



CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #5
 August 25, 2014
 BZZ-6660

LAND USE APPLICATION SUMMARY

Property Location: 2309 28th Avenue South
Project Name: Seward Montessori School
Prepared By: [Janelle Widmeier](#), Senior City Planner, (612) 673-3156
Applicant: Minneapolis Public Schools
Project Contact: Andrew Lesch, Minneapolis Public Schools
Request: To expand the existing grade school, which includes three building additions, for a net gross floor area increase of approximately 38,000 square feet.

Required Applications:

Conditional Use Permit	To allow an expansion of a grade school in the R2B District.
Conditional Use Permit	To increase the maximum height of a building from 2.5 stories and 35 feet to 3 stories and 42 feet.
Variance	To reduce the minimum front yard requirement adjacent to 29th Ave S from 20 feet to 12.75 feet to allow the building additions and to 8 feet to allow a canopy.
Variance	To reduce the minimum front yard requirement adjacent to 28th Ave S from 20 feet to 0 feet and to allow the parking and loading areas and for them to be located between the building and the street and to allow the refuse containers with a screening enclosure.
Variance	To reduce the north interior side yard requirement from 5 feet to 0 feet to allow a walkway and a transformer and the refuse containers with a screening enclosure.
Variance	To reduce the west interior side yard requirement from 9 feet to 6.5 feet to allow the third floor building addition and from 5 feet to 2 feet to allow a walkway.
Variance	To increase the maximum floor area ratio from 0.5 to 0.66.
Variance	To increase the maximum impervious surface requirements from 65 percent to 73.6 percent.
Site Plan Review	For an expansion of a grade school.

SITE DATA

Existing Zoning	R2B Two-family District
Lot Area	192,898 square feet / 4.43 acres
Ward(s)	6
Neighborhood(s)	Seward Neighborhood Group
Designated Future Land Use	Urban Neighborhood
Land Use Features	Not applicable
Small Area Plan(s)	Not applicable

Date Application Deemed Complete	July 23, 2014	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	September 21, 2014	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. Seward Montessori School, part of the Minneapolis Public Schools (MPS) system, is located on the subject site. The school is a K-8 educational facility. The Minneapolis Park and Recreation Board operates space at the very south end of the building.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. Matthews Park is located directly south of the site. A church and parsonage, Faith Mennonite, is adjacent to the northwest corner of the site at the intersection of 22nd Street East and 28th Avenue South. Low-density residential uses are located to the north, east and west, but are separated from the subject site by public streets.

PROJECT DESCRIPTION. The proposal is to expand the existing school, which includes 3 building additions, for a net gross floor area increase of approximately 38,000 square feet. A 2-story addition is proposed on the west side of the building at the main entrance location. A first floor one-story addition is proposed at the northeast corner of the building. Lastly, a third story is proposed between the two other additions. With the additions, the number of classrooms would increase from 39 to 48 to accommodate the existing number of students and to provide other common and administrative spaces needed to meet today's programmatic needs for schools. The number of parking spaces will be increased from 45 to 52. The loading area will also be relocated to the northwest corner of the site.

Based on the proposal, the following land use applications are required:

- A grade school is a conditional use in the R2B district. A conditional use permit is required to allow the proposed expansion.
- The maximum allowed height in the R2B district is 2.5 stories or 35 feet, whichever is less. Part of the expansion will be 3 stories in height and will be 42 feet in height at the highest point of the shed roof over the main entrance. To increase the maximum building height, a conditional use permit is required.
- A 20 foot front yard is required adjacent to 29th Avenue. Two of the building additions would be located 12 feet 9 inches from the front lot line. A canopy with a bench feature would project from the building and would be located up to 8 feet from the front lot line. A variance is required to allow the proposed setbacks.
- A 20 foot wide front yard is required adjacent to 28th Avenue. Proposed obstructions in the yard include the parking area, loading area, and refuse storage containers with a screen. The parking lot currently extends into the required front yard and is setback 6.5 feet. The expanded parking area will also be set back 6.5 feet. The proposed loading area will extend up to the front lot line. Both parking and loading are not permitted obstructions and parking is not allowed to be located between a principal structure and the front lot line in the R2B district. Refuse storage containers and screening that exceeds 3 feet in height are also not allowed obstructions. They would be set back 10 feet. A variance is required to allow the parking and loading areas and for them to be located between the building and the street and to allow the refuse containers with a screening enclosure.
- Adjacent to the north interior side lot line, a 5 foot wide interior side yard is required for any obstructions other than the building which is subject to a 9 foot setback requirement. The transformer, refuse containers, and a screening enclosure would be located up to the lot line. A variance is required to allow the obstructions.
- Adjacent to the west interior side lot line, a 9 foot wide interior side yard is required for the building and a 5 foot wide interior side yard is required for any other obstructions. The

third floor addition would be set back 6.5 feet and a walkway would be set back 2 feet. A variance is required to allow the obstructions.

- In the R2B district, the maximum floor area ratio (FAR) is 0.5 for grade schools. The proposed FAR is 0.66. A variance is required to increase the maximum FAR.
- In the R2B district, the maximum allowed impervious surface coverage is 65 percent. With a lot area of 192,898 square feet, up to 125,383.7 square feet of impervious surface coverage is allowed. The proposed amount of impervious surface is 141,937 square feet, which covers 73.6 percent of the site. A variance is required to increase the maximum amount of impervious surface.
- Site plan review is required for any addition to a nonresidential building that would increase its gross floor area by 1,000 square feet or more.

This project was reviewed at the June 12, 2014, City Planning Commission Committee of the Whole meeting. More site information has been added to the plans, including bicycle parking, screening, landscaping, and surrounding context, but no changes have been made to the building design.

PUBLIC COMMENTS. At the time this report was written, correspondence was not received from the neighborhood group. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to allow an expansion of a grade school in the R2B District based on the following [findings](#):

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

Expansion of the grade school would not prove detrimental to public health, safety, comfort or general welfare provided the development complies with all applicable building codes, life safety ordinances, as well as Public Works Department standards.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The surrounding uses in the immediate area include a park, a church, and low-density residences. The purpose of the expansion is to accommodate the existing number of students (approximately 887). The existing building is designed for a student capacity of 652 students. Other facility improvements also need to be made to be able to operate the school as a current learning environment. Investing in schools benefits the surrounding community. With the adoption of the staff recommendations, the proposed expansion should have little effect on surrounding properties.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The site is served by existing infrastructure. Vehicle access is from 28th Avenue. The Public Works Department will review the project for appropriate drainage and stormwater management as well as to ensure the safety of the position and design of improvements in or over the public right of way.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Measures are proposed that will minimize traffic congestion in the public streets. The use will comply with the minimum vehicle and bicycle parking requirements and loading requirements. Seven vehicle parking spaces will be added to the existing parking area. Twenty bicycle spaces will be added adjacent to the main entrance where there are currently none.

Currently, the loading and trash pick-up area are located in the same area as the parking area next to the main entrance. This arrangement has resulted in vehicle conflicts between the service functions and parent, teacher and administrative traffic. The loading area is proposed to be relocated and completely separated from the parking area to address this issue. The new loading area is designed for maneuvering to occur on-site.

Bus drop-off and pick-up will continue to occur on 29th Avenue. The school is currently served by 13 buses. No increase in the number of buses is expected.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

With the adoption of the staff recommendation, the proposed development would be consistent with the following policies of *The Minneapolis Plan for Sustainable Growth*:

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

1.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.

1.3.2 Ensure the provision of high quality transit, bicycle, and pedestrian access to and within designated land use features.

Public Services and Facilities Policy 5.2: Support the efforts of public and private institutions to provide a wide range of educational choices for Minneapolis students and residents throughout the city.

5.2.1 Work with institutions to ensure that school facilities are safe, accessible, and functionally appropriate for a diverse array of educational programs.

5.2.2 Encourage new educational institutions to locate in existing school buildings, or at sites that take advantage of proximity to transit such as neighborhood commercial nodes or commercial and community corridors.

Urban Design Policy 10.13: Work with institutional and public partners to assure that the scale and form of new development or expansion will occur in a manner most compatible with the surrounding area.

10.13.1 Concentrate the greatest density and height in the interior of institutional campuses with stepped-down building design as it transitions to the neighborhood.

10.13.2 Develop building forms on the edges of institutional property which are most reflective of neighboring properties as the preferred option, while recognizing

that in certain circumstances greater bulk and density may be preferable to expansion beyond existing campus boundaries.

10.13.3 Encourage institutional uses and public buildings and facilities to incorporate architectural and site design that is reflective of their civic importance and that identifies their role as focal points for the community.

10.13.4 Promote active uses at the ground floor level.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.

10.18.2 Parking lots should maintain the existing street face in developed areas and establish them in undeveloped areas through the use of fencing, walls, landscaping or a combination thereof along property lines.

10.18.8 Encourage appropriate land uses to share parking lots to reduce the size and visual impact of parking facilities.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The use will conform to the applicable regulations of the district in which it is located, upon the approval of the conditional use permits, variances, and site plan review.

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to increase the maximum height of a building from 2.5 stories and 35 feet to 3 stories and 42 feet based on the following [findings](#):

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The proposed increase in height would not prove detrimental to public health, safety, comfort or general welfare provided the development complies with all applicable building codes, life safety ordinances, as well as Public Works Department standards.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The greatest addition of building bulk would be placed toward the middle of the site. The surrounding uses in the immediate area include a park, a church and parsonage, and low-density residences. The park is located to the south of the site. The surrounding residences are one to two-stories in height, but are separated from the subject site by public streets. The church and parsonage are directly adjacent to the site. From the renderings submitted by the applicant, it appears that the proposed additions will not be taller than the roof peak of the church building. The two-story parsonage is located 47 feet or more to the additions that require the height increase. The applicant submitted a shadow study, which indicates that the increase of shadowing impacts will not be significant. The increased height should have little effect on surrounding properties.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The site is served by existing infrastructure. Vehicle access is from 28th Avenue. The Public Works Department will review the project for appropriate drainage and stormwater management as well as to ensure the safety of the position and design of improvements in or over the public right of way.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Measures are proposed that will minimize traffic congestion in the public streets (see finding #4 above in the conditional use permit section for the school expansion).

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed height would be consistent with the *The Minneapolis Plan for Sustainable Growth* (for the applicable policies, see finding #5 above in the conditional use permit section for the school expansion).

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The use will conform to the applicable regulations of the district in which it is located, upon the approval of the conditional use permits, variances, and site plan review.

Additional Standards to Increase Maximum Height

In addition to the conditional use permit standards, the Planning Commission shall consider, but not be limited to, the following [factors](#) when determining the maximum height of principal structures:

1. *Access to light and air of surrounding properties.*

The increase in height would have little effect on the access to light and air of surrounding properties. The additions requiring the height increase would be located over 45 feet from the adjacent parsonage. It is separated from other properties to the east, north and west by public streets.

2. *Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

The applicant has provided a shadow study for the month of December, which is attached to this report. It shows that the increase of shadowing impacts will not be significant. The park is located to the south and would not be impacted. A parsonage is directly adjacent to the site. The two-story parsonage is located 47 feet or more to the additions that require the height increase. The other surrounding residential uses are separated from the site by public streets. Staff is not aware of any existing solar energy systems that would be affected by shadowing.

3. *The scale and character of surrounding uses.*

The surrounding residences are one to two-stories in height, but are separated from the subject site by public streets. The church and parsonage are directly adjacent to the site. From the renderings submitted by the applicant, it appears that the proposed additions will not be taller than the roof peak of the church building. The two-story parsonage is located 47 feet or more to the additions that require the height increase. The greatest addition of building bulk would be placed toward the middle of the site. The scale and character of the development is consistent with the surrounding uses.

4. *Preservation of views of landmark buildings, significant open spaces or water bodies.*

The building should not significantly block views of landmark buildings, significant open spaces, or bodies of water.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for yard variances to reduce the minimum front yard requirement adjacent to 29th Ave S from 20 feet to 12.75 feet to allow the building additions and to 8 feet to allow a canopy based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

A 20 foot front yard is required adjacent to 29th Avenue. Two of the building additions, the first floor one-story addition and the third floor addition, would be located 12 feet 9 inches from the front lot line. They will accommodate classrooms. A canopy with a bench feature would project from the building and would be located up to 8 feet from the front lot line. These elements are adjacent to a main entrance that is used by students. There are practical difficulties that exist. The project is a rehabilitation of an existing school building. The existing interior layout impacts where the building can be expanded. Both of the additions will provide additional classrooms adjacent to areas of the building with classrooms. The site has frontage on three streets, each of which has a front yard requirement. The Minneapolis Park and Recreation Board (MPRB) has a long-term lease for the south end of the building. This further limits where the building can expand. The additions will align with the existing building setback of 12.5 feet on this corner of the site. These circumstances are unique to the subject property and are not based on economic considerations alone.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The school is the only building on this side of the block. The additions will align with the existing building setback of 12.5 feet on this corner of the site. The canopy and bench feature would be adjacent to a main entrance that is used by students and will emphasize its importance. For these reasons, the request is reasonable and is in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

As discussed above, granting of the variance would have little effect on surrounding properties and would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for yard variances to reduce the minimum front yard requirement adjacent to 28th Ave S from 20 feet to 0

feet to allow the parking and loading areas and for them to be located between the building and the street and to allow the refuse containers with a screening enclosure based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

A 20 foot wide front yard is required adjacent to 28th Avenue. Proposed obstructions in the yard include the parking area, loading area, and refuse storage containers with a screen. The expanded parking area will also be set back 6.5 feet in line with the existing parking area. The proposed loading area will extend up to the front lot line. Both parking and loading are not permitted obstructions and parking is not allowed to be located between a principal structure and the front lot line in the R2B district. Two of the four refuse containers needed for trash storage would extend into the front yard. Refuse containers are required to be screened from the street and residential uses. Refuse storage containers and screening that exceeds 3 feet in height are also not allowed obstructions. They would be set back 10 feet.

