



**CPED STAFF REPORT**  
Prepared for the City Planning Commission

CPC Agenda Item #3  
July 28, 2014  
BZZ-6639

**LAND USE APPLICATION SUMMARY**

*Property Location:* 1201 Plymouth Avenue North  
*Project Name:* Precise Products Corporation Addition  
*Prepared By:* [Mei-Ling Anderson](#), City Planner, (612) 673-5342  
*Applicant:* Darrell Freitag, Precise Products  
*Project Contact:* Todd Ofsthun, TCO Design  
*Request:* To allow an 11,520 square foot addition to an existing building.  
*Required Applications:*

<b>Site Plan Review</b>	For an 11,520 square foot addition to an existing building.
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**SITE DATA**

<b>Existing Zoning</b>	11 Light Industrial District
<b>Lot Area</b>	114,193 square feet / 2.62 acres
<b>Ward(s)</b>	5
<b>Neighborhood(s)</b>	Northside Residents Redevelopment Council
<b>Designated Future Land Use</b>	Transitional Industrial
<b>Land Use Features</b>	Community Corridor (Plymouth Avenue North, Fremont Avenue North)
<b>Small Area Plan(s)</b>	<a href="#">Near Northside Master Plan</a>

<b>Date Application Deemed Complete</b>	June 27, 2014	<b>Date Extension Letter Sent</b>	Not applicable
<b>End of 60-Day Decision Period</b>	August 16, 2014	<b>End of 120-Day Decision Period</b>	Not applicable

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** The subject site is approximately 114,193 square feet and contains a one-story building that was built in 1988 by the applicant, Precise Products. The building has been used for precision machining since its construction. The building fronts on Plymouth Avenue North but its primary entrance located on the Fremont Avenue North (east) side of the site, where there is a surface parking lot between the building and street.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The surrounding area contains a range of land uses. There are industrial uses directly to the east and west of the subject site. There is a one-story commercial building on the north side of Plymouth Avenue North. To the south, there is a building containing multi-family housing. The greater neighborhood contains a variety of residential densities, schools, religious institutions, and parks.

**PROJECT DESCRIPTION.** The applicant wishes to construct a one-story addition of 11,520 square feet onto the south side of the existing 35,820 square foot, one-story building. The purpose of the addition is to expand the high-tech precision machining use. As the expansion would also allow the company to add employees to the site, the applicant is also proposing to add 34 parking spaces along the south side of the property, for a total of 88 spaces. The project would also incorporate landscaping improvements and the installation of new bicycle parking spaces.

**PUBLIC COMMENTS.** Staff has not received any public comments related to this project. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

## ANALYSIS

### SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

#### **I. Conformance to all applicable standards of Chapter 530, Site Plan Review.**

##### **Building Placement and Design – Requires alternative compliance**

- The building addition would be set back approximately 69 feet from property line along 12<sup>th</sup> Avenue North and 120 feet from the property line along Fremont Avenue North. Chapter 530 requires that the first floor of buildings be located no more than eight feet from a front lot line. This item requires alternative compliance.
- Landscaping would be provided between the building and lot lines on 12<sup>th</sup> Avenue North and Fremont Avenue North. There would also be parking and loading areas between the building and lot lines, so alternative compliance is requested along both frontages.
- The building addition would add a principal entrance facing 12<sup>th</sup> Avenue North, facing the proposed surface parking lot.
- The applicant is proposing to locate on-site accessory parking between the building and front lot lines along 12<sup>th</sup> Avenue North and Fremont Avenue North. Alternative compliance is requested from the standard that requires on-site accessory parking to be located to the rear or interior to the site.

- The walls of the addition contain walls and doors to break the building into smaller identifiable sections.
- The east, west, and south elevations are subject to the blank wall standard. The west elevation, which faces the side yard of an industrial property, would have a blank wall exceeding 25 feet in width. Alternative compliance is requested for this elevation.
- The proposed exterior materials of the addition would be running bond rock face and stacked bond rock face to match the walls of the existing building. The proposed materials are durable. Plain face concrete block is not a proposed exterior material.
- All sides of the building would be compatible with and similar to each other.
- The principal entrance proposed on the south elevation does not contain features that express the importance of the entrance. Alternative compliance is requested for this standard.
- The east and south elevations face a public street as well as on-site surface parking lots and are subject to the 30 percent windows requirement. On the east elevation, the applicant is proposing five windows between two and ten feet, however, the total amount of windows on this elevation does not meet the minimum 30 percent requirement. The south elevation contains windows but they are located more than ten feet above the adjacent grade. The applicant is proposing glass block on this elevation between two and ten feet, which does not meet the minimum standard for a transparent window per the zoning code standard. The applicant is requesting alternative compliance for the minimum window requirement for ground floor non-residential uses. See **Table I**.
- The windows are generally vertical in proportion and distributed in an even manner.
- The addition is for an industrial use and is therefore not subject to the ground floor active functions requirement.
- The flat line roof pitch is similar to that of surrounding buildings.
- There are no parking garages proposed for the site.

**Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking**

	Code Requirement		Proposed	
<b>East Elevation</b> (Fremont)	30% minimum	171.6 sq. ft.	11.7%	67 sq. ft.
<b>South Elevation</b> (12th)	30% minimum	384 sq. ft.	0%	0 sq. ft.

**Access and Circulation** – *Requires alternative compliance*

- The new building entrance faces 12<sup>th</sup> Avenue North. There is no existing or proposed public sidewalk along 12<sup>th</sup> Avenue North, and no walkway proposed between the building addition and the on-site parking facilities or to the public street. This item requires alternative compliance.
- There are no transit shelters proposed for the site.
- Vehicular access and circulation has not been designed to minimize conflicts with pedestrian traffic. There are two curb cuts currently serving the site and there no additional curb cuts proposed. The site is not immediately adjacent to a residential use or alley. However, there are no walkways provided on-site to connect pedestrians from the on-site parking facilities to the building entrances or to the public street and sidewalk. Alternative compliance is requested.
- The site plan increases the impervious surfaces on the site from 60,336 square feet (52.8%) to 81,819 square feet (71.6% of the site). The applicant is proposing a 26 foot-wide drive

aisle in the new parking area and a 25 foot-wide. The zoning code minimum is 22 feet. In the existing parking area, each of the 54 spaces is larger in width than the zoning code minimum. CPED staff finds that there are additional opportunities to minimize the use of impervious surfaces while maintaining the number of parking spots proposed for the site. This item requires alternative compliance.

### **Landscaping and Screening – Requires alternative compliance**

- The zoning code requires that at least 20 percent of the site not occupied by buildings be landscaped. The lot area of the site is approximately 114,193 square feet and the building footprint would be approximately 47,340 square feet. Twenty percent of the net area must be landscaped for a total of 13,371 square feet. The applicant is proposing 32,374 square feet of on-site landscaping, or 28.4 percent of the total lot and 48 percent of the site not occupied by buildings.
- The applicant is required to provide a total of 27 on-site deciduous trees and 134 shrubs to meet the minimum tree and shrubs requirements in Chapter 530. The applicant is proposing 27 canopy trees and 221 shrubs, which meets the minimum number of trees required and exceeds the minimum number of shrubs required.
- The composition and location of landscaped areas complement scale of the development and its surroundings.
- There is parking lot frontage along Plymouth Avenue North, Fremont Avenue North, and 12<sup>th</sup> Avenue North. A landscaped yard of at least seven feet is required along these property lines. A landscaped yard of 39 feet is provided along Plymouth Avenue North, 19.5 feet is provided along Fremont Avenue North, and seven feet is provided along 12<sup>th</sup> Avenue North. While the landscaped yards meet or exceed the minimum width standards, the applicant is requesting alternative compliance for the number of canopy trees and shrubs required within required landscaped areas. A minimum of one canopy per 500 square feet of required landscaped yards and one shrub per 100 square feet of required landscaped yards are required per section 530.160 of the zoning code.
- A three-foot screen that is at least 60 percent opaque is required along all three parking lot frontages. The applicant has indicated that the berms along Plymouth Avenue North and 12<sup>th</sup> Avenue North create a screen of at least three feet in height. The landscaped area along Fremont Avenue North does not meet the minimum height or opacity requirements for the required screen for the parking area. The applicant is requesting alternative compliance.
- All corners of parking lots that are unavailable for parking or vehicular circulation shall be landscaped as specified for a required landscaped yard. The development meets this standard, as proposed.
- Parking lots with more than ten spaces are required to provide an on-site deciduous tree within 50 feet of all parking spaces. The project meets this standard.
- Surface parking areas are required to have no less than one tree per each 25 linear feet of parking or loading area frontage. This requirement is met along 12<sup>th</sup> Avenue North but not along Plymouth Avenue North or Fremont Avenue North. The applicant is requesting alternative compliance.
- All areas not occupied by buildings, parking, and loading areas contain landscaping.

**Table 2. Landscaping and Screening Requirements**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Lot Area</b>	--	114,193 sq. ft.
<b>Building footprint</b>	--	47,340 sq. ft.
<b>Remaining Lot Area</b>	--	66,853 sq. ft.
<b>Landscaping Required</b>	13,371 sq. ft.	32,374 sq. ft.
<b>Canopy Trees (1: 500 sq. ft.)</b>	27 trees	27 trees
<b>Shrubs (1: 100 sq. ft.)</b>	134 shrubs	221 shrubs

**Additional Standards – Requires alternative compliance**

- Continuous concrete curbing would be provided along the perimeter of the parking areas on 12<sup>th</sup> Avenue North and Fremont Avenue North. The applicant is proposing concrete wheel stops along the south building wall of the addition. Staff encourages the applicant explore on-site filtration.
- The one-story building addition should not impede any views of important elements of the city.
- The shadowing effects should not be significant and wind currents should not be a concern.
- The site design provides natural access controls on the site and provides sufficient lighting levels throughout the parking areas and along the building walls. There is a strong delineation between public and private space through the use of landscaping and an existing fence with a gate. However, the building addition provides very few windows at ground level for natural surveillance and visibility. This item requires alternative compliance.
- The existing building is not designated nor is it eligible for designation.

**2. Conformance with all applicable regulations of the zoning ordinance.**

The proposed use is *permitted* in the II Light Industrial District.

**Off-street Parking and Loading – Meets requirements**

- The existing parking area on site contains 54 spaces. The project would add 34 spaces for a total of 88 spaces.
- The minimum parking requirement for light industrial uses is equal to one space per 1,000 square feet of gross floor area (GFA) up to 20,000 square feet plus one space per 2,000 square feet of GFA in excess of 20,000 square feet. The gross floor area of the proposed building is 47,340 square feet and the minimum parking requirement is 34 spaces.
- The maximum parking requirement for light industrial uses is equal to one space per 200 square feet of GFA up to 20,000 square feet plus one space per 1,000 square feet of GFA in excess of 20,000 square feet. The maximum parking allowance for a light industrial building with 47,340 square feet in GFA is 128 spaces. The applicant is proposing 88 spaces, which falls within allowed range.
- The building is required to provide three bicycle parking spaces, of which two meet the standards for short-term bicycle parking per Chapter 54I. The applicant is proposing to provide three short-term bicycle parking spaces near the Fremont Avenue North building entrance.
- The building is required to provide two large loading spaces. The applicant is providing two large loading spaces which would be located at the southeast corner of the existing building.

**Table 3. Vehicle Parking Requirements Per Use (Chapter 54I)**

	<b>Minimum Parking Requirement</b>	<b>Maximum Parking Allowed</b>	<b>Proposed</b>
<b>Light Industrial</b>	34	128	88

**Table 4. Bicycle Parking and Loading Requirements (Chapter 54I)**

	<b>Minimum Bicycle Parking</b>	<b>Minimum Short-Term</b>	<b>Minimum Long-Term</b>	<b>Proposed</b>	<b>Loading Requirement</b>	<b>Proposed</b>
<b>Light Industrial</b>	3	Not less than 50%	--	3	2 large loading spaces	2 large loading spaces

**Building Bulk and Height – Meets requirements**

- The maximum floor area ratio in the II zoning district is 2.7. The proposed building contains 47,340 square feet in gross floor area and the floor area ratio of the development would be 0.4.
- The proposed building addition would be 20 feet 8 inches tall at its highest point. This is well below the district maximum of four stories/56 feet, whichever is less.

