrance into dwelling units will be allowed.

Base bid quantity for RIGGING: 1 (Lump Sum).

MOBILIZATION/DEMOBILIZATION

Scope of Work: Provide all labor, material, plant, equipment, permits, temporary utilities and facilities, health and safety devices and procedures, waste storage and disposal facilities and all else required and necessary to complete the work contemplated herein. When the project is completed, remove all temporary equipment, facilities and devices from the structure and site and restore the structure and site to its original condition and to the satisfaction of the Engineer. Bid Price shall be provided on a lump sum basis for the base bid and shall be all-inclusive for the complete project.

Location of Work: Activities related to the mobilization and demobilization of the project apply equally to the project site and other appropriate off-site locations central to relevant project requirements.

Base bid quantity for MOBILIZATION/DEMOBILIZATION: 1 Lump Sum.

ALTERNATE BID ITEMS

SIGN LIGHTING RESTORATION – AREA A & B – LED OPTION

Scope of Work: Repair will consist of providing LED “neon-style” tube lighting at the metal signs at area A and B. Work provided is to be the same as base bid item “SIGN”

CERTIFICATE OF APPROPRIATENESS FINDINGS

(1) The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.

The Saint Anthony Falls Historic District was listed in the National Register in 1971. The district is significant for its concentration of mills and other industrial facilities dating from the mid-nineteenth to the mid-twentieth centuries (Criteria A and C), as well as for its archaeological resources (Criterion D). Areas of significance include archaeology, architecture, commerce, industry, and transportation. While the nomination does not identify a period of significance, the HPC has used the period from 1858 to 1940 in past evaluations.

The North Star Woolen Mill contributed to the area's milling legacy, and the two signs installed on the tower in 1930 remain important telltales of that era. By rehabilitating the NSL's historic signs in conformance with the Secretary of the Interior's Standards and with the design guidelines that the HPC has adopted for the Saint Anthony Falls Historic District, the signs will continue to be compatible with and support the criteria of significance and for which the Saint Anthony Falls Historic District was designated.

(2) The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.

In following the Secretary of the Interior's Standards and the HPC Design Guidelines, rehabilitation of the signs will maintain the property's status as a contributing building in the Saint Anthony Falls Historic District.

(3) The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.

In following the Secretary of the Interior's Standards and the HPC Design Guidelines, the rehabilitation will maintain the property's integrity as contributing to the Saint Anthony Falls Historic District.

(4) The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.

The relevant design guidelines for this project are the Saint Anthony Falls Historic District Guidelines, adopted by the Minneapolis Heritage Preservation Commission in 2012. The Guidelines place the property in the West Side Milling Area Complex of the Water Power Character Area. Historic signs are addressed in Chapter 7, General Guidelines, which states: "Historic signs within the historic district have become character defining elements of the district's and city's identity." Specific direction is given by Guideline 7.15: "Historic signs should be maintained and preserved." The proposed rehabilitation of the NSL signs is consistent with this guideline.

(5) *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.*

Plans and specifications for the project conform to the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties. Particularly relevant are the following Standards: Standard 1: The signs will be used as they were historically; Standard 2: Their historic character will be retained and preserved; Standard 5: Distinctive materials, features, and construction techniques that characterize the signs will be preserved; Standard 6: Deteriorated historic elements will be repaired rather than replaced and, where the severity of deterioration requires replacement of a distinctive component, the new component will match the old in design, color, texture, and, where possible, materials. While it is unlikely that the budget will allow restoration of the neon lighting at this time, provision will be made for reinstating the neon (or similar LED lighting) in the future.

(6) *The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.*

Relevant planning documents include:

- City of Minneapolis Comprehensive Plan: The introduction to “Chapter 8, Heritage Preservation,” states: “Minneapolis will promote the sustainable practice of protecting and reusing our culturally significant built and natural environment, including buildings, districts, landscapes, and historic resources, while advancing growth through preservation policies.” Policy 8.1 reads: “Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city’s architecture, history, and culture.”
- Historic Mills District Master Plan (1998) and Update: “Design Concept 4: Historic Resources” in the 1998 plan calls for preserving and celebrating riverfront historic sites and buildings.

The proposed project appears to conform to these documents.

Additional findings for alterations within historic districts.

(1) *The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the District was designated.*

The assumed period of significance for the Saint Anthony Falls Historic District is 1858 to 1940. The wall and rooftop signs were installed on the North Star Milling Company factory during this period. Rehabilitation of the signs according to the Secretary of the Interior's Standards and the HPC Design Guidelines will ensure continued significance and integrity of all contributing properties in the historic district.

(2) Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.

Granting the certificate of appropriateness for the proposed work will be in keeping with the spirit and intent of the ordinance, which is to protect the character of the historic district and its resources. The proposed project will rehabilitate iconic two signs, which will help to protect the essential character of the entire historic district.

(3) The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance. (2001-Or-029, § 1, 3-2-01; 2009-Or-023, § 11, 3-27-2009)

The proposed project will meet the Secretary of the Interior's Standards for Rehabilitation, and will therefore not be injurious to the significance and integrity of other resources that have been identified in the Saint Anthony Falls Historic District. The project will not establish any precedents that might adversely affect the preservation of the district.