There are practical difficulties that exist in complying with the front yard requirement. Additional parking needs to be provided on the site to meet the minimum parking requirement. The existing parking lot is located on the west side of the site adjacent to 28th Avenue. The site has frontage on three streets, each of which has a front yard requirement. The MPRB has a long-term lease for the south end of the building. The existing building footprint and interior layout further limits where the parking, loading, transformer, and refuse containers can be located. The parking and loading areas are currently combined, which results in congestion and safety issues in the parking area between service functions and the parent, teacher and administrator traffic. To address this issue, the loading, transformer and refuse containers are proposed to be relocated and separated from the parking area. The loading and refuse storage areas need to be in close proximity to the highly serviced areas of the building, such as the cafeteria. Since the main 28th Avenue building entrance will not be relocated, the remaining available area is the north end of the site adjacent to 28th Avenue. With the space needs for the expanded cafeteria, the new loading area cannot be shifted further away from the street. Although not proposed to be located in the front yard, the transformer has location restrictions that impact the proposed front yard obstructions. The transformer and refuse containers are currently located next to the main entrance and are unscreened. They need to be relocated as well or would interfere with parking, loading, and pedestrian circulation and access. As described in the applicant's responses to the findings, the size, access and clearance requirements do not allow them to be located on the side of or inside the building. Shifting them closer to the building would also impact required emergency egress. This has resulted in the 10 foot encroachment into the required front yard. These circumstances are unique and are not based on economic considerations alone.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The parking lot currently extends into the required front yard and is setback 6.5 feet. The expanded parking area will also be set back 6.5 feet. The loading, transformer, and refuse containers are proposed to be relocated to address safety issues and separate service functions from parent, teacher, and administrative traffic. The loading area has been designed for all maneuvering to occur on-site. Although it will extend up to the front lot line, it is separated from the public sidewalk by an 8 foot wide grass interior boulevard.

Through the site plan review, staff is recommending that the Planning Commission require a landscape screen, such as Karl Foerster Feather Reed Grass, to lessen the visibility of the loading area and a hedge to improve the buffer between the parking area, public sidewalk and residential properties located across the street. The plantings will require an encroachment permit, but Public Works has indicated that the boulevard landscaping will not be an issue. The screen enclosure will be a 6-foot tall brick wall with decorative metal gates. The setback of the adjacent parsonage from the front lot line is 9 feet to the open front porch and 15 feet to the front wall. The setback of the church at the corner along 28th Avenue is 0 to 8 feet. The proposed enclosure setback would be compatible with the existing setbacks on the block. Further, the applicant is proposing to provide landscaping between the enclosure and the street. For these reasons, the request is reasonable and is in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

As discussed above, granting of the variance would have little effect on surrounding properties and would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. To minimize visibility from surrounding properties, the refuse containers would be screened with a 6-foot tall brick enclosure that would be compatible with the existing building. Staff is also recommending that screening be provided for the parking and loading areas.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for yard variances to reduce the north interior side yard requirement from 5 feet to 0 feet to allow a transformer and the refuse containers with a screening enclosure based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Adjacent to the north interior side lot line, a 5 foot wide interior side yard is required for any obstructions other than the building which is subject to a 9 foot setback requirement. The transformer, refuse containers, and a screening enclosure would be located up to the lot line.

There are practical difficulties that exist. The site has frontage on three streets, each of which has a front yard requirement. The MPRB has a long-term lease for the south end of the building. The existing building footprint and interior layout further limits where the parking, loading, transformer, and refuse containers can be located. The parking and loading areas are currently combined, which results in congestion and safety issues in the parking area between service functions and the parent, teacher and administrator traffic. To address this issue, the loading, transformer and refuse containers are proposed to be relocated and separated from the parking area. The loading and refuse storage areas need to be in close proximity to the highly serviced areas of the building, such as the cafeteria. Since the main 28th Avenue building entrance will not be relocated, the remaining available area is the north end of the site adjacent to 28th Avenue. With the space needs for the expanded cafeteria, the new loading area cannot be shifted further south. It also cannot be reduced in size because it is designed to accommodate all maneuvering on-site. The transformer and refuse containers are currently located next to the main entrance and are unscreened. They need to be relocated as well or would interfere with parking, loading, and pedestrian circulation and access. As

described in the applicant's responses to the findings, the size, access and clearance requirements do not allow them to be located on the side of or inside the building. Shifting them closer to the building would also impact required emergency egress. This has resulted in the 0 foot setback from the site lot line. These circumstances are unique to the subject property and are not based on economic considerations alone.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The loading, transformer, and refuse containers are proposed to be relocated to address safety issues and separate service functions from parent, teacher, and administrative traffic. The screen enclosure will be a 6-foot tall brick wall with decorative metal gates. The setback of the adjacent parsonage from the shared lot line is 14 to 16 feet. This should be adequate separation. For these reasons, the request is reasonable and is in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

As discussed above, granting of the variance would have little effect on surrounding properties and would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. To minimize visibility from surrounding properties, the refuse containers and transformer would be screened with a 6-foot tall brick enclosure that would be compatible with the existing building.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for yard variances to reduce the west interior side yard requirement from 9 feet to 6.5 feet to allow the third floor building addition and from 5 feet to 2 feet to allow a walkway based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

A 9 foot wide interior side yard is required along the west interior side lot line for the building and a 5 foot wide interior side yard is required for any other obstructions. The third floor addition would be set back 6.5 feet and a walkway would be set back 2 feet.

There are practical difficulties that exist. The site has frontage on three streets, each of which has a front yard requirement. The MPRB has a long-term lease for the south end of the building. The existing building footprint and interior layout further limits where an addition can be located. The third floor addition is proposed to accommodate the current capacity and program needs. The existing building footprint is located 6.5 feet from the west side lot line. The structure of the classroom wing was designed to accommodate a third floor. However, the construction of the third floor needs to align with the structure below. The walkway is needed for emergency egress and will tie into an existing walkway also set back less than 5 feet from the side lot line. These circumstances are unique to the subject property and are not based on economic considerations alone.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The third floor addition would be closest to the parsonage; however, the structure is located more than 45 feet away. The applicant submitted a shadow study that indicated no significant increase in shadowing. The walkway is needed for emergency egress and will tie into an existing walkway also set back less than 5 feet from the side lot line. For these reasons, the request is reasonable and is in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

As discussed above, granting of the variance would have little effect on surrounding properties due to the proximity of the addition and the limited use of the proposed walkway. Therefore, the proposed variances would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the maximum floor area ratio from 0.5 to 0.66 based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

In the R2B district, the maximum floor area ratio (FAR) is 0.5 for grade schools. The proposed FAR is 0.66. The existing FAR is approximately 0.48. The expansion of the school is proposed to accommodate the existing number of students and to provide other common and administrative spaces to meet today's programmatic needs for schools. The subject site occupies almost an entire block. Matthews Park, which has sports fields and playgrounds used by the school, is located directly south of the school. The lot area of the park cannot be used to meet the minimum FAR of the school because it is owned by the MPRB and not MPS.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, building bulk regulations are established in order to assure that the scale and form of new development or expansion will occur in a manner most compatible with the surrounding area. The greatest addition of building bulk would be placed toward the middle of the site. The surrounding uses in the immediate area include a park, a church and parsonage, and low-density residences. The park is located to the south of the site. The surrounding residences are one to two-stories in height, but are separated from the subject site by public streets. The church and parsonage are directly adjacent to the site. From the renderings submitted by the applicant, it appears that the proposed additions will not be taller than the roof peak of the church building. The scale of the school building and the additions is compatible with the scale of the adjacent church. The request is reasonable and in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of the variance would not adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, due to the scale of the building with the proposed addition when compared to the adjacent church and the openness of the park land to the south. The proposed variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties as demonstrated by the renderings showing the proposed massing of the structure.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the maximum impervious surface requirements from 65 percent to 73.6 percent based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

In the R2B district, not more than 65 percent of a zoning lot can be impervious surfaces. With a lot area of 192,898 square feet, up to 125,383.7 square feet of impervious surface coverage is allowed. The proposed amount of impervious surface is 141,937 square feet, which covers 73.6 percent of the site. Currently, 66.6 percent of the site is covered by impervious surfaces. With the additions, the building would cover 39.5 percent of the site. The increase in impervious surfaces is mainly due to the expanded building footprint, parking and loading areas at the northeast and northwest corners of the site. The school shares the south end of the site with the MPRB. There are existing park amenities that contribute to the overall amount of on-site impervious surfaces. Matthews Park, which has sports fields and playgrounds used by the school, is located directly south of the school property. The lot area of the park cannot be used to meet the minimum amount of pervious surfaces for the school because it is owned by the MPRB and not MPS. With the program needs of the school and park, the amount of impervious surfaces cannot be reduced to comply with this requirement. These circumstances are unique to the parcel and have created a practical difficulty in complying with the ordinance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The maximum impervious surface requirements are established to provide benefits from landscaping including buffers between uses, on-site retention of stormwater, and preserving the residential character of an area. The surrounding uses in the immediate area include a park, a church and parsonage, and low-density residences. MPS and MPRB share the school and park facilities. The church and parsonage buildings are separated from the subject site by wide landscaped yards. The surrounding residences are separated from the subject site by public streets. As part of the project, an underground stormwater management system will be incorporated to improve the site drainage. Given the program needs of the school and park, excessive amounts of impervious surface are not proposed. Therefore, the request is reasonable and consistent with the spirit and intent of ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting the variance would not adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The applicant is proposing to an underground stormwater management system to improve site drainage. It would also not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – Requires alternative compliance

- Placement of building would reinforce the street wall, maximize natural surveillance and visibility, and facilitate pedestrian access and circulation.
- The building additions are subject to a 20-foot wide front yard requirement adjacent to each street frontage. Where the additions would not comply with the front yard requirements, variances are requested. Staff is recommending approval of the variances.
- Landscaping, walkways and bicycle parking would be located between the building and 29th Avenue and 22nd Street. The parking and loading areas would be located between the building and 28th Avenue. Staff is recommending that the Planning Commission require landscaping between the parking and loading and the street to lessen the visibility.
- The principal entrance will continue to be oriented to 28th Avenue.
- Architectural details will be provided on the building walls to create visual interest. Windows are proposed that will increase security of adjacent outdoor spaces.
- The additions are designed to divide the entire building into smaller identifiable sections.
- There would not be any blank, uninterrupted walls with insufficient architectural elements exceeding 25 feet in length on the additions.
- The proposed exterior materials include metal panels, brick masonry, cast stone, and glass. These materials are durable.
- The primary materials of the existing building are brick and glass. The additions are designed to ensure all sides of the building are compatible.
- Plain face concrete block is not proposed as an exterior material.
- The principal entrance facing 28th Avenue would be clearly defined and emphasized with a curtain wall, canopy, and angled roof line to express its importance. A principal student entrance on the 29th Avenue side of the building would also be clearly defined and emphasized with a canopy and built-in bench.
- The walls of the additions subject to the window requirements are included in **Table I** below. Alternative compliance is requested for the amount of windows on the first floor 29th Avenue building addition. The proposed windows would be more or less evenly distributed. Some of the windows would be horizontal in proportion (clear-story windows on the third floor), but the overall amount of windows proposed on the building would significantly exceed the minimum requirements. The windows used to satisfy the ground floor window requirements would not be more than 4 feet above the adjacent grade, would be located between 2 and 10

feet from the adjacent grade, and would allow views into and out of the building at eye level. All of the window systems would be lightly tinted and would have a visible light transmittance factor of 0.61.

- The ground floor of each street facing building elevation is designed so that loading, storage, and mechanical spaces will not exceed 30 percent of the linear frontage.
- A flat roof is proposed, except for a shed roof element over the main entrance. The existing building has a flat roof. Pitched roofs are typical on the surrounding buildings, which are primarily low-density residences. Due to the size of the building, a pitched roof on each of the additions would greatly increase the building bulk and would not be compatible with surrounding properties.

Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
28th Ave (west)				
1 st Floor	30% minimum	418 sq. ft.	38.7%	539 sq. ft.
2 nd Floor	10% minimum	199 sq. ft.	46.9%	933 sq. ft.
3 rd Floor	10% minimum	94 sq. ft.	19.4%	182 sq. ft.
29th Ave (east)				
1 st Floor	30% minimum	149 sq. ft.	3.4%	17 sq. ft.
3 rd Floor	10% minimum	94 sq. ft.	29.9%	280 sq. ft.
22nd St (north)				
1 st Floor	30% minimum	211 sq. ft.	58%	408 sq. ft.
3 rd Floor	10% minimum	176 sq. ft.	55.9%	986 sq. ft.

Access and Circulation – Meets requirements

- Well-lit walkways at least 4-feet in width will connect the building to the adjacent public sidewalks and on-site parking.
- The site is not adjacent to a transit stop.
- Vehicular access and circulation is designed to minimize conflicts with pedestrians and surrounding residential properties. Although the loading area will be relocated, the number of curb cuts will not increase. The parking and loading areas are designed for all maneuvering to occur on-site.
- The site is not adjacent to an alley.
- Access for service vehicles would be provided in the new loading area. It is designed for all maneuvering to occur on-site and would not conflict with pedestrian traffic.
- Although a variance to increase the maximum amount of impervious surface is requested, the site plan minimizes the use of impervious surfaces for the parking and loading areas. Further, stormwater management will be improved with the installation of an underground system.

Landscaping and Screening – Requires alternative compliance

- Much of the landscaping exists. The overall composition and location of landscaped areas complement the scale of development and its surroundings.
- See Table 2 for the landscaping requirements. 43.7 percent of the net lot area would be landscaped, including more than 80 trees. No shrubs exist on the site and only 7 are proposed. Alternative compliance is requested for the shrub requirement. The remainder of the required landscaped area would be covered by turf and herbaceous plants.