**Table 5. Building Bulk and Height Requirements**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Lot Area</b>	--	114,193 sq. ft. / 2.62 acres
<b>Gross Floor Area (GFA)</b>	--	47,340 sq. ft.
<b>Maximum Floor Area Ratio (GFA/Lot Area)</b>	2.7	0.4
<b>Maximum Building Height</b>	4 stories or 56 feet, whichever is less	20 ft. 8 in. / 1 story

**Residential Lot Requirements – Not applicable**

**Yard Requirements – Not applicable**

- In the II district, yards are not required unless adjacent to a residence or office residence district, or permitted or conditional residential use. The site is not adjacent to any residential uses or residence or office residence districts.

**Signs – Not applicable**

- Signs are subject to Chapter 543 of the Zoning Code. All new signs are required to meet the requirements of Chapter 543 of the zoning code. The applicant is not proposing new signage at this time.

**Dumpster Screening – Meets requirements**

- There will be a refuse storage area located within the building near the loading area.

**Screening of Mechanical Equipment** – *Not applicable*

- There is mechanical equipment proposed for the exterior of the site.

**Lighting** – *Meets requirements with Conditions of Approval*

- A lighting plan showing footcandles shall be submitted to show compliance with the requirements of Chapter 535, Regulations of General Applicability.

**Impervious Surface Area** – *Not applicable*

**Specific Development Standards** – *Not applicable*

**3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.**

*The Minneapolis Plan for Sustainable Growth* identifies the site as Transitional Industrial on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

**Urban Design Policy 10.12: Design industrial uses with appropriate transitions and other design features which minimize negative impacts on surrounding residential uses.**

- 10.12.1 Provide appropriate physical transition and separation using green space, fencing, setbacks or orientation between industrial uses and other surrounding uses.

**Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.**

- 10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.
- 10.18.17 Minimize the width of ingress and egress lanes along the public right of way in order to provide safe pedestrian access across large driveways.

**Urban Design Policy 10.19: Landscaping is encouraged in order to complement the scale of the site and its surroundings, enhance the built environment, create and define public and private spaces, buffer and screen, incorporate crime prevention principles, and provide shade, aesthetic appeal, and environmental benefits.**

- 10.19.1 In general, larger, well-placed, contiguous planting areas that create and define public and private spaces shall be preferred to smaller, disconnected areas.
- 10.19.2 Plant and tree types should complement the surrounding area and should include a variety of species throughout the site that include seasonal interest. Species should be indigenous or proven adaptable to the local climate and should not be invasive on native species.
- 10.19.3 Landscaped areas should include plant and tree types that address ecological function, including the interception and filtration of stormwater, reduction of the urban heat island effect, and preservation and restoration of natural amenities.
- 10.19.5 Landscaping plans should be designed to facilitate future maintenance including the consideration of irrigation systems, drought and salt-resistant species, ongoing performance of storm water treatment practices, snow storage, access to sun, proximity to buildings, paved surfaces and overhead utilities.

The applicant is proposing to add 17 canopy trees to the site, which would be placed in a way that would reduce the visual impact of the on-site automobile parking facilities and enhance the urban tree canopy in this location.

#### **4. Conformance with applicable development plans or objectives adopted by the City Council.**

The Near Northside Master Plan applies to the Near North neighborhood, which contains the subject site. The plan specifically focuses on the development of an attractive and sustainable mixed-income, mixed-density neighborhood. However, the subject site falls outside of the boundaries of the area to which the plan's action plan applies and does not contain residential uses, so the plan's recommendations do not directly apply to the proposed development.

#### **5. Alternative compliance.**

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Building Placement.** The building addition would be set back approximately 69 feet from property line along 12<sup>th</sup> Avenue North and 120 feet from the property line along Fremont Avenue North. Chapter 530 requires that the first floor of buildings be located no more than eight feet from a front lot line. This item requires alternative compliance. Staff recommends granting alternative compliance, as the addition continues the building wall from the existing building and it would not be possible for any addition, unless it were much larger, to be within eight feet of any of the street frontages given the location of the existing building.
- **Amenities between the property lines and buildings.** Landscaping would be provided between the building and lot lines on 12<sup>th</sup> Avenue North and Fremont Avenue North. There would also be parking and loading areas between the building and lot lines, so alternative compliance is requested along both frontages. Staff recommends granting alternative compliance, as the existing building is located in the northwestern portion of the site and there are a limited number of options for adding a building addition or a new parking area. In addition, the site is unusual in that it abuts a public street on three sides of the property and it is difficult to bring the site into compliance with this standard for that reason.
- **Location of parking areas.** The applicant is proposing to locate on-site accessory parking between the building and front lot lines along 12<sup>th</sup> Avenue North and Fremont Avenue North. Alternative compliance is requested from the standard that requires on-site accessory parking to be located to the rear or interior to the site. Staff recommends granting alternative compliance, as this condition is existing along Fremont Avenue North and there are no other areas where it would be practical to add a building addition and parking area given the layout of the site.
- **Blank walls.** The east, west, and south elevations are subject to the blank wall standard. The west elevation, which faces the side yard of an industrial property, would have a blank wall exceeding 25 feet in width. Alternative compliance is requested for this elevation. It would be practical to require compliance with this standard given that the south elevation of the building contains windows and the use that is interior to that elevation is the same as the use that is interior to the west building wall.
- **Emphasis of principal entrances.** The principal entrance proposed on the south elevation does not contain features that express the importance of the entrance.

Alternative compliance is requested for this standard. It would be practical to require compliance with this standard.

- **Windows.** The east and south elevations face a public street as well as on-site parking areas and are subject to the 30 percent windows requirement. On the east elevation, the applicant is proposing five windows between two and ten feet, however, the total amount of windows on this elevation does not meet the minimum 30 percent requirement. The south elevation contains windows but they are located more than ten feet above the adjacent grade. The applicant is proposing glass block on this elevation between two and ten feet, which does not meet the minimum standard for a transparent window per the zoning code standard. The applicant is requesting alternative compliance for the minimum window requirement for ground floor non-residential uses for security reasons. On the south elevation, there are windows provided on the first floor above ten feet to allow light into the building on this side. The east elevation of the existing building exceeds the windows requirement and offsets the impact of the lower proportion of windows on the addition. In addition to these alternatives, staff is recommending that the applicant comply with the landscaping requirements by providing additional enhanced landscaping with seasonal interest and a variety of plant types in the required landscaped areas to enhance the delineation between public and private space. Staff is recommending that alternative compliance be granted.
- **Pedestrian walkway.** The new building entrance faces 12<sup>th</sup> Avenue North. There is no existing or proposed public sidewalk along 12<sup>th</sup> Avenue North, and no walkway proposed between the building addition and the on-site parking facilities or to the public street. This item requires alternative compliance. Staff finds that it would be practical to require that the applicant provide a four-foot walkway along the south building entrance to connect the south building entrance to the adjacent parking facilities. Staff is recommending that the Commission grant alternative compliance from the requirement that a walkway connect to 12<sup>th</sup> Avenue North because the street does not currently feature a public sidewalk. However, staff encourages the applicant to consider providing a dedicated walkway to the public street.
- **Vehicular access and circulation.** Vehicular access and circulation has not been designed to minimize conflicts with pedestrian traffic. There are two curb cuts currently serving the site and there no additional curb cuts proposed. The site is not immediately adjacent to a residential use or alley. However, there are no walkways provided on-site to connect pedestrians from the on-site parking facilities to the building entrances or to the public street and sidewalk. Alternative compliance is requested. Staff finds that it would be practical to require compliance with this standard for the new parking area to minimize potential vehicular-pedestrian conflicts.
- **Impervious surfaces.** The site plan increases the impervious surfaces on the site from 60,336 square feet (52.8%) to 81,819 square feet (71.6% of the site). The applicant is proposing a 26 foot-wide drive aisle in the new, south parking area and a 25 foot-wide aisle in the east parking area. The zoning code minimum is 22 feet. In the existing parking area, each of the 54 spaces is larger in width than the zoning code minimum. CPED staff believes there are additional opportunities to minimize the use of impervious surfaces while maintaining the number of parking spots proposed for the site. This item requires alternative compliance. Staff finds that it would be practical to require the applicant to reduce the amount of impervious surfaces in the proposed parking area through a combination of restriping the existing parking area and designing the new parking area in a way that meets the minimum drive aisle and parking space dimension requirements.
- **Screening.** A three-foot screen that is at least 60 percent opaque is required along all three parking lot frontages. The applicant has indicated that the berms along Plymouth

Avenue North and 12<sup>th</sup> Avenue North create a screen of at least three feet in height. The landscaped area along Fremont Avenue North does not meet the minimum height or opacity requirements for the required screen for the parking area. The applicant is requesting alternative compliance. Staff finds that it would be practical to require the applicant to comply with the screening standard along Fremont Avenue North by providing additional shrubs or a dense hedge.

- **Minimum shrubs and trees in required landscaped yards.** There is parking lot frontage along Plymouth Avenue North, Fremont Avenue North, and 12<sup>th</sup> Avenue North. A landscaped yard of at least seven feet is required along these property lines. A landscaped yard of 39 feet is provided along Plymouth Avenue North, 19.5 feet is provided along Fremont Avenue North, and seven feet is provided along 12<sup>th</sup> Avenue North. While the landscaped yards meet or exceed the minimum width standards, the applicant is requesting alternative compliance for the number of canopy trees and shrubs required within required landscaped areas. Properties subject to site plan review are required to provide a minimum of one canopy per 500 square feet and one shrub per 100 square feet of required landscaped yards. Staff finds that it would be practical to require the applicant to provide additional trees and shrubs in required landscaped yards in order to comply with the minimum landscaping materials for required yards standards per section 530.160 of the zoning code.
- **Linear tree requirement.** Surface parking areas are required to have no less than one tree per each 25 linear feet of parking or loading area frontage. This requirement is met along 12<sup>th</sup> Avenue North but not along Plymouth Avenue North or Fremont Avenue North. The applicant is requesting alternative compliance. The applicant is proposing to add 17 canopy trees to the site, including four trees along Fremont Avenue North. In order to maintain consistent spacing between the existing trees, the distance between each tree along Fremont, as proposed, would range between 25 and 38 feet. However, there is a boulevard tree between the trees with the largest linear distance. Staff recommends granting alternative compliance in order to maintain the orderliness of the distribution in the new and proposed trees along this side of the property.
- **Natural surveillance and visibility.** The site design provides natural access controls on the site and provides sufficient lighting levels throughout the parking areas and along the building walls. There is a strong delineation between public and private space through the use of landscaping and an existing fence with a gate. However, the building addition provides very few windows at ground level for natural surveillance and visibility. The applicant has indicated that they are requesting alternative compliance because windows pose a security concern for this side of the building. As an alternative, the applicant is proposing clerestory windows and glass block along the south elevation. In addition to these alternatives, staff is recommending that the applicant comply with the landscaping requirements by providing additional enhanced landscaping with seasonal interest and a variety of plant types in the required landscaped areas to enhance the delineation between public and private space.