- Because a front yard is required along 28th Avenue, a 20 foot landscaped yard with 3 foot tall screening and at least 13 trees is required. A 6.5 foot wide landscaped yard with 20 trees and no screening is proposed. Alternative compliance is requested.
- A 20 foot landscaped yard is also required between the loading area and 28th Avenue with screening that is 6 feet tall and at least 2 trees. No landscaping or screening is proposed. Alternative compliance is requested.
- Adjacent to the north property line, a 7 foot landscaped yard with 6 foot screening is required between the loading area and the parsonage. A 6 foot tall screen is proposed as part of the refuse and transformer enclosure, but no landscaping is proposed. Alternative compliance is requested.
- The corners of the parking area that are not needed for parking or circulation will be landscaped.
- All parking spaces would be within 50 feet of an on-site deciduous tree. The tree islands would be 7 feet or wider.
- All other areas of the site not occupied by buildings, parking and loading areas, walkways and play areas will be covered by landscaping.
- The landscaping plan indicates that the installation of all landscape materials will comply with section 530.210. Irrigation information is not shown, but will need to be included in the final plans.

Table 2. Landscaping Requirements

	Code Requirement	Proposed
Lot Area	--	192,898 sq. ft.
Building footprint	--	76,250 sq. ft.
Remaining Lot Area	--	116,648 sq. ft.
Landscaping	23,330 sq. ft.	50,961 sq. ft.
Canopy Trees (1: 500 sq. ft.)	47 trees	Approx. 65 trees
Shrubs (1: 100 sq. ft.)	233 shrubs	7 shrubs

Additional Standards – Meets requirements

- Six inch by six inch continuous concrete curbing would be provided for all parking and driveways. Stormwater runoff would be directed to a new underground stormwater management system. The Public Works Department will review the project for appropriate drainage and stormwater management. Most of the existing parking lot curbing would not be disturbed as part of the project. However, the applicant is encouraged to explore on-site filtration where practical.
- The proposed additions would not impede views of important elements of the city, and would be located and arranged to minimize shadowing on public spaces and adjacent properties and to minimize the generation of wind currents at the ground level.
- The site plan includes crime prevention through environmental design elements. The overall amount of windows on the building would increase significantly providing more opportunities for people to observe adjacent spaces and public sidewalks. The applicant has submitted a lighting plan that shows that shielded lights will be added on the west side of the building and will provide lighting at the main entrance. However, the lighting levels of the fixture adjacent to the church property will need to be adjusted. Widened walkways would provide a clear and direct connection between the public sidewalks and the main building entrances.
- No locally designated or eligible structures are located on the site.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is *conditional* in the R2B District. The addition of floor area and parking requires a conditional use permit.

Off-street Parking and Loading – Meets requirements

- For a grade school, the minimum vehicle parking requirement is equal to one space per classroom plus one space per 5 students of driving age based on the maximum number of students attending classes at any one time. The maximum parking requirement is equal to two spaces per classroom plus one space per 3 students of driving age based on the maximum number of students attending classes at any one time. The building will have 127,920 square feet of gross floor area. The proposed number of classrooms is 48 with 0 students of driving age.
- The Minneapolis Park and Recreation Board operates space at the very south end of the building, which includes meeting rooms and a game room. Park buildings are not subject to minimum parking requirements unless facilities such as indoor recreational facilities are provided. The indoor recreational facilities occupy approximately 2,100 square feet. The minimum and maximum parking requirements are as determined by the zoning administrator. These spaces are multi-purpose; therefore a minimum requirement of 1 space per 500 square feet of gross floor area of the indoor recreation facility and a maximum of 1 space per 200 square feet of the total gross floor area will be applied. The total MPRB space is approximately 7,800 square feet. No changes are proposed to the MPRB space.
- With 52 parking spaces, at least 3 accessible spaces are required. Three accessible spaces will be provided.
- The minimum bicycle parking requirement for a grade school is 3 spaces per classroom.
- The minimum loading requirement is based on the overall gross floor area of the building. With 127,920 square feet of GFA, at least 2 small loading spaces are required. The proposed loading area would accommodate 2 small spaces.

Table 3. Vehicle Parking Requirements Per Use (Chapter 541)

	Minimum Parking Requirement	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
Grade school	48	--	48	96	52 (shared)
Park building	4	--	4	39	
TOTAL	52	--	52	135	

Table 4. Bicycle Parking and Loading Requirements (Chapter 541)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
Grade school	144	Not less than 50%	--	152 short-term	Low (2 small spaces)	2 small
Park building	None	--	--		None	None
TOTAL	144	72	--	152	2 small	2 small

Building Bulk and Height – Requires conditional use permit and variance

- To increase the maximum FAR, a variance is required.
- To increase the maximum building height, a conditional use permit is required.

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	192,898 sq. ft.
Gross Floor Area (GFA)	--	127,920 sq. ft.
Maximum Floor Area Ratio (GFA/Lot Area)	0.5	0.66
Maximum Building Height	2.5 stories or 35 feet, whichever is less	3 stories, 42 ft.

Lot Requirements – Meets requirements

Table 6. Lot Summary

	Code Requirement	Proposed
Minimum Lot Area	20,000 sq. ft.	192,898 sq. ft.
Minimum Lot Width	100 ft.	242 ft. and greater

Yard Requirements – Requires variance(s)

- **Front:** In the R2B district, the minimum front yard requirement is 20 feet unless the setback of an adjacent principal structure originally designed for residential purposes is greater.
 - **22nd St (north):** A front yard is required adjacent to 22nd Avenue. The adjacent structure was not originally constructed for residential purposes; therefore the required set back is 20 feet. The building addition will comply with this requirement. No obstructions are proposed to be added in this yard.
 - **29th Ave (east):** A front yard is required adjacent to 29th Avenue. There are no adjacent structures on this side of the block; therefore, the required set back is 20 feet. Two of the building additions would be located 12 feet 9 inches from the front lot line. A canopy with a bench feature would project from the building and would be located up to 8 feet from the front lot line. A variance is required to allow the proposed setbacks. Walkways, 4 to 5 feet in width, would be added in this yard. Walkways up to 12 feet in width are allowed for schools.
 - **28th Ave (west):** A 20 foot wide front yard is required adjacent to 28th Avenue. The adjacent residential structure may be accessory to the adjacent place of assembly and it is set back less than 20 feet to the street. The building additions would comply with this yard requirement. Proposed obstructions in the yard include the parking area, loading area, driveways, refuse storage containers with a screen, and walkways. The walkways are allowed as proposed. Driveways are permitted obstructions provided they do not exceed 25 feet in width. Both driveways would be 25 feet wide or less. The parking lot currently extends into the required front yard and is setback 6.5 feet. The expanded parking area will also be set back 6.5 feet. The proposed loading area will extend up to the front lot line. Both parking and loading are not permitted obstructions and parking is not allowed to be located between a principal structure and the front lot line in the R2B district. Refuse storage containers and screening that exceeds 3 feet in height are also not allowed obstructions. They would be set back 10 feet. A variance is required to allow the parking and loading areas and for them to be located between the building and the street and to allow the refuse containers with a screening enclosure.
- **Interior side:** An interior side yard is required adjacent to the north and the west lot lines adjacent to the place of assembly property. The minimum interior side yard requirement for

the building is equal to 5+2x feet, where x is equal to the number of stories above the first floor. The proposed building height is 3 stories; therefore, the minimum interior side yard requirement is 9 feet. Only fences and retaining walls can be allowed as permitted obstructions in required interior side yards for nonresidential uses.

- North: The building addition adjacent to the north lot line would be setback more than 9 feet. However, the transformer, refuse containers, and a screening enclosure would be located up to the lot line. A variance is required to allow the obstructions.
- West: The building addition would be set back 6.5 feet from the west lot line. A walkway is also proposed. These obstructions require a variance.

Table 7. Minimum Yard Requirements

	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front (22 nd St)	20 ft.	--	20 ft.	20 ft.
Front (29 th Ave)	20 ft.	--	20 ft.	12 ft. 9 in.
Front (28 th Ave)	20 ft.		20 ft.	20+ ft.
Interior Side (North)	9 ft.	--	9 ft.	6.5 ft.
Interior Side (West)	9 ft.	--	9 ft.	9+ ft.

Signs – Meets requirements with Conditions of Approval

- Signs are subject to Chapter [543](#) of the Zoning Code. Separate permits are required from the Zoning Office for any proposed signage.
- For grade schools in the R2B district, the following is allowed: One wall identification sign not exceeding 32 sq. ft. per block face. Maximum height of 14 ft. or top of wall, whichever is less. In addition, one monument sign not exceeding 32 sq. ft. in area and 8 ft. in height. Either the wall sign or the monument sign, but not both, may be a dynamic changeable copy sign. The dynamic changeable copy sign portion of the sign shall not exceed 16 sq. ft. Either the wall sign or the monument sign, but not both, may be illuminated.
- The applicant is proposing a 28 square foot wall sign on the 28th Avenue building elevation. It would not be illuminated. As shown on the plans, the sign would be placed 18.5 feet above grade. Because there are no authorized variances for signs located in residential zoning districts, the height of the sign will need to be reduced at least 4.5 feet.

Dumpster Screening – Meets requirements

- Refuse and recycling storage containers are required to be enclosed on all four sides by screening compatible with the principal structure not less than two feet higher than the refuse container or must be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. A 6 foot tall brick wall would enclose the containers on 3 sides. The south side will have decorative metal panel gates. Elevations of the enclosure will need to be provided in the final plans.

Screening of Mechanical Equipment – *Meets requirements*

- All mechanical equipment is required to be arranged so as to minimize visual impact by using screening and must comply with Chapter [535](#) and district requirements. A transformer will be located adjacent to the loading area. It will be screened by a 6 foot tall brick wall and decorative metal panel gates. Roof top equipment will be screened by metal screen walls.

Lighting – *Meets requirements with Conditions of Approval*

- Lighting must comply with Chapter [535](#) and Chapter [541](#) of the zoning code. Some lighting information has been provided for the site. A full lighting plan will need to be provided. The lighting levels adjacent to the parsonage will need to be adjusted to comply with the requirements.

Lot Coverage – *Meets requirements*

- In the R2B district, the maximum allowed lot coverage is 50 percent. With a lot area of 192,898 square feet, up to 96,449 square feet of lot coverage is allowed. The proposed amount of lot coverage is 76,250 square feet, which covers 39.5 percent of the site.

Impervious Surface Area – *Requires variance(s)*

- In the R2B district, the maximum allowed impervious surface coverage is 65 percent. With a lot area of 192,898 square feet, up to 125,383.7 square feet of impervious surface coverage is allowed. The existing amount of impervious surface area on the site is 128,436 square feet, which covers 66.6 percent of the site. The proposed amount of impervious surface is 141,937 square feet, which covers 73.6 percent of the site. A variance is required to increase the maximum amount of impervious surface.

Specific Development Standards – *Meets requirements with Conditions of Approval*

- Grade schools are subject to the following development standards. With the adoption of the CPED recommendation,
 - (1) The use shall include a regular course of study accredited by the State of Minnesota.
 - (2) To the extent practical, all new construction or additions to existing buildings shall be compatible with the scale and character of the surroundings, and exterior building materials shall be harmonious with other buildings in the neighborhood.
 - (3) An appropriate transition area between the facility and adjacent property shall be provided by landscaping, screening and other site improvements consistent with the character of the neighborhood.

Fencing – *Meets requirements with Conditions of Approval*

- Fences must comply with Chapter [535](#) of the zoning code. No fencing is proposed to be installed as a part of the project. There is an 11 foot tall chain link fence located between the school and church properties. Part of the fence will be removed in the area where the refuse containers will be stored. If the remaining fence is to be replaced, it will need to comply with the fence requirements.

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

With the adoption of the staff recommendation, the proposed site plan would be consistent with *The Minneapolis Plan for Sustainable Growth* (for the applicable policies, see finding #5 above in the conditional use permit section for the school expansion).

4. Conformance with applicable development plans or objectives adopted by the City Council.

Not applicable.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Windows.** On the first floor of the building addition facing 29th Avenue, at least 30 percent of the wall area between 2 and 10 feet above the adjacent grade (equal to 149 square feet) is required to be windows. The bottom of the windows on this wall is also required to be located within 4 feet of the adjacent grade. The proposed amount of windows that would meet these requirements is equal to 3.4 percent of the wall area, or 17 square feet. The proposed windows would also not be vertical in proportion. They function more as a wall enhancement which creates visual interest. This wall is adjacent to a mechanical room, a bathroom, and a classroom. Windows in a mechanical room or a bathroom would not meet the intent of the ordinance because it would not increase opportunities for natural surveillance. The primary windows for this classroom face 22nd Street along with the orientation of the other classrooms in this wing. There are other windows along the 29th Avenue building elevation that will ensure the security of the surrounding area is not compromised. For these reasons, staff is recommending that the Planning Commission grant alternative compliance.
- **Shrubs.** A minimum of 233 shrubs are required on-site. No shrubs exist. Seven are proposed. On-site, there would be a total of approximately 85 trees, including canopy, ornamental and coniferous trees. The vast majority of these trees exist. The new landscaping proposed by the applicant is mostly located by the main entrance facing 28th Avenue. The south end of the site is used for school and park functions. The distribution of the trees would provide a canopy over most of the site not occupied by the building and is more consistent with the use of the site. For these reasons, staff is recommending that the Planning Commission grant alternative compliance.
- **Landscaping and screening of the parking and loading areas.**
 - *Parking area:* Because a front yard is required along 28th Avenue, a 20 foot landscaped yard with 3 foot tall screening and at least 13 trees is required. A 6.5 foot wide landscaped yard with 20 trees and no screening is proposed. A front yard variance is also required to allow the setback for the expanded parking area. Staff is recommending approval of the variance. The existing parking area is setback 6.5 feet and the expanded parking area will align with this setback. Including the interior street boulevard, there is 13 feet of landscaping between the parking area and the public sidewalk. As described in the above findings for the variance, there are practical difficulties that affect where the parking can be located. However, a hedge could be installed that would meet the screening requirements and improve the buffer between the parking area, public sidewalk and residential properties located across the street. Staff is recommending that the Planning Commission grant alternative compliance to allow a 6.5 foot wide

- landscaped yard, but require the installation of the screening. The screening will need to be installed from curb-cut to curb-cut.
- *Loading area, west side:* A 20 foot landscaped yard is also required between the loading area and 28th Avenue with screening that is 6 feet tall and at least 2 trees. No landscaping or screening is proposed. A front yard variance is also required to allow the setback for the loading area. Staff is recommending approval of the variance. As described in the above findings for the variance, there are practical difficulties that affect where the parking can be located. Although no on-site setback is proposed, there is an 8 foot wide interior boulevard located between the front lot line and the public sidewalk. A landscape screen, such as Karl Foerster Feather Reed Grass, could be provided to lessen the visibility of the loading area. The plantings will require an encroachment permit, but Public Works has indicated that boulevard landscaping will not be an issue. Therefore, staff is recommending that the Planning Commission grant alternative compliance for the landscaped yard, but require the applicant to install a landscape screen in the boulevard.
 - *Loading area, north side:* Adjacent to the north property line, a 7 foot landscaped yard with 6 foot screening is required between the loading area and the parsonage. A 6 foot tall screen is proposed as part of the refuse and transformer enclosure, but no landscaping is proposed. An interior side yard variance is also required to allow the setback for the enclosure, refuse containers and transformer. Staff is recommending approval of the variance. As described in the above findings for the variance, there are practical difficulties that affect where these obstructions can be located. Staff is recommending that the Planning Commission grant alternative compliance for the landscaped yard requirement.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Conditional Use Permit:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use permit to allow an expansion of a grade school for the property located at 2309 28th Ave S, subject to the following conditions:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

Recommendation of the Department of Community Planning and Economic Development for the Conditional Use Permit:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use permit to increase the maximum height of a building from 2.5 stories and 35 feet to 3 stories and 42 feet for the property located at 2309 28th Ave S, subject to the following conditions:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity

requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and approve the application for a variance to reduce the minimum front yard requirement adjacent to 29th Ave S from 20 feet to 12.75 feet to allow the building additions and to 8 feet to allow a canopy for the property located at 2309 28th Ave S.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and approve the application for a variance to reduce the minimum front yard requirement adjacent to 28th Ave S from 20 feet to 0 feet to allow the parking and loading areas and for them to be located between the building and the street and to allow the refuse containers with a screening enclosure for the property located at 2309 28th Ave S, subject to the following conditions:

- I. The screening enclosure shall be set back at least 10 feet from the 28th Ave front lot line.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and approve the application for a variance to reduce the north interior side yard requirement from 5 feet to 0 feet to allow a transformer and the refuse containers with a screening enclosure for the property located at 2309 28th Ave S.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and approve the application for a variance to reduce the west interior side yard requirement from 9 feet to 6.5 feet to allow the third floor building addition and from 5 feet to 2 feet to allow a walkway for the property located at 2309 28th Ave S.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and approve the application for a variance to increase the maximum floor area ratio from 0.5 to 0.66 for the property located at 2309 28th Ave S.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and approve the application for a variance to increase the maximum impervious surface requirements from 65 percent to 73.6 percent for the property located at 2309 28th Ave S.

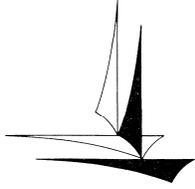
Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow an expansion of a grade school for the property located at 2309 28th Ave S, subject to the following conditions:

1. A hedge to screen the parking area adjacent to 28th Avenue shall be provided as required by section 530.170 of the zoning code.
2. To lessen the visibility of the loading area, a landscape screen shall be provided.
3. The applicant is encouraged to explore opportunities to provide on-site retention and filtration of stormwater from parking areas and driveways where practical as called for in section 530.230 of the zoning code.
4. Signage shall comply with Chapter 543 On-Premise Signs of the zoning code.
5. Lighting shall comply with section 535.590 of the zoning code.
6. Any new or replacement fencing shall comply with the requirements of Chapter 535, Article VI. Fences of the zoning code.
7. Department of Community Planning and Economic Development staff review and approval of the final building elevations, floor, site, lighting and landscape plans.
8. Site improvements required by Chapter 530 or by the City Planning Commission shall be completed by August 25, 2016, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

1. PDR report
2. Written description and findings submitted by applicant
3. Zoning map
4. Site survey
5. Site plan
6. Floor plans
7. Building elevations
8. Lighting plan
9. Context renderings
10. Shadow study
11. Photos
12. Correspondence



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **PATRICIA MURZYN**
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patricia.murzyn@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001206
Applicant:	MINNEAPOLIS PUBLIC SCHOOLS 1250 W. BROADWAY AVE MINNEAPOLIS, MN 55411
Site Address:	2309 28TH AVE S
Date Submitted:	05-JUN-2014
Date Reviewed:	11-JUN-2014

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Seward Montessori School remodel and expansion.

Review Findings (by Discipline)

Addressing

- The proposed project does not require Addressing review.

Construction Code Services

- For the school and the park identify curb ramp with slope at accessible parking space, provide accessible sign location on sidewalk, access aisle dimensions with "No Parking" marking on access aisle as well as include an enlarge detail plan of accessible route to accessible entrance in construction permit plan set per Minnesota State Accessibility Code section 406, 502, 503 and Minnesota State Statue 169.346.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

❑ Zoning - Planning

- The following required applications have been identified (additions from the email sent on 6/4 have been underlined): Conditional use permit to allow an expansion of a grade school; Conditional use permit to increase the maximum height of a building from 2.5 stories/35 feet to 3 stories/40 feet; Variance to increase the maximum floor area ratio from 0.5 to approximately 0.67 (existing FAR is approximately 0.48); Variance to reduce the minimum front yard requirement adjacent to 29th Ave S from 20 feet to 12.5 feet to allow the building additions; Variance to reduce the minimum front yard requirement adjacent to 28th Ave S from 20 feet to 0 feet and to allow parking and loading to be located between the building and the street; Variance to reduce the north interior side yard requirement from 5 feet to 0 feet to allow a transformer and refuse containers; Variance to reduce the west interior side yard requirement from 9 feet to 7 feet to allow the third floor building addition and from 5 feet to 2 feet to allow a walkway; and Site plan review.
- Some areas of the plans are difficult to read. In some plans, the drawings have very light line weights. With the underlying platting and spot elevations shown on the site plan, it's too cluttered. Please address these issues in the exterior elevations and the site layout plans.
- Show the outline of the third floor on the site layout plan.
- A 20 foot wide front yard is required along 29th Ave. The site plan should be updated to reflect this requirement.
- Provide a landscaping plan including the number, type (common and botanical names), and location of plants and planting and irrigation notes. Refer to Chapter 530 of the zoning code for requirements.
- Provide an architectural building demolition plan.
- Show lot line locations on the floor plans.
- Walls without architectural elements are not allowed to exceed 25 feet in width per section 530.120 of the zoning code unless alternative compliance is granted. A blank wall 40 feet in width is proposed on the north wall facing the interior lot line.
- Identify the bicycle parking location(s) and number of spaces.
- Identify the type, height, and materials for the required screening around all sides of the transformer and refuse containers. It looks like no screening is proposed around 3 of the containers. Screening requirements are found in sections 535.70 and 535.80 of the zoning code.
- Will the 11 foot tall chain link fencing located adjacent to the interior lot lines remain?
- Are there opportunities to do on-site filtration of stormwater (e.g. rain gardens) adjacent to the parking and loading areas?
- Provide a lighting plan. Lighting regulations are found in section 535.590 of the zoning code.
- The window sign needs to comply with Table-1 and section 543.480 of the zoning code.
- Additional information may be required once a land use application is submitted.
- The Planning Commission may require additional changes.

❑ Right of Way

- The plan as submitted meets the requirements of the Public Works Right-Of-Way Division.

❑ Street Design

- The plan as submitted meets the requirements of the Public Works Street Design Division.

❑ Sidewalk

- An ADA compliant pedestrian ramp is required at the crosswalk at the intersection of 28th Ave. S. and E.24th St. (see Traffic Comments). Construct one (1) ADA compliant pedestrian ramps at this location. Include the appropriate details and standard plates in the site plan, refer Mn/DOT Standard Plan 5-297.250 Pedestrian Curb Ramp Details at: <http://standardplans.dot.state.mn.us/stdplan.aspx>.

□ Traffic and Parking

- The nature of the proposed development is such that traffic impacts will be an issue; please contact Allen Klugman at (612) 673-2743 to discuss the requirements of a Travel Demand Management Plan (TDMP). Although a full TDMP may not be necessary, the Applicant shall provide a brief description of the operations, such as the bus count, teacher parking, number of students, how the new class rooms will be used, and potential for additional students in the future, and any other relevant information.
- Reconstruct the access point at the corner of 24th St. E. and 28th Ave. S. to allow for a pedestrian ramp crossing 28th Ave. S. on the north side of 24th St. E.

□ Water

- Since this is an addition and not a separate building, only one domestic (fire line only, possibly with detector check valve) service is allowed (this prevents the possibility of cross connections). Please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

□ Sewer Design

- Stormwater Management: Please identify the square footage of the area proposed to be disturbed with the project, and the existing and proposed impervious square footages within the disturbed area. Also identify the limits of disturbance on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.

□ Fire Safety

- Provide/continue automatic fire suppression and detection protection throughout new addition.
- Maintain fire department apparatus access at all times

□ Parks - Forestry

- Contact Paul Martinson (612-499-9209) regarding any questions related to adding, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
 - <http://library.municode.com/index.aspx?clientId=11490>.
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project, the calculated dedication fee is as follows:
- Park Dedication Fee Calculation =
- Non-Residential Commercial Space = \$11,400.00
- 5% of \$11,400.00 (Administration Fee) = \$ 570.00
- Total Park Dedication Administrative Fee: \$11,970.00
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Patty Murzyn 612-673-5827.

□ Environmental Health

- City and state records identify one operating underground heating oil tank of 8,000 gallons. The proposed work should not restrict access for leak detection, maintenance and removal of the tank if necessary. If the tank will be removed and replaced as part of this work see environmental service permit requirements listed below.
- If the project will be disturbing identified impacted soils on the site preapproval for removal, disposal and/or reuse of must occur from the MCPA and the City of Minneapolis prior to beginning excavation activities. If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.

□ Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time.

END OF REPORT

July 22, 2014

Janelle Widmeier
Senior City Planner
City of Minneapolis
Department of Community Planning Economic Development
Development Services
250 South 4th Street – Room 300
Minneapolis, MN 55415-1316

Subject: **Seward Montessori School –Land Use Application Response to Required Findings
LSE No. 14.1001.14**

Dear Janelle:

Please find below our Responses to the Required Findings for the Seward Montessori School project for your review and approval:

PROJECT DESCRIPTION

The Seward Montessori School project consists of the expansion and remodeling of the existing facility in order to increase the capacity to accommodate current enrollment levels. The existing facility has 39 classrooms, which generate an existing enrollment capacity of 753 students. Presently, there are approximately 887 students enrolled in the Seward Montessori Program. The proposed project will “right size” the existing facility in order to accommodate current enrollment by adding an additional 9 classrooms to achieve a total of 48 classrooms. Additionally, the project will also expand the facilities core capacity, including the expansion of both the cafeteria and media center spaces.

However, there are many challenges, largely related to accommodating programmatic and service components required for a K-8 Educational Facility within a limited site area. The Minnesota Department of Children & Family Learning Guide for Planning School Construction Projects in Minnesota recommends a site area of 25 – 35+ usable acres for a K-8 facility, and a School size of 125-155 SF per student. However, at only 4.428 acres (or 192,898 SF) the Seward Montessori site area is well over 20 acres shy of the recommended site area, and the available buildable area is at even more of a premium on this urban site due to a long term lease with the Minneapolis Park Board for the adjacent Matthews Recreation Center.

While some of the programmatic functions are met in the adjacent Matthews Park (i.e. sports fields and playgrounds), the limited site buildable area still represents a major practical difficulty to the expansion of the Seward Montessori facility. In response to these challenges, we are proposing a solution that will require a conditional use permit to expand the current conditional use, conditional use permit to increase the maximum height restrictions, as well as variances to increase the maximum floor area ratio, reduce four (4) minimum yard requirements, and increase the maximum allowed impervious surface coverage. Additional details pertaining to these conditional use permit and variance applications can be found in the following responses to required findings.

CONDITIONAL USE PERMIT

The application for conditional use permit is to expand the existing conditional use permit for a K-8 Educational Facility within a R2B zone. This addition/renovation project is to increase the capacity to meet current enrollment levels. The current facility was designed to accommodate approximately 753 students, and there are currently 887 students enrolled. This expansion will provide both the recommended number of classrooms, and building core (i.e. cafeteria and media center) in an effort to bring it more in line with 21st Century learning environments. With this said, because of the nature of this project, which is to “right size” the existing facility to meet the current enrollment capacity needs, there should not be any increase in either student enrollment or staffing, and therefore no impact on current traffic patterns or parking.

With regard to the Conditional Use Permit Application, we offer the following responses to the required findings:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

Response: The expansion of the existing conditional use permit for a K-8 Educational Facility will not be detrimental to or endanger the public health, safety, comfort or general welfare. Further, the project will improve upon many existing conditions (i.e. trash/transformer enclosures) to increase public health, safety, comfort or general welfare.