## RECOMMENDATIONS

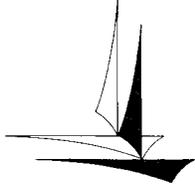
### **Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow an 11,520 square foot addition at the property located at 1201 Plymouth Avenue North, subject to the following conditions:

1. Approval of the final site, elevation, landscaping, and lighting plans by CPED.
2. All site improvements shall be completed by July 28, 2016, unless extended by the zoning administrator, or the permit may be revoked for non-compliance.
3. All signs shall comply with Chapter 541 of the Zoning Code. All new signage requires a separate permit from CPED.
4. The applicant shall provide windows, recesses, or projections on the west elevation of the addition to eliminate blank walls exceeding 25 feet.
5. The applicant shall add features to the doorway facing 12<sup>th</sup> Avenue North to emphasize that it is a principal entrance.
6. The applicant shall provide a four-foot wide pedestrian walkway along the south building wall to connect the principal entrance to new on-site parking facilities.
7. The applicant shall reduce the amount of impervious surfaces in the proposed parking area by adjusting the drive aisle and parking space dimensions and maximizing landscaping.
8. The applicant shall provide additional trees, shrubs or a dense hedge along Fremont Avenue North to comply with the parking and loading landscaping and screening requirements.
9. The applicant shall provide additional trees and shrubs in required landscaped yards in order to comply with the minimum landscaping materials for required yards standards per section 530.160 of the zoning code.
10. Additional enhanced landscaping with seasonal interest and a variety of plant types shall be provided in the required landscaped areas as an alternative to complying with the window requirements.

## ATTACHMENTS

1. PDR report
2. Written description and findings submitted by applicant
3. Zoning map
4. Survey
5. Plans
6. Building elevations
7. Photos



Minneapolis Development Review  
250 South 4<sup>th</sup> Street  
Room 300  
Minneapolis, MN 55415

## Preliminary Development Review Report

**Development Coordinator Assigned:** **MATTHEW JAMES**  
**(612) 673-2547**  
**matthew.james@minneapolismn.gov**

<b>Status *</b>
<b>RESUBMISSION REQUIRED</b>

<b>Tracking Number:</b>	PDR 1001200
<b>Applicant:</b>	PRECISE PRODUCTS 1201 PLYMOUTH AVE N. MINNEAPOLIS, MN 55411
<b>Site Address:</b>	1201 PLYMOUTH AVE N
<b>Date Submitted:</b>	14-MAY-2014
<b>Date Reviewed:</b>	21-MAY-2014

### Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: [http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions\\_home.asp](http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp).

**DISCLAIMER:** *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

### Project Scope

11,520 sf addition to existing 36,000 sf commercial building.

### Review Findings (by Discipline)

#### Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed addition will not effect the current address and will remain 1201 Plymouth Ave N.

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\***Approved:** You may continue to the next phase of developing your project.

\***Resubmission Required:** You cannot move forward or obtain permits until your plans have been resubmitted and approved.

**□ Historical Preservation Committee**

- There is no HPC flag on this property. HPC review is not required at this time.

**□ Parks - Forestry**

- Contact Paul Martinson (612-499-9209) regarding removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
  - <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, the calculated dedication fee is as follows:
  - Park Dedication Fee Calculation =
  - Non-Residential Commercial Space = \$4,600
  - 5% of \$XX (Administration Fee) = \$230
  - Total Park Dedication Administrative Fee: = \$4,830
  - This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
  - For further information, please contact Matthew James at (612) 673-2547

**□ Zoning - Planning**

- Based on staff's preliminary review, the following land use applications have been identified:
  - Site plan review to allow an 11,520 square foot building addition.
  - The applicant will need to request alternative compliance for the following Site Plan Review requirements. Staff encourages the applicant to eliminate as many of these as possible while proposing alternatives. For the land use application, the applicant should provide a statement explaining why they are requesting alternative compliance for any of the standards in the Site Plan Review chapter that are not met.
  - 30 percent of the walls on the first floor shall be windows. Glass block shall not count toward the windows requirement.
  - In larger buildings, architectural elements, including recesses or projections, windows and entries, shall be emphasized to divide the building into smaller identifiable sections. The variation in building materials shall not count toward this requirement.
  - Blank, uninterrupted walls that do not include windows, entries, recesses or projections, or other architectural elements, shall not exceed twenty five (25) feet in length.
  - Not less than 1 tree shall be provided for each 25 linear feet of parking or loading area frontage as measured from the center of the tree.
  - No parking space shall be located more than 50 feet from the center of an on-site deciduous tree. Tree islands located within the interior of a parking lot shall have a minimum width of 7' in any direction.
  - Clear and well-lighted walkways shall connect building entrances to the adjacent public sidewalk and to any parking facilities located on the site. Such walkways shall be a minimum of four (4) feet in width.
  - A seven-foot landscaped strip, located entirely within the property line, is required for all parking lot frontage areas on 12th and Fremont.

- A 3-foot, 60% opaque screen is required along 12th Ave N and Fremont Ave N. and Plymouth Ave N. The screening for the parking lot frontage along Plymouth should be 6 feet in height and 95% opaque. A non-coated chain-link fence shall not count as a decorative fence.
- Staff would like the applicant to address the following items on the plans:
  - Dimensions of each façade for each building elevations (existing and the addition). Clarify whether the materials will match the existing building.
  - As site plan review regulations apply to the entire site, please indicate the materials of all landscaped and non-landscaped areas.
  - Indicate the species and mature height of all proposed canopy trees and shrubs that will fulfill the landscaping requirement of at least 27 canopy trees and 134 shrubs total. This information is best presented in tabular format in the landscape plan. Clarify the number of existing shrubs on the landscaping plan - currently there are two different numbers provided.
  - Please clarify the materials of the proposed fencing for the entire site and indicate what is currently there versus what is proposed, if applicable.
  - Please provide a grading plan for the proposed development that includes contour lines.
  - Staff would like to see the following items in the revised plans and the City Planning Commission may require them as conditions of approval.
  - Please provide at least 3 bicycle parking spaces, of which at least 2 meet the standards for short-term bicycle parking in Chapter 541.

#### ☐ Sewer Design

- Stormwater Management: Please note the land disturbing area associated with the project is identified as being slightly under 1 acre. If the scope of the proposed project expands to include land disturbing activity of 1 acre or more, the project would be subject to the stormwater treatment requirements in Chapter 54 of the Minneapolis Code of Ordinances. Given the size of the project, it is recommended that stormwater treatment practices be considered. There is a Stormwater Utility Fee credit that the property could be eligible for if stormwater treatment is provided.
- It is highly recommended that stormwater modeling be completed with the proposed addition design. This will ensure proper improvements are planned to accommodate stormwater runoff. It is very likely that with the addition of the impervious surfaces on the site, ponding of stormwater runoff on the site may result.
- Surface Drainage: Please provide a proposed grading plan in sufficient detail to depict the proposed grading of the site, with spot elevations and proposed contours. Please note drainage from the west side of the proposed addition must be addressed on the site and not negatively impact the adjacent property.
- Utility Connections: All existing storm sewer on the property should be shown on the existing conditions plan. There is storm sewer identified on Sheet C3 as existing but is not shown on the existing conditions survey.
- Erosion Control: An erosion and sediment control plan in conformance with Chapter 52 of the Minneapolis Code of Ordinances is required for the project. Please provide a copy of the erosion and sediment control plan for review.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or [jeremy.strehlo@minneapolismn.gov](mailto:jeremy.strehlo@minneapolismn.gov).

#### ☐ Right of Way

- The plan as submitted meets the requirements of the Public Works Right-Of-Way Division.

#### ☐ Street Design

- The plan as submitted meets the requirements of the Public Works Street Design Division.

**❑ Traffic and Parking**

- The plan as submitted meets the requirements of the Public Works Traffic & Parking Services Division.

**❑ Water**

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.

**❑ Fire Safety**

- Maintain a fire suppression system coverage throughout new addition.

**❑ Construction Code Services**

- Where restricted entrances are provided to a building or facility, at least one restricted entrance to the building shall be accessible; and, Where buildings have multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located near the accessible entrance.
- It appears there may be 2 restricted employee entrances with this addition? Verify and show accessibility parking features at one of these restricted entrances, so as to meet accessibility code with dispersed parking.
- The following are typical accessible comments;
- -Accessible routes shall consist of walking surfaces or slopes not steeper than 1:20.
- -Access aisles are to be marked "no parking" per 502.4.4 ANSI A117.1 2003
- -Maximum slope 1:48 for access aisle and parking space per 502.5
- -Accessible parking spaces and access aisles to be 96" (8') width 502.4.2.
- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information or Contact Karon Cappaert at 651-602-1118 or [karon.cappaert@metc.state.mn.us](mailto:karon.cappaert@metc.state.mn.us).  
[http://www.ci.minneapolis.mn.us/mdr/docs/sac\\_availability\\_charge.pdf](http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf).

**❑ Environmental Health**

- If impacted soil is encountered during site activities work will need to stop and notification provided to the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

END OF REPORT

# TCO Design

9330 Thomas Avenue North  
Brooklyn Park, MN 55444  
952-994-8276  
[todd@tcodeesign.net](mailto:todd@tcodeesign.net)

May 7, 2014

To: City of Minneapolis

Precise Products Corporation  
1201 Plymouth Avenue North  
Statement of proposed use and description

To who it may concern,

We are proposing an 11,520 sf addition to an existing 36,000 sf building. The existing building was built in 1988 for the purpose of small metal parts machining. It has been used for this purpose since 1988. The proposed addition is an expansion of the shop area in order to provide better service for their clients by increasing production and employees.

Precise Products Corporation runs a high tech modern precision machining business. The small parts are machined within cutting booths. Because the booths prevent high volume of noise and dust, the workspace is comfortable to employees and visitors. The new area will be run in the same manner as the existing space.

The addition will have the same construction materials and colors as the existing. This give the finished building the look of continuity. It will continue to be maintained and remain an asset to the North side neighborhood.