2. The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Response: The expansion of the existing conditional use for a K-8 Educational Facility will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. Further, the project will improve upon many existing conditions (i.e. loading/receiving area, added trash/transformer enclosure, parking lot expansion) to increase the enjoyment of other property in the vicinity.

3. Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.

Response: The project will improve the existing utilities by increasing sewer capacity, as well as improve site drainage by incorporating an underground stormwater management system.

4. Adequate measures have been or will be taken to minimize traffic congestion in the public streets.

Response: There are a total of 887 students currently enrolled in the Seward Montessori School served by 13 buses. Bus drop-off occurs along 29th Avenue South, and bus drop-off occurs between the hours of 7:15 AM and 7:25 AM, and bus pick-up between 1:45 PM and 2:05 PM. Approximately 35 parents drop-off children, primarily along 28th Avenue South, between the hours of 7:00 AM and 7:25 AM. Parents generally pick-up children between the hours of 1:45 PM and 2:20 PM. There are 100 teachers and staff working at this facility, and they generally arrive between the hours of 6:00 AM and 7:00 AM, and depart between the hours of 2:45 PM and 8:45 PM. Staff members park primarily in the parking lot, as well as along East 24th Street and 28th Avenue South. In addition to the school use, the park board building typically uses the parking lot from 2 PM to 9 PM on Monday through Friday during the school year, and 12 PM to 8 PM Monday through Thursday and 12 PM – 6 PM Fridays during the summer. Because of the nature of this project, which is to right size the existing facility to meet the current enrollment capacity needs, we do not anticipate an increase in either student enrollment or staffing.

5. The conditional use is consistent with the applicable policies of the comprehensive plan.

Response: The conditional use for a K-8 Educational Facility is consistent with the applicable policies of the comprehensive plan with the exceptions of increasing maximum height and the variances note below.

6. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

Response: The conditional use for a K-8 Educational Facility conforms with all applicable regulations of the district with the exceptions of increasing maximum height and the variances note below.

INCREASING MAXIMUM HEIGHT:

The application for Conditional Use Permit proposes an increase to the maximum allowable height of a building from 2.5 stories/35 feet to 3 stories/40 feet. This increase is necessitated largely due to site constraints, which include limited site buildable area, as well as a desire to preserve open space and reduce the impact on site impervious surface coverage. It would be difficult at best to achieve the programmatic needs of a 21st Century educational facility within the confines of such a limited site area, particularly with a two story facility. Further, the structure of the existing classroom wing was sized to accommodate a third level, and this option of a third level addition has proven to be the most feasible in order to meet current capacity needs. With regard to the Application for a Conditional Use Permit to Increase Maximum Height, we offer the following responses to the required findings:

1. Access to light and air of surrounding properties.

Response: The third floor addition has been planned with the intention of reducing the impact of the increased height on the surrounding properties. The addition has been centered both on the site, and within the footprint of the existing facility, thereby minimizing the impact on access to light and air of the surrounding properties.

2. Shadowing of residential properties, significant public spaces, or existing solar energy systems.

Response: The third floor addition has been planned with the intention of reducing the impact of the increased height on the surrounding properties. The addition has been centered both on the site, and within the footprint of the existing facility, thereby minimizing the impact on shadowing of residential properties, significant public spaces, or existing solar energy systems. Please refer to the attached diagram entitled Site Context (Shadow Study).

3. The scale and character of surrounding uses.

Response: The scale of the third floor addition is consistent with the scale and character of the surrounding uses. Surrounding uses include a Church which is significantly higher than the proposed addition, as well as residential uses and Matthews Park. Please refer to the attached diagram entitled Site Context (Surrounding Scale).

4. Preservation of views of landmark buildings, significant open spaces or water bodies.

Response: Due to its placement within the site and the existing building footprint, the third floor addition will not further impede views of landmark buildings, significant open spaces or water bodies from surrounding properties.

VARIANCES

MAXIMUM FLOOR AREA RATIO:

The application for a Variance to increase the maximum floor area ratio from 0.5 to approximately 0.67 (The existing FAR is approximately 0.48) is necessitated primarily by the limited site area. Given the limited site area, it would be difficult at best to achieve an adequately sized facility to meet the programmatic needs of a 21st Century Learning environment while also maintaining a floor area ratio of less than 0.5. In fact, the Minnesota Department of Children & Family Learning Guide for Planning School Construction Projects in Minnesota recommends a School size of 125-155 SF per student. With current enrollment at approximately 900 students, this would require a minimum facility size ranging between 112,500 SF and 139,500 SF. With an available site area of only 192,898 SF (excluding the portion allocated for the adjacent Matthews Park Recreation Center), this alone would result in a FAR ranging between of .58 and .72. With regard to the Application for a Variance to increase the maximum floor area ratio from 0.5 to approximately 0.67, we offer the following responses to the required findings:

1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Response: The practical difficulties that exist in complying with the ordinance are primarily related to the relatively limited site area. Because of circumstances unique to the property, namely its limited size, achieving the programmatic needs of a k-8 Educational Facility would be difficult at best, and impossible to do so while also maintaining a floor area ratio of less than 0.5. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

Response: The proposed expansion of the project will add a third level, as well as a series of additions that will remain largely within the existing building footprint, and where additions occur outside of the existing building footprint they will occur within the existing setbacks. We believe that this is both a reasonable use, and in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

Response: The proposed expansion of the project will add a third level centered over the existing facility, thereby reducing the impact on surrounding properties, as well as a series of additions that will remain largely within the existing building footprint, and where additions occur outside of the existing building footprint they will occur within the existing setbacks. Given the scale of the adjacent church properties and other adjacent properties we do not believe that this project will alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. We do not believe that the proposed variance will be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

MINIMUM YARD REQUIREMENTS:

We are applying for a total of four (4) minimum yard requirement variances which include the following:

1. *Variance to reduce the minimum front yard requirement adjacent to 28th Ave S from 20 feet to 10 feet:*

This variance is to allow for both the parking to be located between the building and the street, as well as to allow for the construction of an enclosure for a new transformer and refuse containers. Currently, the existing parking lot occurs between the building and the street, and both the transformer and refuse containers are unscreened and visible from the street. (Refer to Figures 1 - 4)

The proposed solution addresses these issues by providing screening for both the new transformer and refuse container locations, while also expanding the existing parking lot to the north to accommodate the required number of parking stalls. Additionally, the proposed solution also addresses safety issues inherent in the current design by separating the Service access from the Parent, Teacher, and Administrative traffic areas. The National Safety Council (NSC) offers the following recommendation regarding planning School sites for School Bus Safety:

“Whenever possible, separate pick-up and delivery points some distance from the teacher and student parking areas should be designated for parents, service, teacher, and administrative traffic. Unsafe conditions are created by haphazard pick-up and delivery of pupils in the bus loading zones, particularly during inclement weather.” (NSC)

We have designed the site layout as tightly as possible, with Safety as our paramount concern. With this said, we have relocated the service area away from the existing parking lot/parent drop-off area, and in close proximity to the most highly serviced areas (i.e. food service). The locations selected was given a great deal of consideration, and locating the service access in any other location would not allow for separation various traffic functions and would therefore represent a safety issue. Additional safety concerns regarding the various frontages are as follows:

- **28th Avenue South:** Currently, parent drop-off /pick-up occurs along 28th Avenue South. The proposed solution would expand the parent drop-off /pick-up area by eliminating the existing service drive. Additionally, access for trash pickup and delivery vehicles provides back-in maneuvering only, and interrupts the existing parent drop-off /pick-up and the existing parking lot. The proposed solution would separate these functions, which will improve drastically both safety and functionality by provided a new separate service drive with adequate off-street maneuvering area in accordance with Section 541.530.
- **29th Avenue South:** Currently, bus drop-off /pick-up occurs along 29th Avenue South. Locating a new service access drive along this road would not allow for the separation of the bus drop-off /pick-up traffic from the service traffic. Further, this location is remote from the most highly serviced areas of the facility (i.e. food service).
- **East 22nd Street:** The location of the existing facility along the East 22nd Street frontage would make it impossible to accommodate adequate maneuvering area for service vehicles internal to the site. Further, this location is remote from the most highly serviced areas of the facility (i.e. food service).

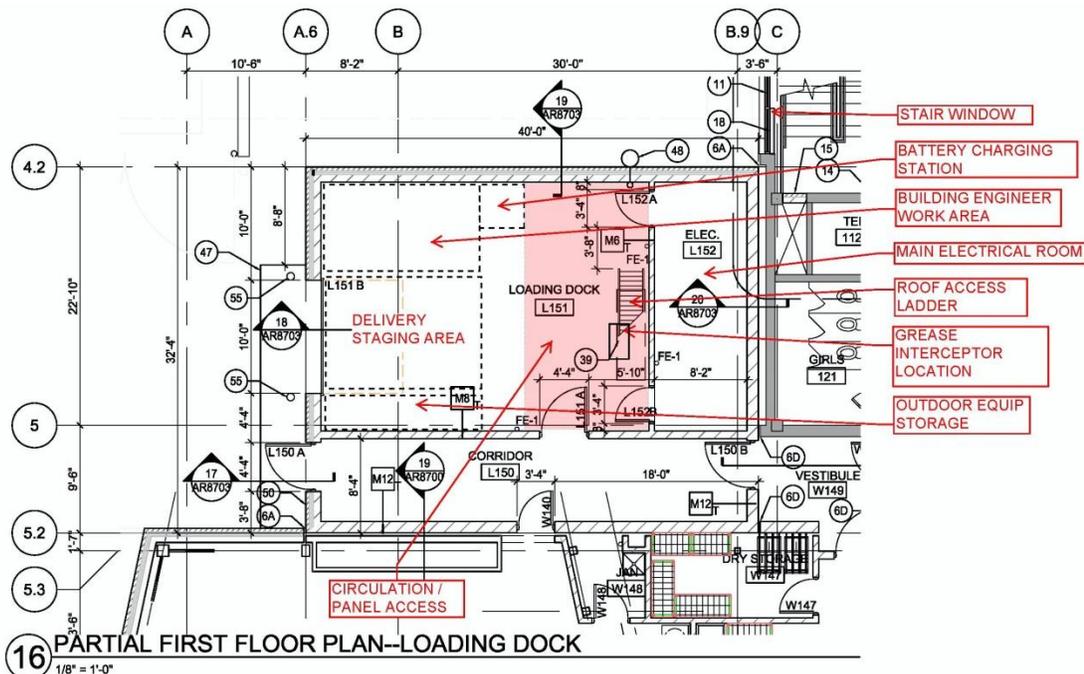
In addition to the safety concerns, the proposed solution also allows for a functional and adequately screened accessible and transformer and trash enclosure. The location of the

transformer is largely dictated by the clearance requirement associated with servicing the unit. Transformer dimensions are anticipated to be no greater than 166" long 100" deep, and requires clearances of 3'-0" from non-combustible construction on the sides and rear as well as 10'-0" clear access to a facing drive for service access. These requirements, along with service and egress access around the building, dictate the position of the transformer unit.

The proposed location of the trash enclosure is a result of a need to separate the Bus/Parent/Staff and Service Traffic to improve safety, as well as the transformer clearance and access requirements, and accommodating the turning radius requirements of trash and delivery trucks. We have explored several options; however, given the fact that the site is extremely tight and that all sides of the building are essential front yards and contain either of Bus/Parent/Staff Traffic, this option appears to be the most feasible in terms of Safety and Functionality.

The loading dock adjacent to the proposed transformer/trash enclosure is currently approximately 200 square feet less than the original building program called for, and yet it still includes the following functions (See Floor Plan below):

- Programmatic Functions:
 - Building Engineer Work Station
 - Delivery Staging
 - Battery Charging Station
- Mechanical and Electrical features requiring access/clear floor area:
 - Main Electrical Room
 - Grease Interceptor
 - Roof Access Ladder for Maintenance



Receiving Area Floor Plan

The abovementioned functions consume the space available within the loading dock area, and there is not a sufficient amount of space available for storing trash dumpsters within the loading dock area, nor maneuvering space for wheeling them out on pickup day. Further, the expansion of the loading dock area to the North Interior Side Yard setback to accommodate

the dumpsters would only allow for approximately 170 square feet of area, assuming full building. We estimate that approximately 300 square feet would be required to accommodate the dumpsters and the maneuvering area required. Full build out is not feasible due to an existing opening into the stair adjacent to the loading dock, to which we have aligned the northern wall of the loading dock and also serves as a means of egress for 240 occupants. This is further complicated by the proximity of this opening, as it presents code implications as the loading dock and the stair are considered by code to be two separate buildings them to be separated by a 2 HR Fire Wall. In addition to the code issues, the budgetary implications of adding approximately 300 square feet of conditioned space to accommodate the trash dumpsters would be approximately \$75,000.00 according to estimates, and the long-term operational cost to the district associated with providing staffing to wheel the dumpsters in and out of the receiving area for pickup would both be prohibitive.

With regard to the Application for a Variance to reduce the minimum front yard requirement adjacent to 28th Ave S from 20 feet to 10 feet, we offer the following responses to the required findings:

- 1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Response: Please refer to introductory paragraphs above. Practical difficulties exist in complying with the minimum front yard requirement which include, but are not limited to, Safety concerns with the provision of separation of Bus/Parent/Administrative and Service Traffic, as well as the fact that all sides of the building are considered front yards. This is compounded by the location of the existing parking lot bet between the building and the street, and the screening requirements for the trash dumpsters and transformer. These unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

- 2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

Response: The proposed parking lot expansion and transformer/trash enclosure would drastically improve upon the existing site conditions by separating of Bus/Parent/Staff and Service Traffic, allowing for internal circulation of both delivery and trash collection vehicles, as well as providing screening and access for the dumpsters and transformer. With this said, we believe that this is both a reasonable use, and in keeping with the spirit and intent of the ordinance and the comprehensive plan.