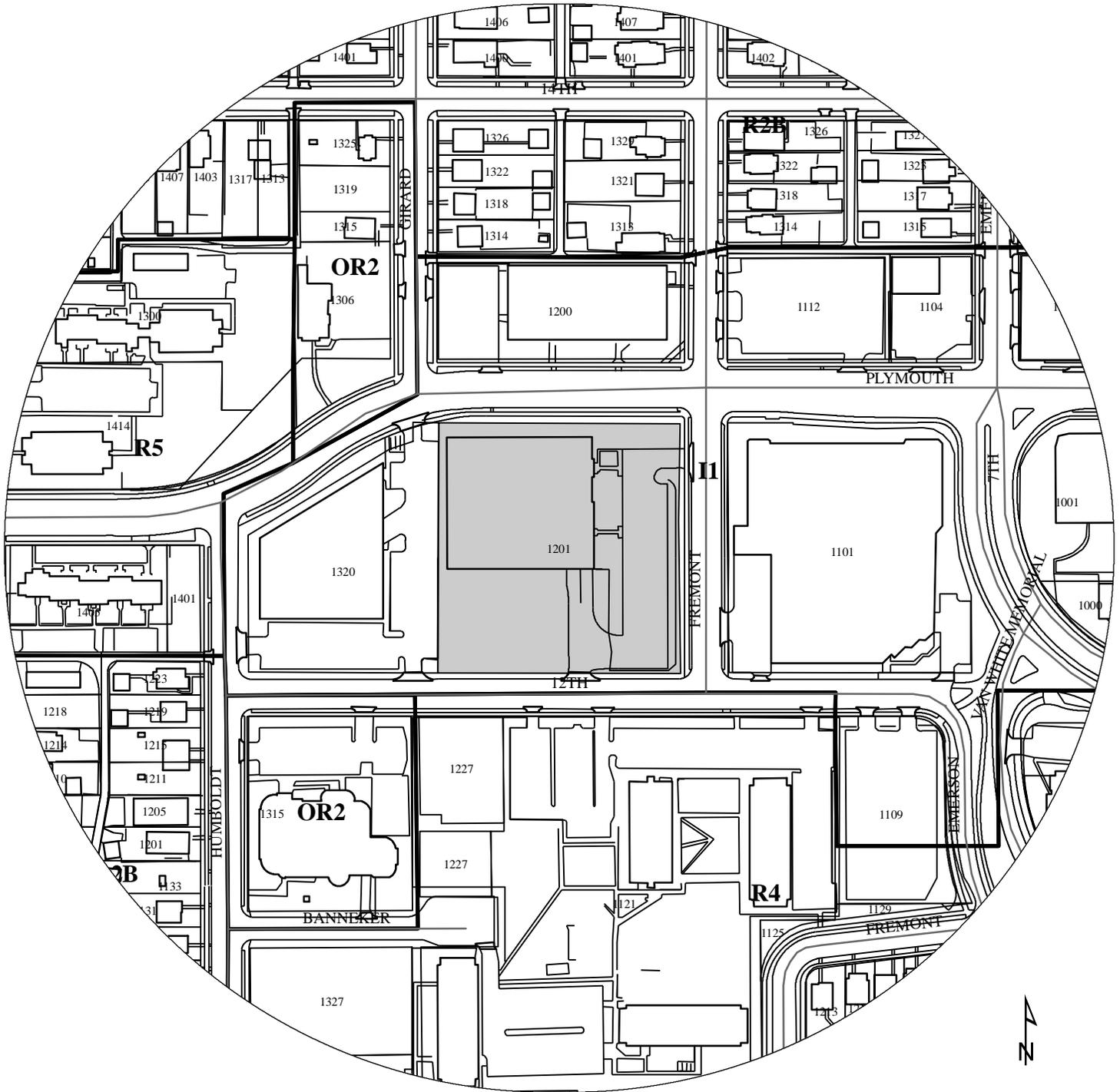
Thank you for your consideration,

Todd Ofsthun, TCO Design, 763-424-3676

*Commercial Drafting and Home Design*  
*Dedication to excellence*

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

1201 Plymouth Avenue North

FILE NUMBER

BZZ-6639

SITE PLAN SURVEY FOR:  
**CONSTRUCT-ALL CORPORATION**  
 4608 109TH Ave. No  
 Champlin, MN 55316

Legal Description

Those parts of Lots 1 to 5 inclusive and Lots 8 to 15 inclusive Block 8, Gales Subdivision in Sherburne & Beebes Addition to Minneapolis lying south of the southerly right of way line of Plymouth Avenue North as widened in 1891 and all of the adjoining vacated east-west alley dedicated in said plat lying between the southerly extensions across it of the east and west lines of said Block 8; also Lots 1, 2, 3, 4 and 7, Block 6, Gales Second Addition to the City of Minneapolis and all of the vacated north-south alley in said Block 6 dedicated in said plat lying between the westerly extensions across it of the north line of said Lot 1 and the south line of said Lot 4; also Lots 1, 2, 4, 5 and 6 Rearrangement of Lots Five and Six, Block Six, Gales Second Addition to Minneapolis and all adjoining vacated east-west alley dedicated in said plat lying between the northerly extensions across it of the west line of said Lot 1 and the east line of said Lot 6; also Lot 3 Rearrangement of Lots Five and Six, Block Six, Gales Second Addition to Minneapolis; also Lots 6 and 7, Block 8, Gales Subdivision in Sherburne & Beebes Addition to Minneapolis (Subject to an easement for street purposes over the north 7 feet thereof in favor of the City of Minneapolis); also Lot 8, Block 6 Gales Second Addition to the City of Minneapolis.

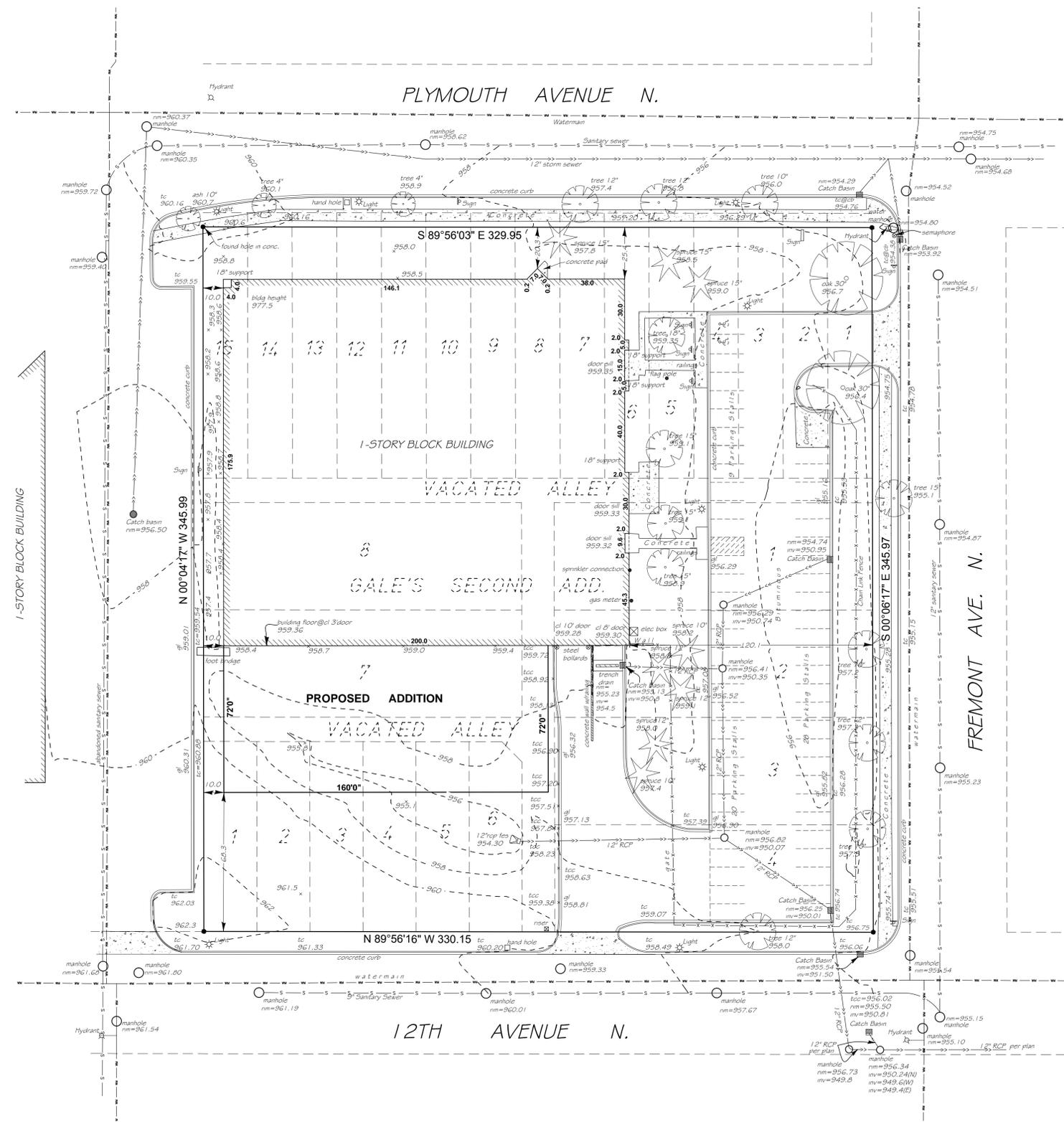
MISCELLANEOUS NOTES

- (MN 1) Title commitment showing legal description and easements of record not provided. Legal description shown from County Tax Records.
- (MN 2) Property Address: 1201 Plymouth Avenue N, Minneapolis, MN  
PID No. : 21-029-24-12-0120
- (MN 3) Area of Parcel = 114,193 sq.ft
- (MN 4) Benchmark: City of Minneapolis monument #639-A at Humboldt & 11th Ave. N.  
Elevation = 967.70 feet
- (MN 5) Underground utility information from City of Minneapolis maps.

LEGEND

- Steel Post
- Denotes Iron Monument Set
- Denotes Iron Monument Found
- ☼ Light
- ⊕ Hydrant
- ⊖ Power Pole
- ⊙ Catch Basins
- Manhole
- X-X- Fence
- W-W- Overhead Wires
- S-S- Sanitary Sewer
- ST-ST- Storm Sewer
- WM- Watermain
- GAS- Gas Main
- E- Easement Line
- B- Building Line
- (123) Denotes height of building to adjacent ground

basis of bearings is assumed



Certification

The only easements shown are from plats of record or information provided by client.

I certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

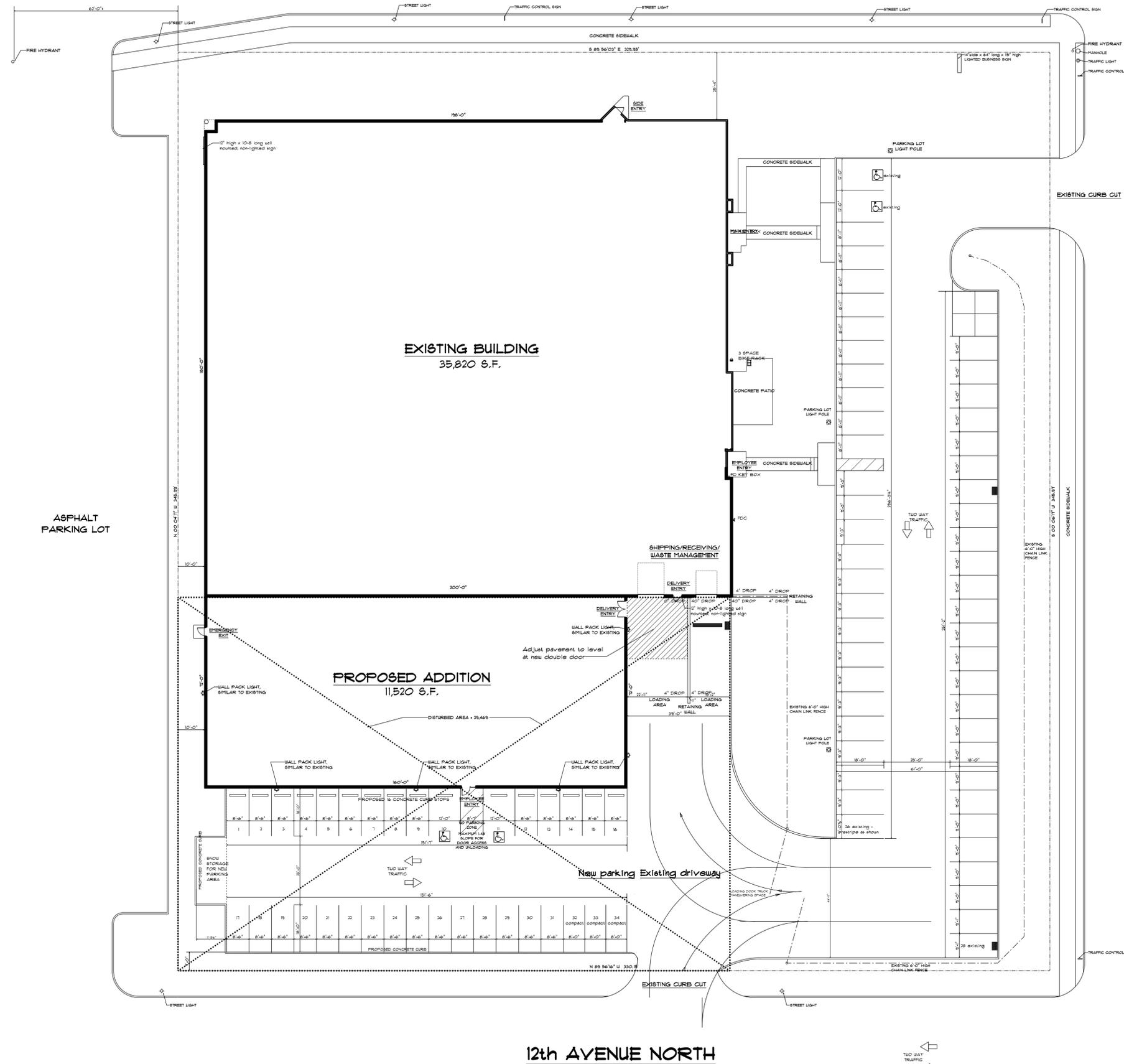
Surveyed this 17th day of April 2014.