- 3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

Response: The project proposes a drastically improved, more pedestrian friendly public entry, which would bring great value to the nearby by properties, and community at large. Further, the proposed parking lot expansion and transformer/trash enclosure would also drastically improve upon the existing site conditions by improving safety, allowing for internal circulation of both delivery and trash collection vehicles, as well as providing screening and access for the dumpsters and transformer. With this said, we do not believe that this project will alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. We do not believe that the proposed variance will be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

2. *Variance to reduce the minimum front yard requirement adjacent to 29th Ave S from 20 feet to 12.5 feet:*

This variance is to allow for the North Building addition, which will house a new Kindergarten wing. The existing building at this condition already encroaches on the 20 foot minimum front yard requirement setback requirement, and is in line with the side yard setback of the property directly across E 22nd Street. We are proposing to build up to the line of the existing building, and maintaining the existing relationship to 29th Avenue South. (Refer to Figures 5 & 6)

With regard to the Application for a Variance to reduce the minimum front yard requirement adjacent to 29th Ave S from 20 feet to 12.5 feet, we offer the following responses to the required findings:

- 1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Response: Please refer to introductory paragraphs above. Practical difficulties exist in complying with the minimum front yard requirement which include, but are not limited to, the fact that all sides of the building are considered front yards. At this condition by the footprint of the existing facility with occurs within the minimum front yard. These unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

- 2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

Response: The proposed expansion of the project will add a third level, as well as a series of additions that will remain largely within the existing building footprint, and where additions occur outside of the existing building footprint they will occur within the existing setbacks. We believe that this is both a reasonable use, and in keeping with the spirit and intent of the ordinance and the comprehensive plan.

- 3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

Response: The proposed addition in this side yard will align with the footprint of the existing building, and will not encroach further than the existing building does presently. As a result, we do not believe that this project will alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. We do not believe that the proposed variance will be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

3. *Variance to reduce the north interior side yard requirement from 9 feet to 0 feet to allow a transformer and refuse containers:*

This variance is to allow for the construction of an enclosure for a new transformer and refuse containers. Currently, both the transformer and refuse containers are unscreened and visible from the street. (Refer to Figures 7 & 8)The proposed solution provides screening for both the new transformer and refuse containers. We have designed this layout as tightly as possible to allow for a functional and adequately screened trash enclosure, as well as a

screened and accessible transformer. As noted above, the location of the proposed trash/transformer enclosure is primarily related to separating Bus/Parent/Administrative traffic from Service traffic, but also a function of both the transformer clearance and access requirements, as well as accommodating the maneuvering requirements of trash and delivery trucks in accordance with Section 541.530. As noted above, we have explored several options; however, given the fact that the site is extremely tight and that all sides of the building are essential front yards, this option appears to be the most feasible to improve the safety, off-street maneuvering and separation of traffic flow.

With regard to the Application for a Variance to reduce the north interior side yard requirement from 9 feet to 0 feet to allow a transformer and refuse containers, we offer the following responses to the required findings:

- 1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Response: Please refer to introductory paragraphs above. Practical difficulties exist in complying with the minimum front yard requirement which include, but are not limited to, the fact that all sides of the building are considered front yards, making it difficult to accommodate the clearance and access and screening requirements for the new transformer, as well as accommodating the trash screening requirements, and associated turning radius requirements for trash /delivery trucks per Section 541.530. These unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

- 2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

Response: The proposed parking lot expansion and transformer/trash enclosure would drastically improve upon the existing site conditions by allowing for internal circulation of both delivery and trash collection vehicles, as well as providing screening and access for the dumpsters and transformer with a solid masonry wall (in lieu of the existing 11'-0" chain link fence at this condition). With this said, we believe that this is both a reasonable use, and in keeping with the spirit and intent of the ordinance and the comprehensive plan.

- 3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

Response: Again, the proposed parking lot expansion and transformer/trash enclosure would drastically improve upon the existing site conditions by allowing for internal circulation of both delivery and trash collection vehicles, as well as providing screening and access for the dumpsters and transformer. With this said, we do not believe that this project will alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. We do not believe that the proposed variance will be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

4. Variance to reduce the west interior side yard requirement from 9 feet to 7 feet:

This variance is to allow the existing setback to remain in place, though the third floor building to the building would require an increased interior side yard requirement (9 in lieu of 7 feet for a two story facility). (Refer to Figures 9 & 10) The third floor addition is necessitated largely by existing site constraints, which include limited site buildable area, as well as a desire to preserve open space and reduce the impact on site impervious surface coverage. It would be difficult at best to achieve the programmatic needs of a 21st Century educational facility within the confines of such a limited site area, particularly with a two story facility. Further, the structure of the existing classroom wing was sized to accommodate a third level, and this option of a third level addition has proven to be the most feasible in order to meet current capacity needs. However, the construction of the third level must occur directly in line with the structure below, and therefore is required to follow the footprint of the second level.

With regard to the Application for a Variance to reduce the west interior side yard requirement from 9 feet to 7 feet, we offer the following responses to the required findings:

- 1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Response: Please refer to introductory paragraphs above. The practical difficulties that exist in complying with the ordinance are primarily related to the relatively limited site area, which is exacerbated by the long-term lease agreement with Minneapolis Park and Recreation Board for the adjacent Matthews Recreation Center. Because of circumstances unique to the property, the buildable area is extremely limited, and the most viable option is to build up. This increases the interior side yard requirement; however, the existing building footprint occurs within this setback. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

- 2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

Response: The proposed expansion of the project will add a third level, as well as a series of additions that will remain largely within the existing building footprint. Where additions occur outside of the existing building footprint, they will align with the existing building footprint, and will therefore not encroach further on any of the required setbacks more than the existing condition. We believe that this is both a reasonable use, and in keeping with the spirit and intent of the ordinance and the comprehensive plan.

- 3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

Response: The proposed expansion of the project will add a third level centered over the existing facility, thereby reducing the impact on surrounding properties, as well as a series of additions that will remain largely within the existing building footprint, and where additions occur outside of the existing building footprint they will occur within the existing setbacks. Given the scale of the adjacent church properties and other adjacent properties we do not believe that this project will alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. Further, if granted, we do not believe that the proposed variance will be detrimental to the health,

safety, or welfare of the general public or of those utilizing the property or nearby properties.

IMPERVIOUS SURFACE COVERAGE:

This variance is to allow for an increase the maximum allowed amount of impervious surface coverage to from 65 percent to 73.6 percent. (Refer to Figures 11 - 14) This is necessary primarily due to the unique site program associated with both an educational facility, as well as a park facility. The expansion of the existing parking lot and the new sidewalks represent a relatively small portion of the sites impervious surfaces, and the new additions have been planned to minimize the impact on this number as well. However, the unique site program of a K-8 facility requires areas paved areas for hard play (i.e. hopscotch, foursquare, basketball etc.). The need for trails and plazas also plays a significant roll with regard to the park building, with paved areas for queuing and circulation at the bituminous area to the west of the park building. It should also be noted that, while the site area of the school site is only 4.428 acres (or 192,898 SF), the school facility not only leases a portion of the site to the Matthews Park Recreational Facility, it also utilizes may of the amenities located within the adjacent park (i.e. sports fields and playgrounds).

With regard to the Application for Variance to increase the maximum allowed amount of impervious surface coverage to from 65 percent to 73.6 percent, we offer the following responses to the required findings:

- 1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Response: Please refer to introductory paragraphs above. The practical difficulties that exist in complying with the ordinance are primarily related to the relatively limited site area, which is exacerbated by the long-term lease agreement with Minneapolis Park and Recreation Board for the adjacent Matthews Recreation Center. Because of circumstances unique to the property, the buildable area is extremely limited, and the most viable option is to build up. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

- 2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

Response: The proposed expansion of the project will add a third level, as well as a series of additions that will remain largely within the existing building footprint, and where additions occur outside of the existing building footprint they will occur within the existing setbacks. We believe that this is both a reasonable use, and in keeping with the spirit and intent of the ordinance and the comprehensive plan.

- 3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

Response: The proposed expansion of the project will add a third level centered over the existing facility, thereby reducing the impact on surrounding properties, as well as a series of additions that will remain largely within the existing building footprint, and where additions occur outside of the existing building footprint they will occur within the existing setbacks. Given the scale of the adjacent church properties and other adjacent properties we do not believe that this project will alter the essential character of the locality or be injurious to the

use or enjoyment of other property in the vicinity. Further, if granted, we do not believe that the proposed variance will be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

Sincerely,

A handwritten signature in black ink, appearing to read "Keon Blasingame". The signature is fluid and cursive, with a large initial "K" and "B".

Lawal Scott Erickson Architects, Inc.

Keon Blasingame
Project Manager

MPS - PROJECT INTENT

SEWA - Seward
Enrollment Planning 2013
Building Addition Project Intent Statement
Page | 1

The Enrollment Planning process presented to the MPS Board of Directors on 24 September 2013 and updated on 12 November 2013 discusses a variety of strategies to support academic transformation across the district and coordinate existing and anticipated disconnects between enrollment demand and enrollment capacity at several existing schools, one of which is Seward School.

This Project Intent Statement summarizes the enrollment and building context in which project planning occurs, resultant project goals and project constraints. The process is iterative in that the context outlines project goals which are further shaped by known and emergent constraints. Simultaneously, responses and exceptions to constraints are brought into greater focus as project goals achieve greater clarity.

ENROLLMENT PLANNING CONTEXT: For several years, the Montessori program at Seward School has operated as a four-kindergarten K-8 (K8-4K) program. This program has been very successful and it a sought-after school choice within its attendance area. However, the building has experienced measurable symptoms of overcrowding, which are most succinctly defined by noting that the Seward building is classified for facilities assessment purposes as a K8-3K building – a building that can best support a three-kindergarten K-8 program. It's a three-kindergarten building that houses a four-kindergarten program.

At least three solutions exist for this situation. The program can be enrollment managed to become a K8-3K program. Alternatively, the grade profile can be managed to redirect the middle grades to another building, and the program can become a K5-4K program. Both of these solutions have significant site and/or district obstacles to implementation. As a result, it has been decided to implement a facilities solution by enlarging the school building to more effectively accommodate a K8-4K program.

PROJECT CONTEXT SUMMARY: As noted above, the existing Seward building ("SEWA") is classified for facilities assessment purposes as a K8-3K prototype which, among several assessment dimensions, calls for a building of at least 34 classrooms. The prototype enrollment capacity is 652 students which, when compared with the actual classroom count of 39 in the existing building, generates an existing building enrollment capacity of 753 students. Enrollment has exceeded the building enrollment capacity for several years, and has been accommodated by a variety of instructional and organizational strategies at the school and district levels.

Some of these strategies have included the elimination of certain program elements. Others have imposed some relative constraints on the core program. The cumulative effect has been incremental erosion to the full spectrum of instruction at this school. As a result, a facilities expansion project has been developed to align building size with program enrollment.

PROJECT GOALS SUMMARY: This project has four goals. The primary project goal prioritizes classroom count and enrollment capacity. The second project goal is the improvement of classroom support spaces where existing capacity is already inadequate or where the enrollment increase will render them inadequate. The third project goal is

MPS - PROJECT INTENT

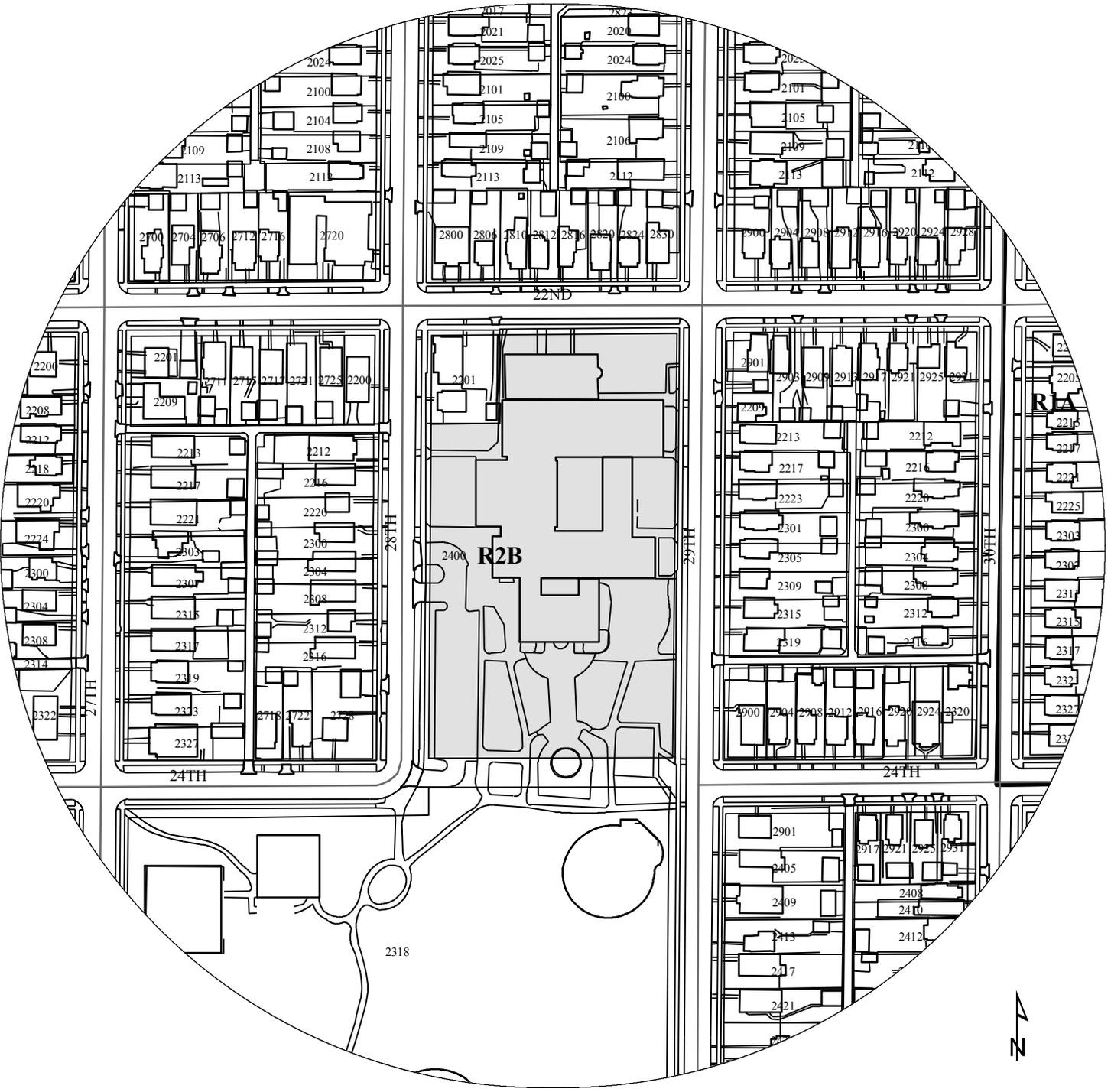
SEWA - Seward
Enrollment Planning 2013
Building Addition Project Intent Statement
Page | 2

enhancement of building security. The final project goal is to leave the site better poised for future development, whatever that may be and whenever it may occur. The project does not include the scope of work to convert the existing building into a full K8-4K prototype building.