Rev. 4/29/2014 site plan  
 Rev. 5/28/2014 stoma

Prepared by:  
 The Gregory Group, Inc. d.b.a.  
 Lot Surveys Company  
 7601 73rd Avenue N.  
 Brooklyn Park, MN 55428  
 phone 763-560-3093  
 fax 763-560-3522

Signed: *Gregory R. Prash*  
 Gregory R. Prash Registration No. 24992

PLYMOUTH AVENUE NORTH



**SITE AREAS:**

BUILDING (existing and proposed):	47,340 s.f.
CONCRETE (sidewalks, pads, curbs, retaining):	2230 s.f.
ASPHALT (parking, driveways):	32,249 s.f.
LANDSCAPED (trees, shrubs, grass):	32,374 s.f.
<b>TOTAL AREA:</b>	<b>114,193 s.f.</b>

Previous: Impervious ratio (32,374 s.f. : 81,819 s.f.) = 1 : 1.59

**SITE PLAN**  
scale 1" = 20.0'

**SITE ADDRESS:**  
1201 Plymouth Ave N  
Minneapolis, MN

1 STORY BLOCK  
BUSINESS USE  
BUILDING

ASPHALT  
PARKING LOT

FREMONT AVENUE NORTH

12th AVENUE NORTH



**JIM MACKEY ARCHITECT**  
1723 LaFond Avenue  
St. Paul, MN 55104  
Jim Mackey  
Office 651-644-0868  
registration # 23018  
Drafting By:  
Todd Ofsthun  
Office 763-424-3676  
Cell 651-954-8276  
todd@ccodeign.net



**CONSTRUCT-ALL CORPORATION**  
4608 - 109 th Avenue N  
Champion, MN 55316  
Office 763-421-9800  
Fax 763-421-9925  
General Contractors  
Drafting By:  
Todd Ofsthun  
Office 763-424-3676  
Cell 651-954-8276  
todd@ccodeign.net

Plan Date

5-8-14	_____
5-11-14	_____
5-12-14	_____
5-15-14	_____
5-23-14	_____
6-16-14	_____

**PRECISE PRODUCTS CORP.**  
1201 Plymouth Ave  
Minneapolis

**SHEET INDEX**

A1	SITE PLAN
A2	LANDSCAPE PLAN
A3	EROSION CONTROL PLAN
A4	BUILDING FLOOR PLAN
A5	ADDITION/RENOVATION FLOOR PLAN
A6	EXTERIOR ELEVATIONS
A7	RENDERED EXTERIOR ELEVATIONS
A8	PICTURES OF EXISTING BUILDING
CIVIL SUPPLEMENT PLANS	
C1	D'HEILLY ENGINEERING COMPOSITE PLAN
C2	D'HEILLY ENGINEERING GRADING PLAN
C3	D'HEILLY ENGINEERING SITE PLAN
C4	D'HEILLY ENGINEERING UTILITY PLAN
C5	CERTIFIED SURVEY



Design #  
tco201414

**A1**  
1 of 8

**SITE AREAS:**

BUILDING (existing and proposed):	47,340 s.f.
CONCRETE (sidewalks, pads, curbs, retaining):	2230 s.f.
ASPHALT (parking, driveways):	32,249 s.f.
LANDSCAPED (trees, shrubs, grass):	32,374 s.f.
<b>TOTAL AREA:</b>	<b>114,193 s.f.</b>
Pervious:impervious ratio (32,374 s.f.:81,819 s.f.) = 1 : 1.59	

**PLANTINGS SCHEDULE:**

LABEL	PROPOSED/ EXISTING	SPECIES	MATURE HGT.	QTY.
T1	Existing	Honey Locust	60'-100'	4
T2	Existing	Oak	100'-150'	2
T3	Existing	Maple	60'-90'	4
T4	Existing	Spruce	100'-150'	8
T5	Proposed	Linden	50'-10'	5
T6	Proposed	Norway Maple	60'-90'	6
T7	Proposed	Honey Locust	60'-100'	6
S1	Existing	Leafed Round Tall Shrub	5'-8'	1
S2	Existing	Evergreen Round Top Shrub	2'-3'	64
S3	Existing	Evergreen Creeping Shrub	6"-12"	26
S4	Existing	Leafed Medium Globe Shrub	2'-2.5'	16
S5	Existing	Leafed Small Globe Plant	1'-1.5'	48

**LANDSCAPE CALCULATIONS:**

TOTAL SITE AREA (114,193 sf) -  
 TOTAL BUILDING AREA (47,340 sf) =  
 LANDSCAPE BASE (66,853 sf)

LANDSCAPE BASE (66,853 sf) x  
 LANDSCAPE FACTOR (20%) =  
 REQUIRED LANDSCAPE AREA (13,371 sf)

REQUIRED LANDSCAPE AREA (13,371 sf) / 500 =  
 REQUIRED CANOPY TREE COUNT (27)  
 EXISTING CANOPY TREE COUNT (10)

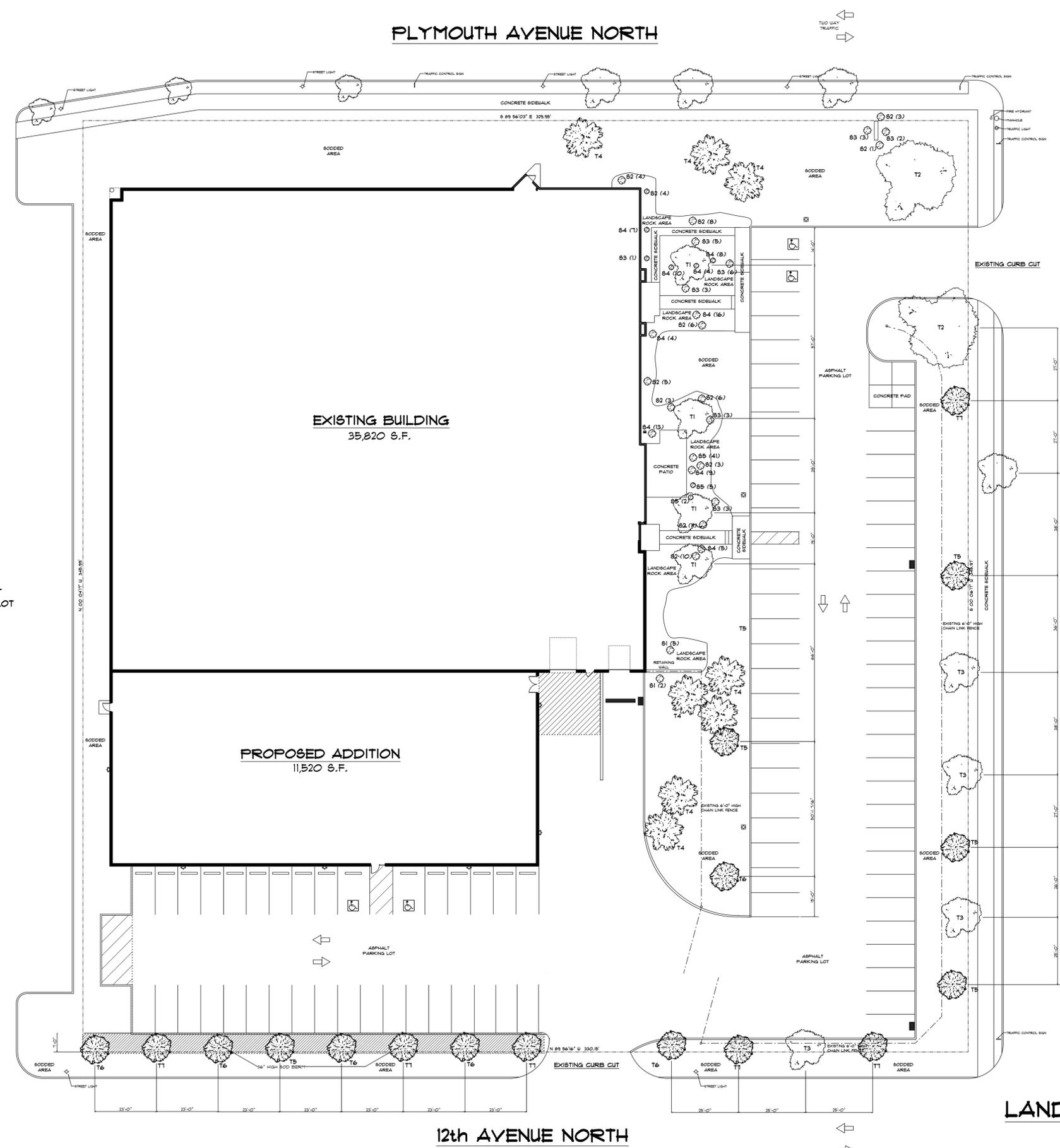
NEW CANOPY TREES REQUIRED = 17

REQUIRED LANDSCAPE AREA (13,371 sf) / 100 =  
 REQUIRED SHRUB COUNT (134)  
 EXISTING SHRUB COUNT (221)

NEW SHRUBS REQUIRED = 0

**PLANTINGS LEGEND:**

- EXISTING SHRUB (221 count)
- EXISTING CANOPY TREE (10 count)
- EXISTING CONIFEROUS TREE (8 count)
- NEW CANOPY TREE - minimum 2 1/2" caliper in size (17 count)



FREMONT AVENUE NORTH



SITE ADDRESS:  
 1201 Plymouth Ave N  
 Minneapolis, MN

**LANDSCAPE PLAN**  
 scale 1" = 20.0'

1 STORY BLOCK BUILDING

ASPHALT PARKING LOT

EXISTING BUILDING  
 35,820 S.F.

PROPOSED ADDITION  
 11,520 S.F.

12th AVENUE NORTH

PLYMOUTH AVENUE NORTH



**JIM MACKEY ARCHITECT**  
 1723 LaFord Avenue  
 St. Paul, MN 55104  
 Jim Mackey  
 Office 651-644-0868  
 registration # 12018  
 Drafting by  
 Todd Ofsthun  
 Office 763-424-3676  
 Cell 551-954-6276  
 todd@ccodeign.net

**SITE AREAS:**

BUILDING (existing and proposed):	47,340 s.f.
CONCRETE (sidewalks, pads, curbs, retaining):	2230 s.f.
ASPHALT (parking, driveways):	32,249 s.f.
LANDSCAPED (trees, shrubs, grass):	32,374 s.f.
<b>TOTAL AREA:</b>	<b>114,193 s.f.</b>

Pervious:Impervious ratio (32,374 s.f.:81,819 s.f.) = 1 : 1.59



**CONSTRUCT-ALL CORPORATION**  
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 Champlin, MN 55316  
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 Fax 763-421-9825  
 General Contractors  
 Drafting by  
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 Office 763-424-3676  
 Cell 551-954-6276  
 todd@ccodeign.net

Plan Date

5-8-14	_____
5-11-14	_____
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5-15-14	_____
6-16-14	_____

**PRECISE PRODUCTS CORP.**  
 Minneapolis  
 1201 Plymouth Ave

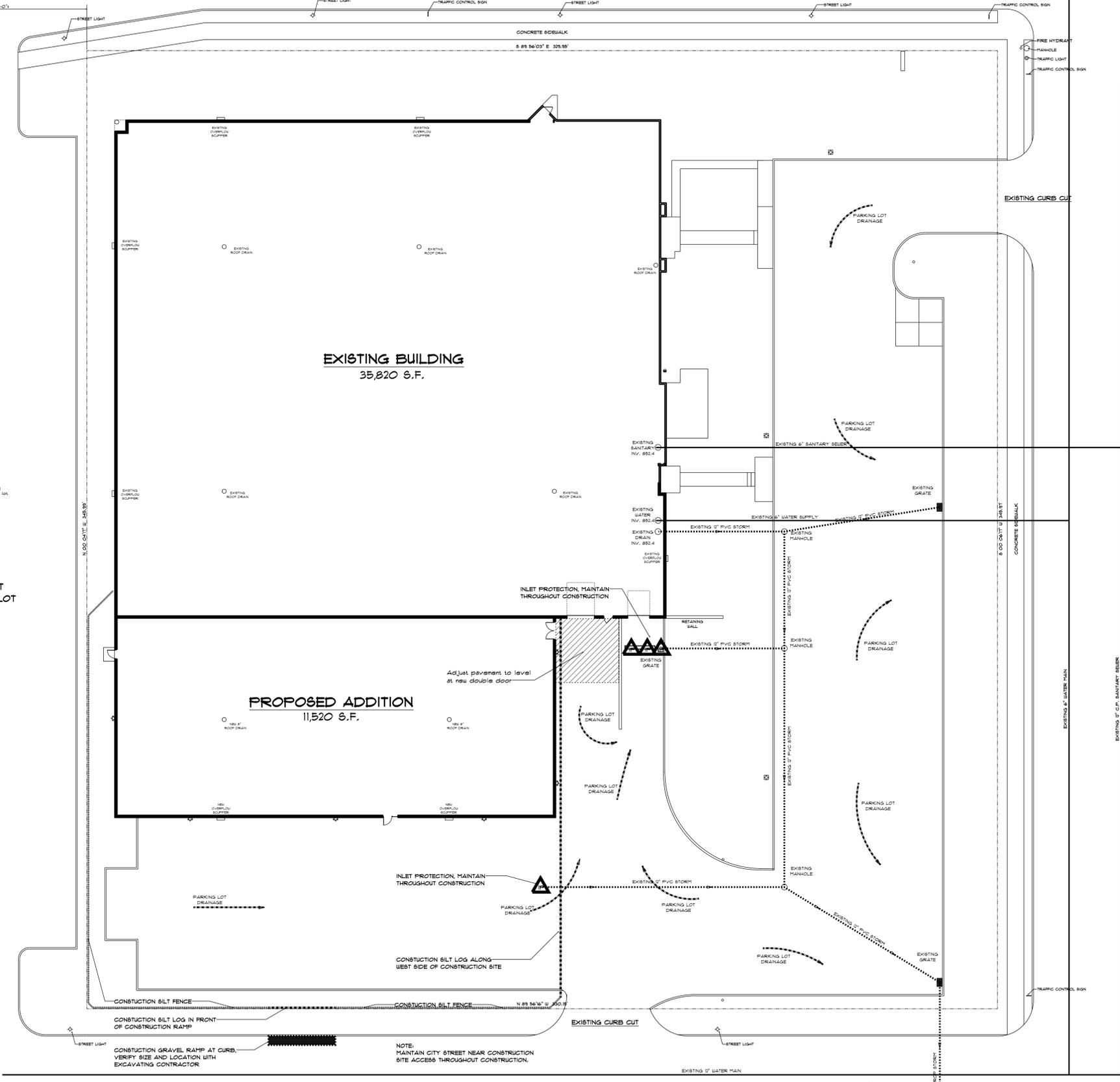


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**A3**

1 STORY BLOCK  
 BUSINESS USE  
 BUILDING

ASPHALT  
 PARKING LOT



FREMONT AVENUE NORTH

**NON-STORMWATER DISCHARGES:**  
 There are no current or proposed  
 mechanical or non-stormwater  
 discharges related to this site.

**DRAINAGE and EROSION  
 CONTROL PLAN**

scale 1" = 20.0'

**SITE ADDRESS:**  
 1201 Plymouth Ave N  
 Minneapolis, MN

12th AVENUE NORTH



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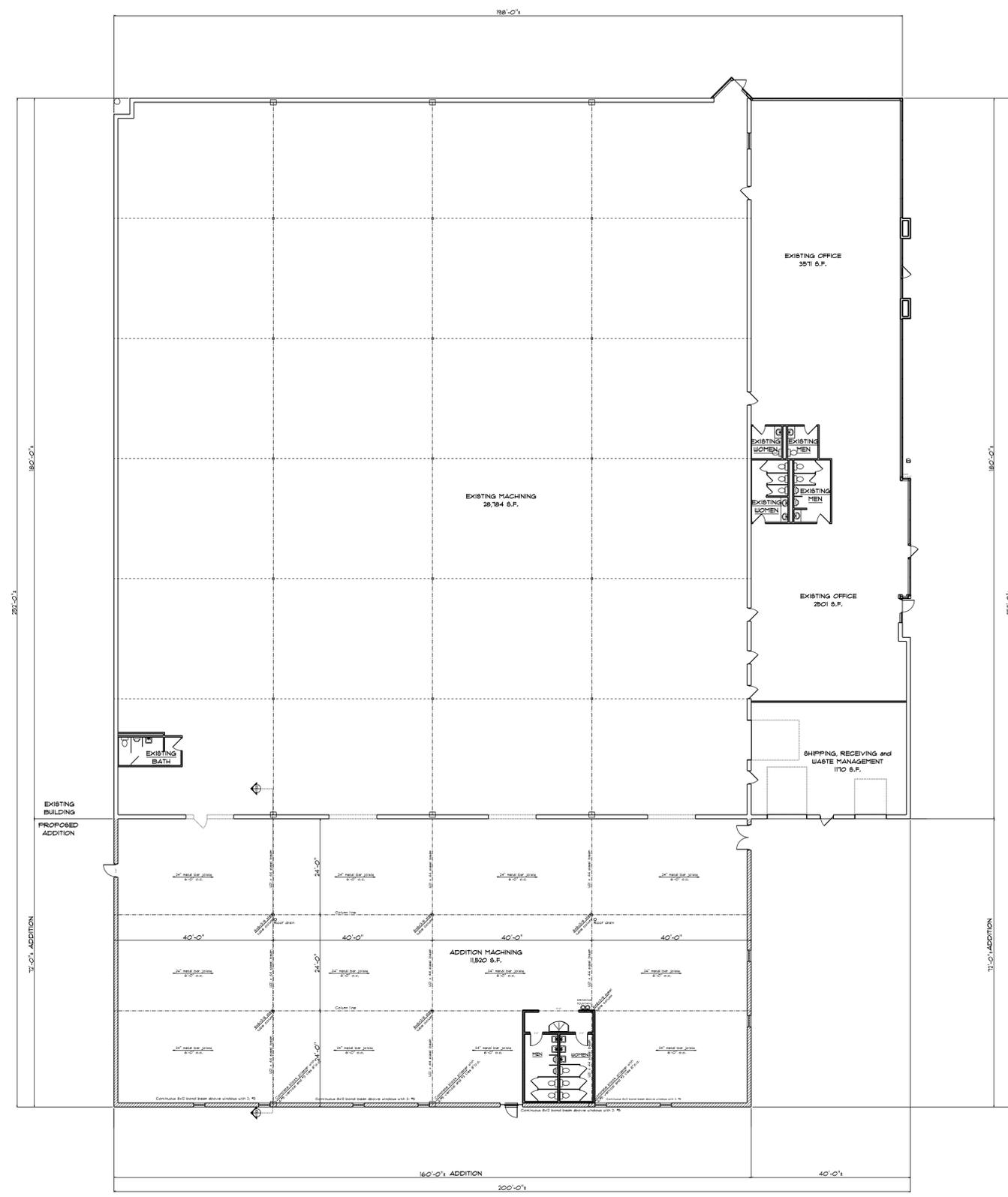
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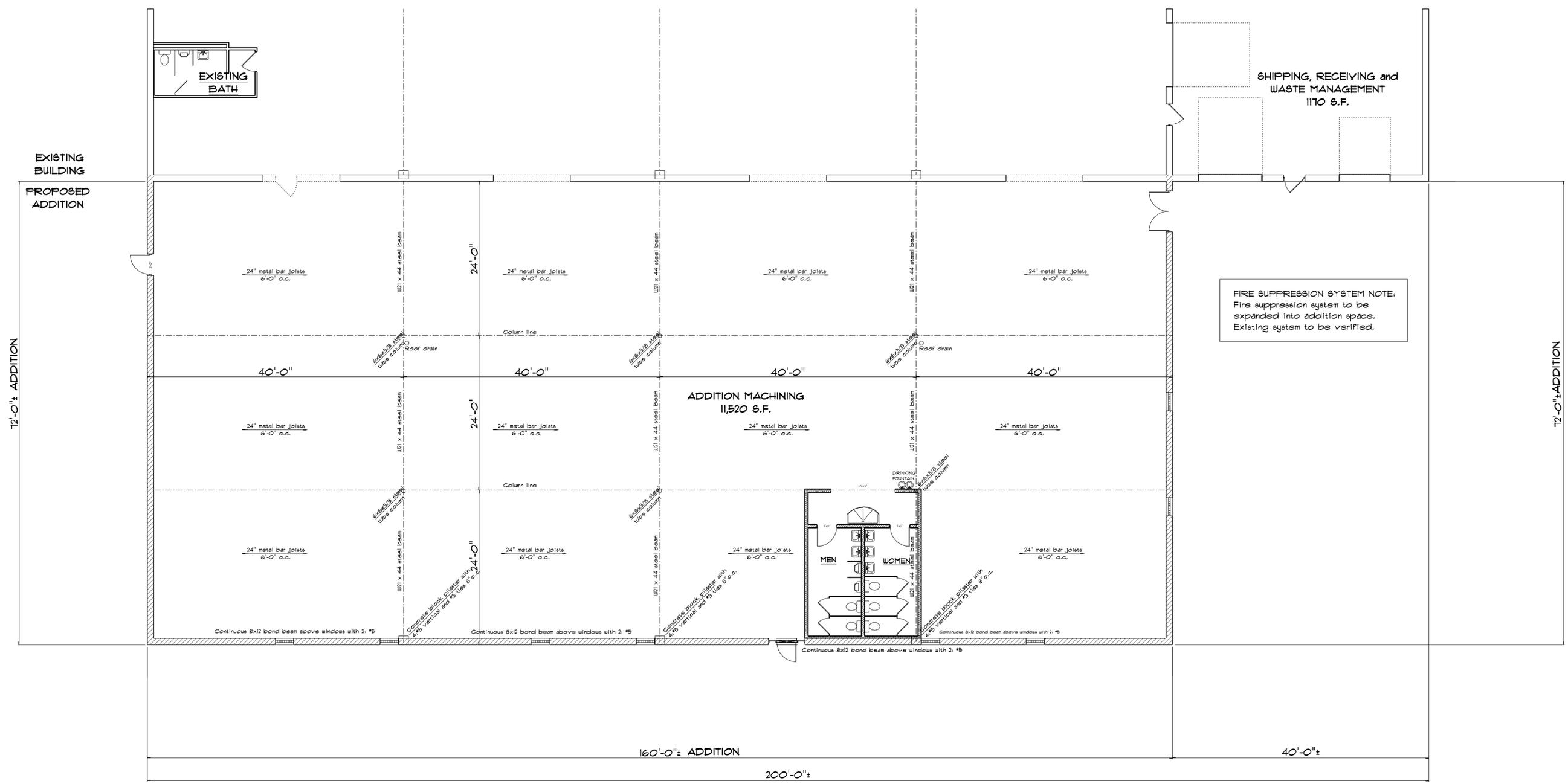