PROJECT CONSTRAINTS SUMMARY: These goals must be met within certain constraints. First, Seward enrollment will not be decreased during construction requiring that most construction activities occur outside existing school spaces and that all construction activities be coordinated with identified instructional milestones. Second, buildable site area is limited. Thirdly, zoning issues under the jurisdiction of the city of Minneapolis will likely necessitate certain variances and conditional use permit amendments.

NAME OF APPLICANT

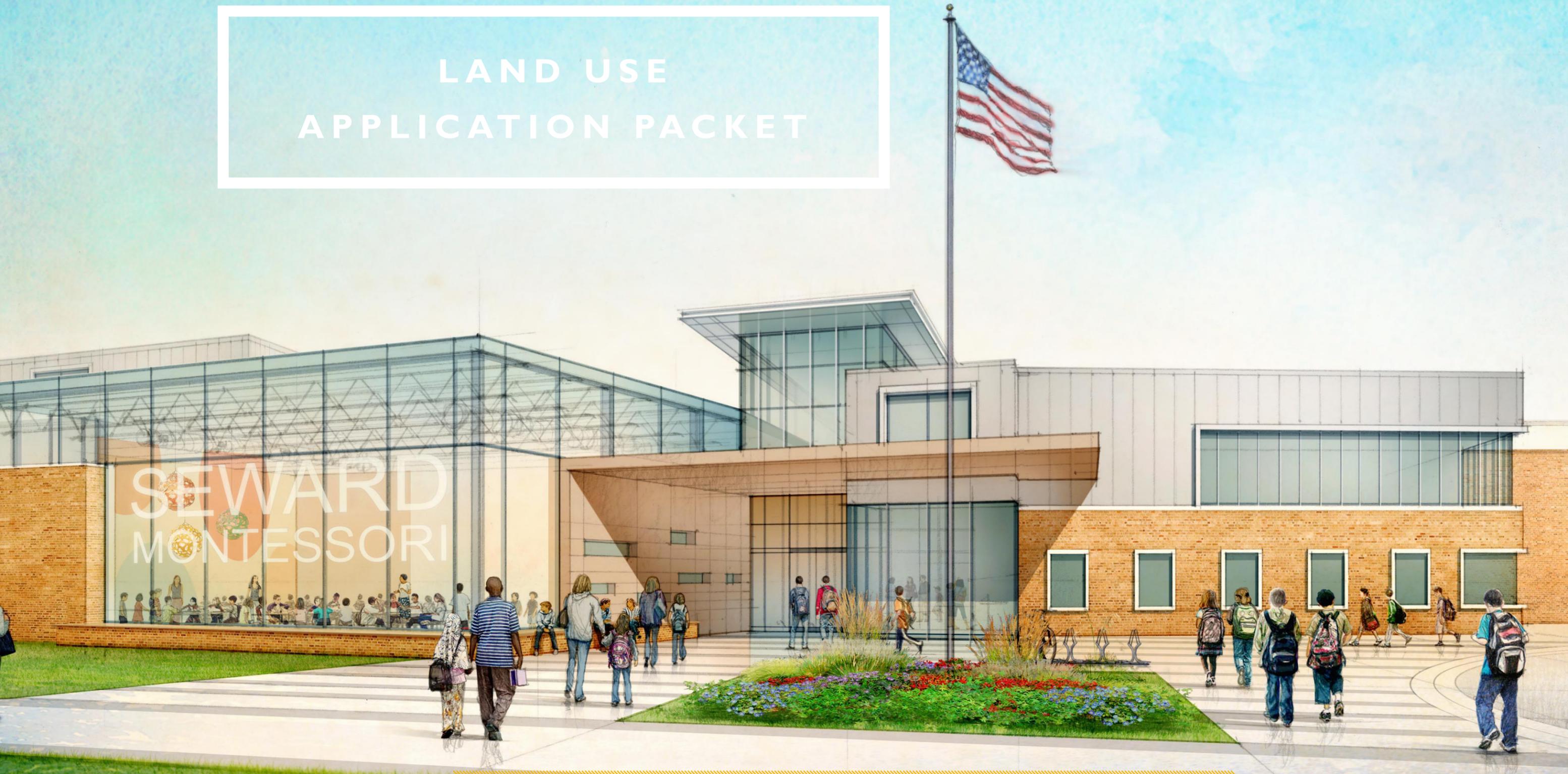
WARD



PROPERTY ADDRESS
2309 28th Ave S

FILE NUMBER
BZZ-6660

LAND USE APPLICATION PACKET



LAWAL SCOTT ERICKSON ARCHITECTS, INC.
100 Portland Avenue South - Suite 100
Minneapolis - MN - 55401
Office: 612.343.1010 - Fax: 612.338.2280

SEWARD
MONTESSORI





Key Plan

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Printed Name: Rhonda S. Pierce

Signature: _____

Date: _____ License #: 41333

No.	Date	Revision Description
-	8/14/2014	BID SET

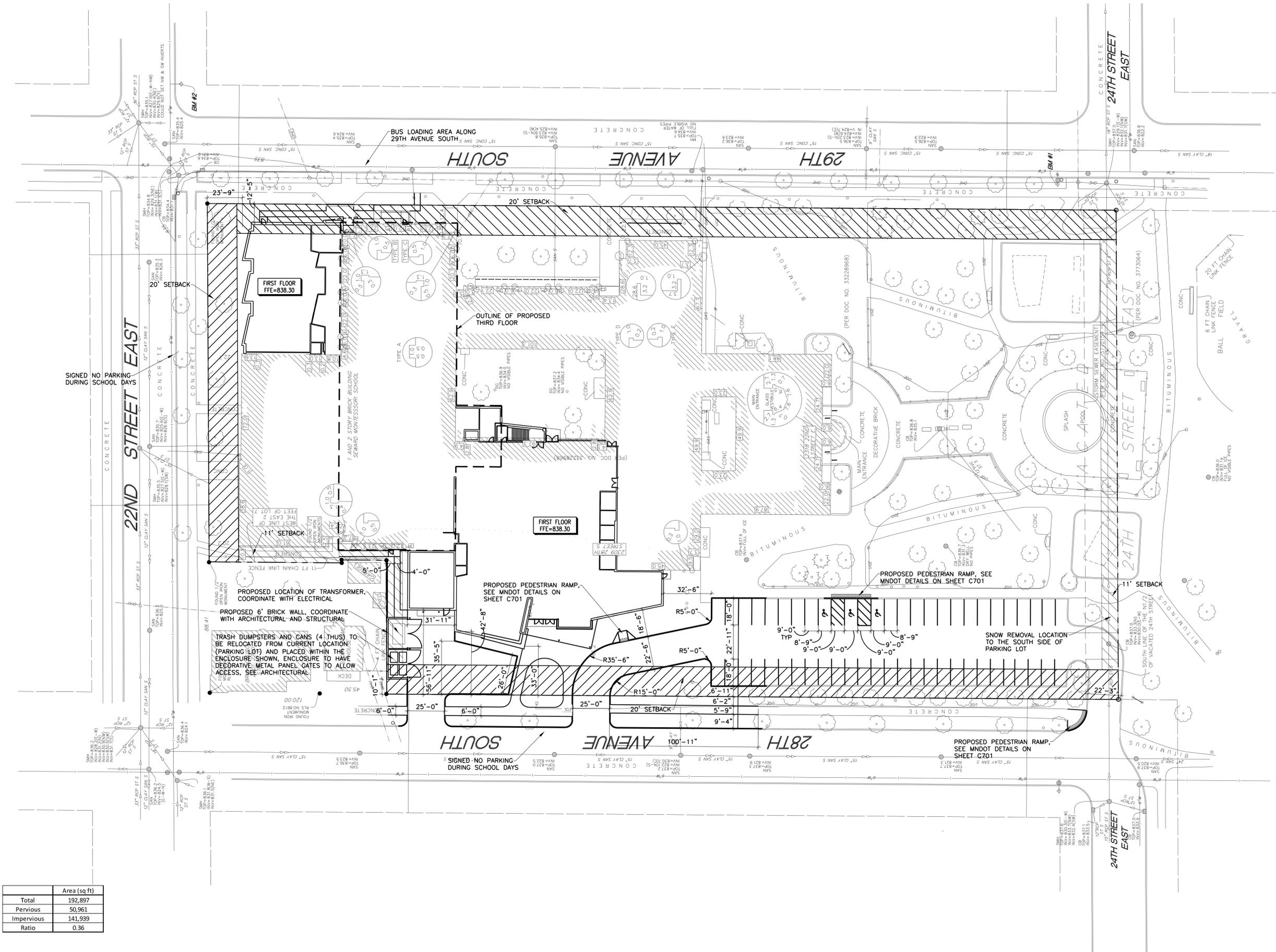


MINNEAPOLIS PUBLIC SCHOOLS
**SEWARD
MONTESSORI SCHOOL**
MINNEAPOLIS, MN

SITE LAYOUT PLAN

Project 14.1001.01 Drawing Number
Date 8/14/2014
Drawn by TPS
Checked by RSP

C101

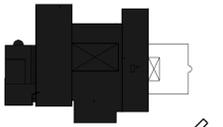


	Area (sq ft)
Total	192,897
Pervious	50,961
Impervious	141,939
Ratio	0.36

1 SITE LAYOUT PLAN



1" = 30'



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Signature: _____

Date: _____ License #: _____

No.	Date	Revision Description
-	5/2/2014	100% DD
-	6/2/2014	PDR SUBMITTAL

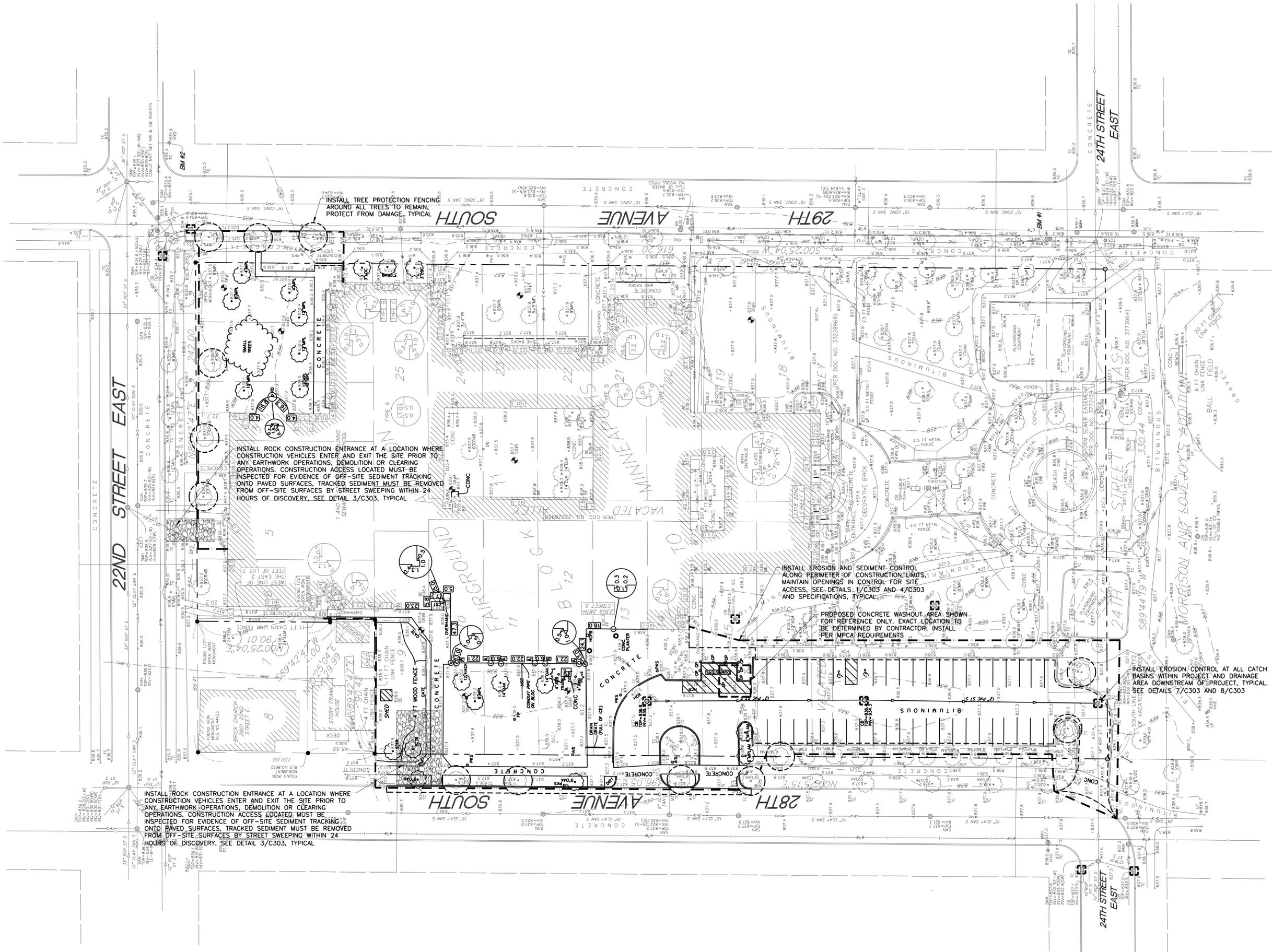


MINNEAPOLIS PUBLIC SCHOOLS
SEWARD
MONTESSORI SCHOOL
MINNEAPOLIS, MN

SWPPP
EXISTING
CONDITIONS

Project 14.1001.01 Drawing Number
Date 6/2/2014
Drawn by TPS
Checked by RSP

C301

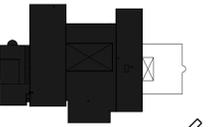


1 SWPPP EXISTING CONDITIONS

C301



1" = 30'