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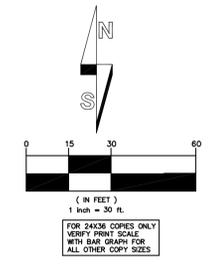
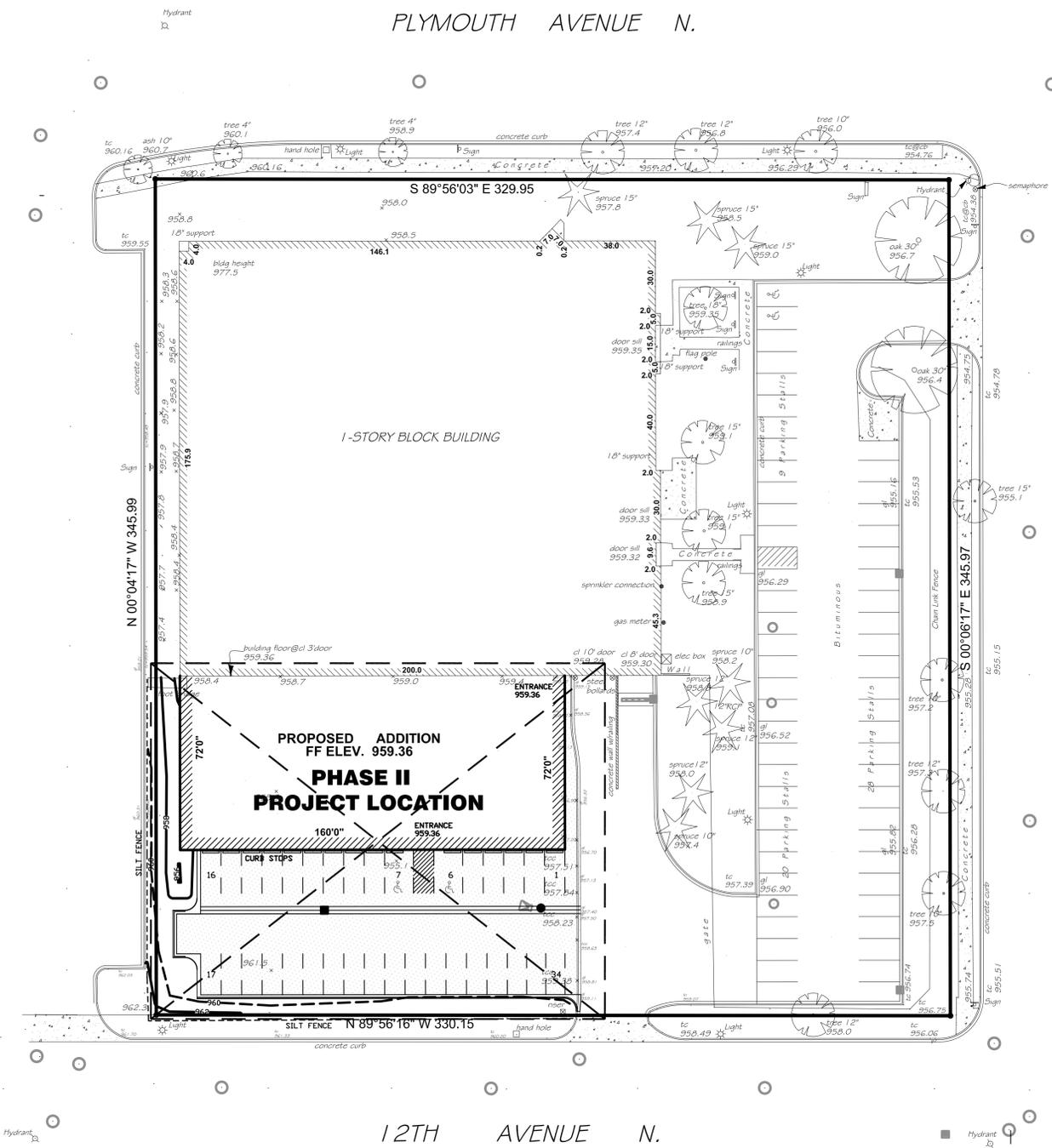
**A4**



**FLOOR PLAN**  
 scale 1/16" = 1'-0"



**FLOOR PLAN**  
scale 1/8" = 1'-0"



**PROJECT SUMMARY**

**EXIST. CONDITIONS**

IN 1988 PRECISE PRODUCTS CORP. RECEIVED APPROVAL FOR THERE PROPOSED SITE PLAN THAT INCLUDED A 90' BY 160' FUTURE ADDITION WITH A 42' BY 170' PARKING LOT PLUS A NEW ENTRANCE (TOTAL IMPERV. APPROXIMATELY 21,540 SF). THE PROPOSED BUILDING AND EAST PARKING WAS CONSTRUCTED AND HAS BEEN IN USE SINCE THAT TIME.

THE SAN. SEWER AND WATER SERVICE COMES FROM FREEMONT AVE. N.

THE STORM WATER DRAINAGE IS COLLECTED ON SITE AND IS PIPED TO 12TH AVE. N. VIA 12" RCP PIPE. THIS SYSTEM IS CONNECTED TO THE CITY'S 12" RCP VIA A 12" RCP EXTENDING UNDER 12TH AVE. N. WITH THIS APPROXIMATE 2.6 ACRE COMMERCIAL SITE BEING MOSTLY IMPERVIUOUS WITH THE BUILDING AND PARKING THE 12" UNDER THE 12TH AVE. N. WOULD BE THE FLOW CONTROL FOR THE SITE TO THE CITY SYSTEM.

**PROPOSED CONDITIONS**

IN 2014 PRECISE PRODUCTS CORP. PROPOSES TO CONSTRUCT PHASE II OF THE ORIGINAL PROJECT. THIS PHASE CONSISTS OF A BUILDING ADDITION OF 72' BY 160' (SMALLER THAN ORIGINALLY PLANNED) AND A 61' BY 160' ADDITIONAL PARKING (LARGER THAN ORIGINALLY PLANNED BUT THE PARKING IS NEEDED - MORE PARKING IS PLANNED THAN IS REQUIRED BY CODE). THIS WILL CREATE AN IMPERVIUOUS AREA OF ABOUT 21,280SF, THIS IS LESS THAN WHAT WAS ORIGINALLY APPROVED.

THE SAN. SEWER AND WATER SERVICE IS PLANNED TO BE AN EXTENTION OF THE EXISTING BUILDING SYSTEM.

THE STORM WATER DRAINAGE IS PLANNED TO BE EXTENDED FROM THE EXISTING TO PICK UP THE NEW PARKING LOT. SINCE THE DISCHARGE FROM THE SITE IS THE 12" UNDER 12TH AVE. N. AS ORIGINALLY APPROVED AND CONSTRUCTED AND WE ARE NOT INCREASING THE IMPERVIUOUS AREA FROM THE SITE ORIGINALLY APPROVED IN 1988. THEREFORE THE SYSTEM SHOULD ACT AS ORIGINALLY APPROVED.

THE SWALE ON THE WEST SIDE OF THE BUILDING WAS ORIGINALLY DESIGNED TO BE DOWN THE PROPERTY LINE FOR JOINT USE. SINCE THEN IT SHIFTED TO BE ON PRECISE PRODUCTS CORP. PROPERTY DRAINING NOT ONLY THIS PROPERTY BUT ALSO THE GREEN SPACE BEHIND THE CURB OF THE PROPERTY TO THE WEST. WE HAVE ADDED A SMALL RETENTION AREA WITH AN OVERFLOW TO THE PARKING LOT 0.05' BELOW THE CURB OVERFLOW TO THE WEST.

REVISIONS:

DATE:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 Gary D'Heilly  
 DATE: \_\_\_\_\_ REG. NO. 22426

DESIGNED: GLD  
 DRAWN BY: LCD  
 PLOT DATE:

**D'Heilly Engineering Inc.**  
 625 Lake Drive W.  
 Annandale, MN 55302  
 Phone (320) 224-1169

**PRECISE PRODUCTS CORP.**  
 MINNEAPOLIS, MINNESOTA  
**COMPOSITE PLAN**  
 PRELIMINARY CONSTRUCTION PLANS

PROJECT NO. 140401  
 SHEET NO. C1







**JIM MACKAY ARCHITECT**  
 1723 LaFord Avenue  
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 Jim Mackay  
 Office 651-644-0868  
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**CAC**  
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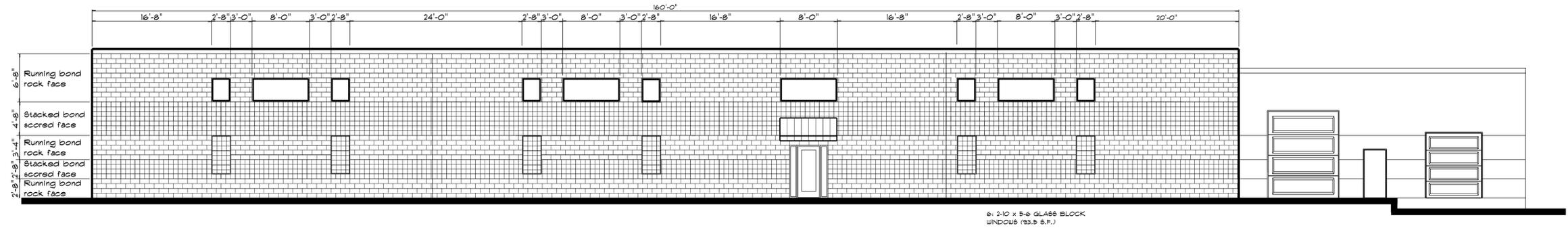
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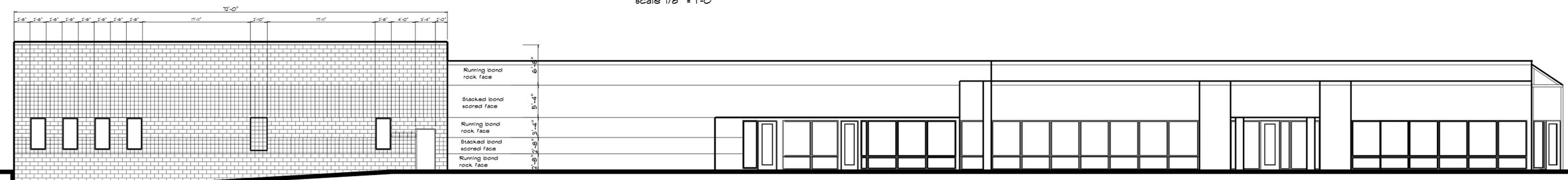
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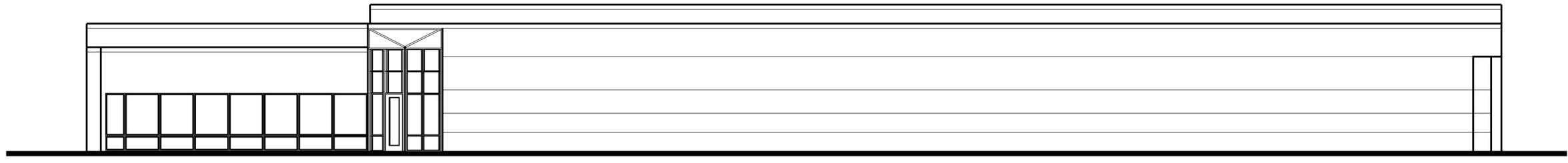
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**A6**  
 6 of 8



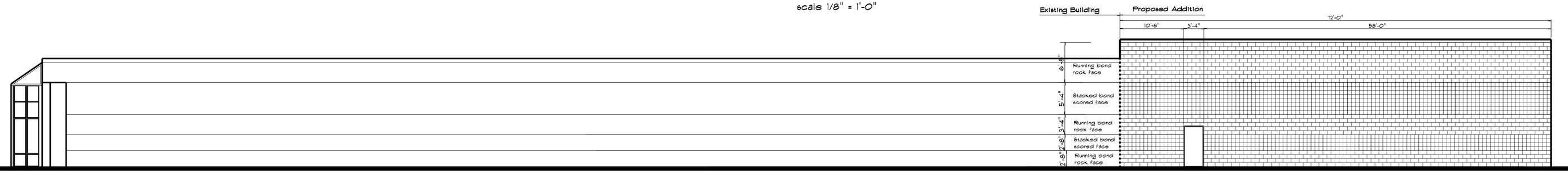
**SOUTH ELEVATION**  
 scale 1/8" = 1'-0"



**EAST ELEVATION**  
 scale 1/8" = 1'-0"



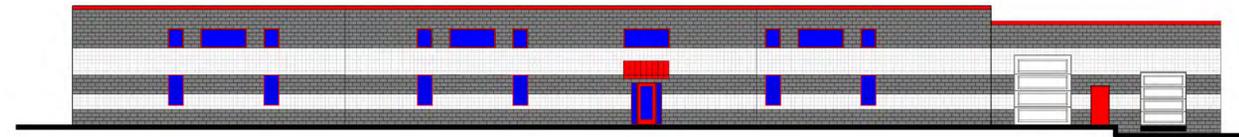
**NORTH ELEVATION**  
 scale 1/8" = 1'-0"



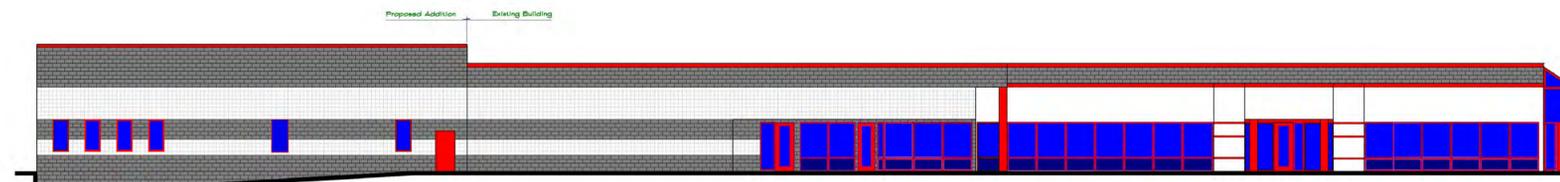
**WEST ELEVATION**  
 scale 1/8" = 1'-0"

**WINDOW AREA CALCULATIONS:**  
 SOUTH AND EAST ELEVATION SQUARE FOOTAGES:  
 REQUIRED GLASS: 452 LIN.FT. x 8 = 3616 x .30 = 1085 SQ.FT.  
 PROPOSED GLASS: GLASS BLOCK 16 x 7 = 112 SF, UPPER SMALL 9 x 6 = 54 SF, UPPER LARGE 21 x 4 = 108 SF, LOWER 14 x 5 = 70 SF, EXISTING EAST = 790 SF, TOTAL PROPOSED GLASS = 1134 SQ.FT. (49 MORE SQ.FT. THAN REQUIRED)

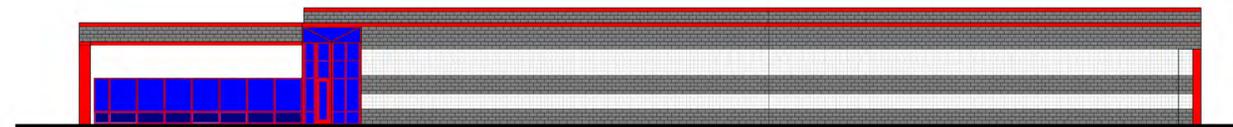
**EXTERIOR FINISH NOTE:**  
 ADDITION MASONRY TEXTURE AND SHAPE TO MATCH EXISTING AS CLOSE AS POSSIBLE. COLORS OF METAL AND MASONRY TO MATCH EXISTING AS CLOSE AS POSSIBLE. VERIFY COLOR AND TEXTURE OF MASONRY COURSES TO EXISTING.



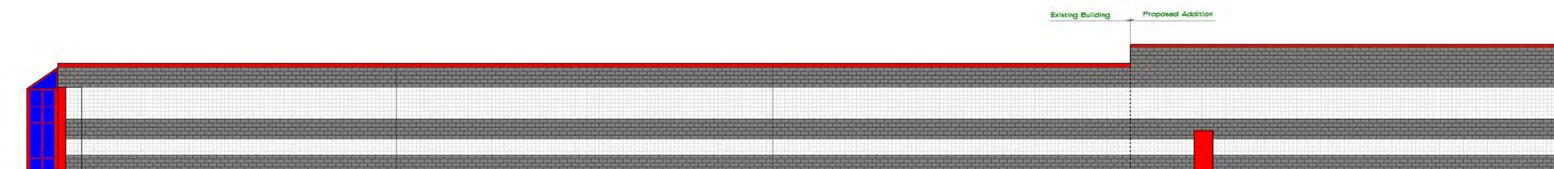
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



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**General  
Contractors**

**CONSTRUCT-  
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Plan Date	
5-8-14	
5-15-14	
6-16-14	

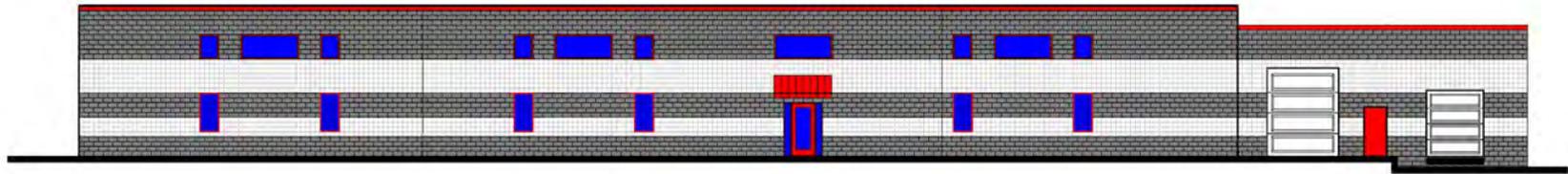
**PRECISE PRODUCTS CORP.**  
1201 Plymouth Ave  
Minneapolis



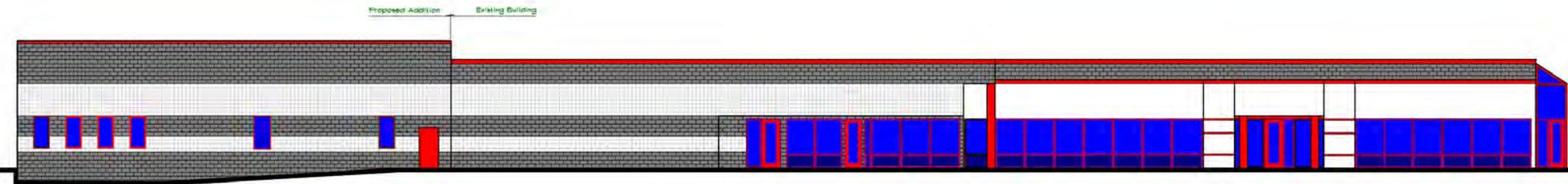
**General  
Contractors**

Design #  
**tco201414**



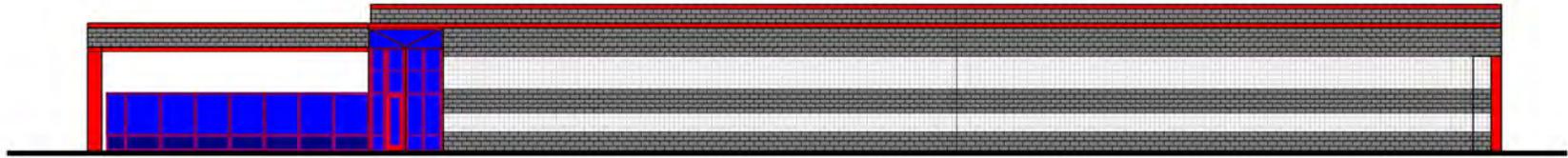


SOUTH ELEVATION

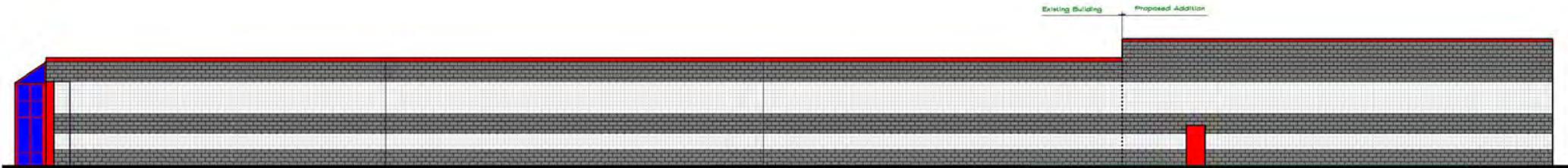


EAST ELEVATION

SUPPLEMENT 1 of 2 TO SHEET A1  
South and East Color Renderings



NORTH ELEVATION



WEST ELEVATION

SUPPLEMENT 2 of 2 TO SHEET A1  
North and West Color Renderings

N 14th Ave

N 14th Ave

N Girard Ave

Armont Ave

Merriam Ave

N Plymouth Ave

N Plymouth Ave

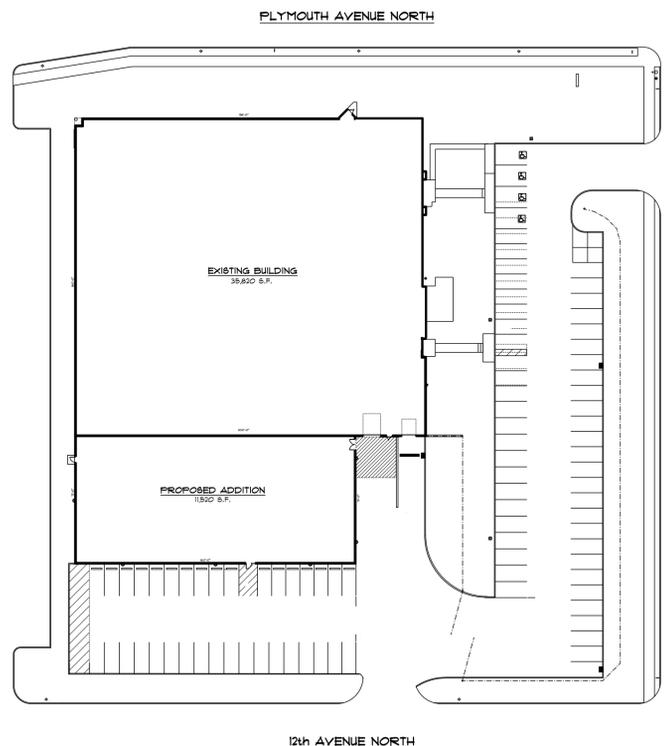
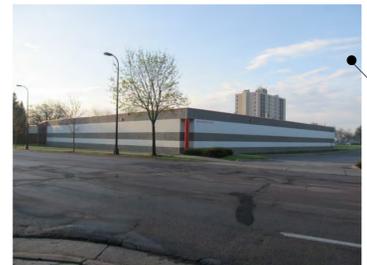
South Ave



N 12th Ave

N Bannaker Ave

Van White



FREMONT AVENUE NORTH

**PICTURE PLAN**  
NO SCALE

SITE ADDRESS:  
1201 Plymouth Ave N  
Minneapolis, MN



PROPOSED ADDITION SHOWN  
WITH DASHED LINES (shown  
approximately)

1 STORY BLOCK  
BUSINESS USE  
BUILDING

PLYMOUTH AVENUE NORTH

12th AVENUE NORTH

EXISTING BUILDING  
25,800 S.F.

PROPOSED ADDITION  
15,500 S.F.



NORTH HALF OF EAST  
SIDE OF BUILDING, TAKEN  
FROM FREMONT AVENUE N



EAST SIDE OF BUILDING,  
TAKEN FROM FREMONT  
AVENUE N

**SUPPLEMENT 1 of 4 TO SHEET A8**  
**Pictures of Existing East**

SOUTH SIDE OF BUILDING,  
LOCATION OF ADDITION,  
TAKEN FROM 12TH AVENUE N

PROPOSED ADDITION SHOWN  
WITH DASHED LINES (shown  
approximately)

SOUTH SIDE OF BUILDING,  
LOCATION OF ADDITION,  
TAKEN FROM 12TH AVENUE N



SUPPLEMENT 2 of 4 TO SHEET A8  
Pictures of Existing South



WEST SIDE OF BUILDING,  
TAKEN FROM PLYMOUTH  
AVENUE N



SOUTH WEST CORNER OF  
BUILDING, TAKEN FROM  
PARKING LOT ON WEST  
SIDE OF BUILDING

**SUPPLEMENT 3 of 4 TO SHEET A8**  
**Pictures of Existing West**



NORTH SIDE OF BUILDING,  
TAKEN ACROSS PLYMOUTH  
AVENUE N, ADDITION NOT  
VISIBLE FROM HERE

NORTHEAST CORNER OF  
BUILDING, TAKEN ACROSS  
PLYMOUTH AVENUE N,  
ADDITION NOT VISIBLE  
FROM HERE

NORTHWEST CORNER OF  
BUILDING, TAKEN FROM  
PLYMOUTH AVENUE N

**SUPPLEMENT 4 of 4 TO SHEET A8**  
**Pictures of Existing North**