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Date: _____ License #: _____

No.	Date	Revision Description
-	5/2/2014	100% DD
-	6/2/2014	PDR SUBMITTAL
-	6/27/2014	LAND USE

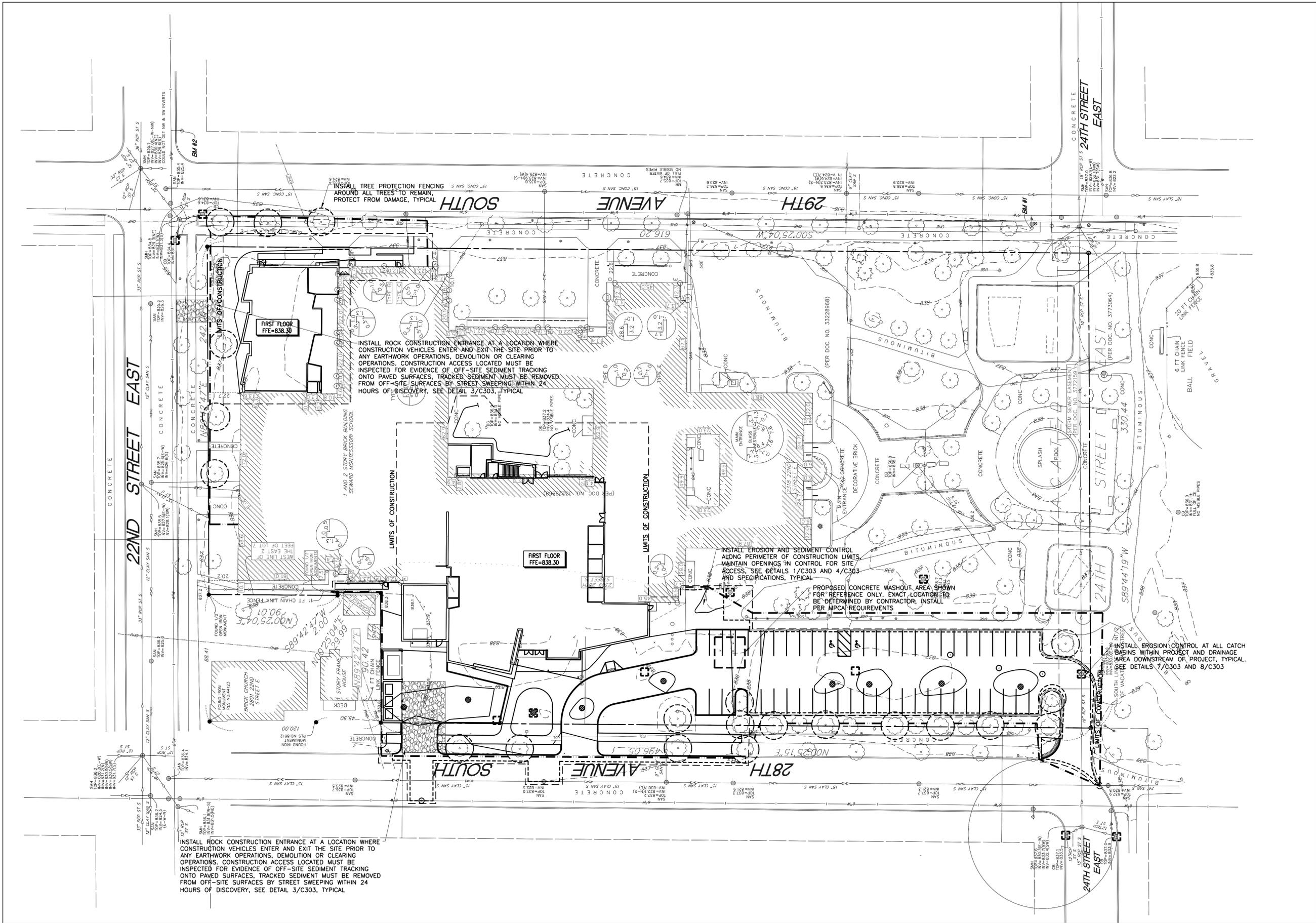


MINNEAPOLIS PUBLIC SCHOOLS
SEWARD
MONTESSORI SCHOOL
MINNEAPOLIS, MN

SWPPP
PROPOSED
CONDITIONS

Project 14.1001.01 Drawing Number
Date 6/27/2014
Drawn by TPS
Checked by RSP

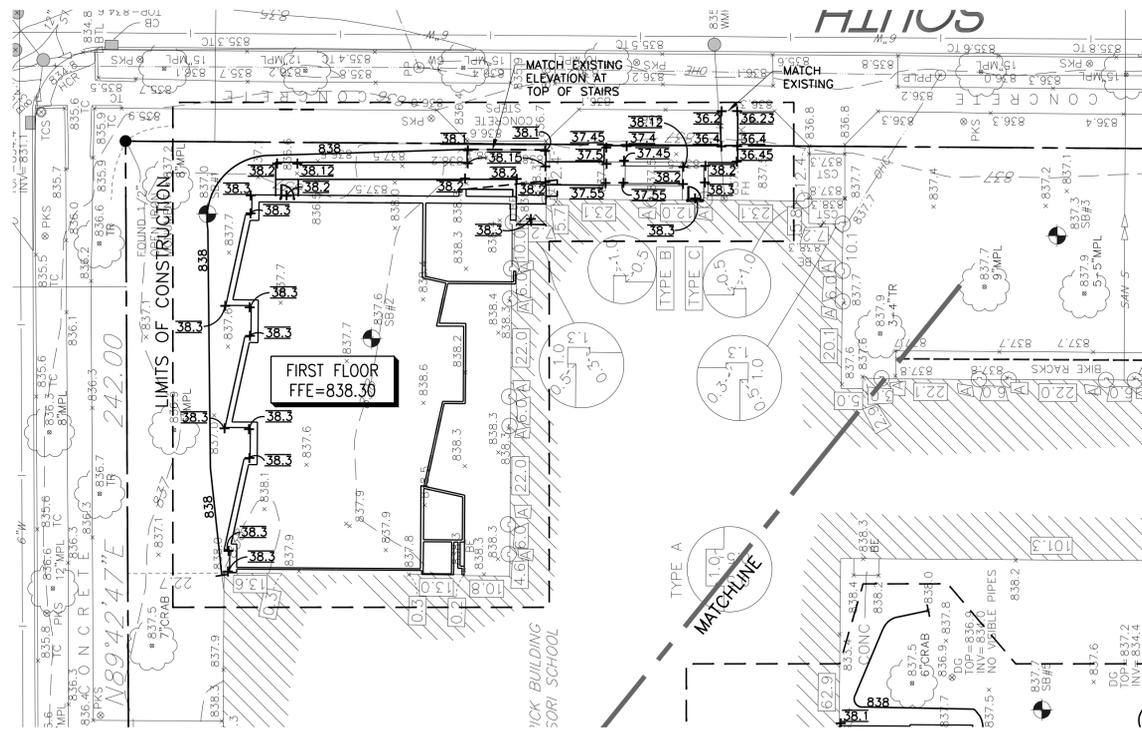
C302



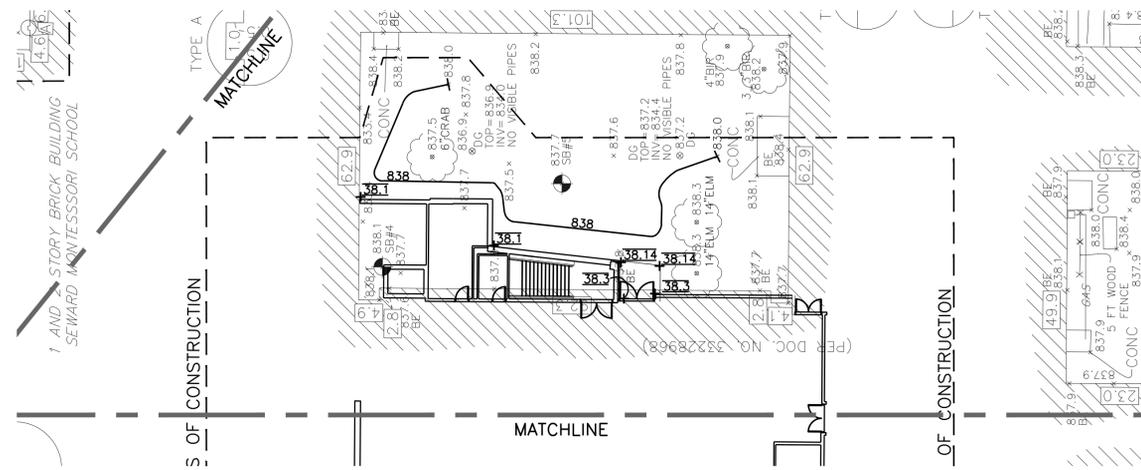
1 SWPPP PROPOSED CONDITIONS
C302



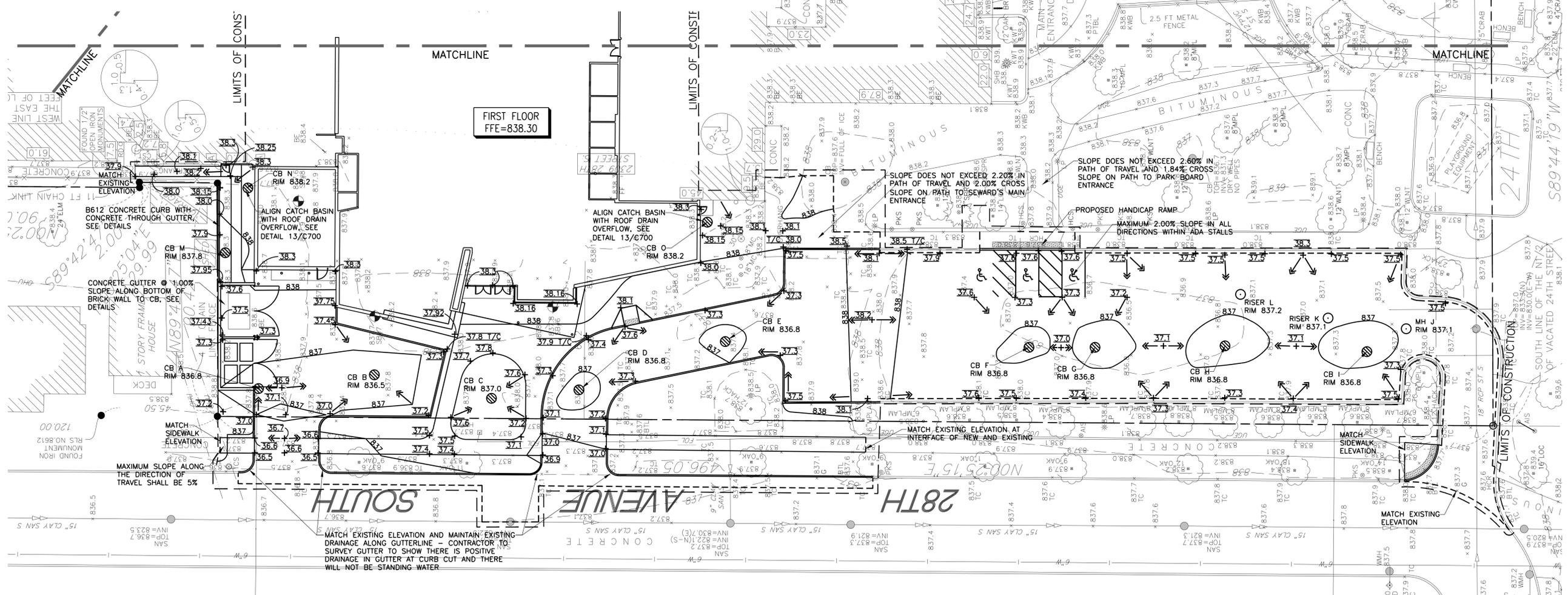
1" = 30'



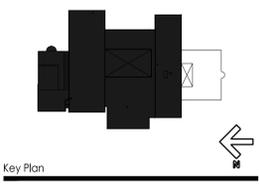
2 GRADING AND DRAINAGE PLAN – CHILDREN'S HOUSE
 NORTH
 C400
 0 20' 40' 60'
 1"=20'



3 GRADING AND DRAINAGE PLAN – INTERIOR COURTYARD
 NORTH
 C400
 0 20' 40' 60'
 1"=20'



1 GRADING AND DRAINAGE PLAN – MAIN ENTRY EXPANSION
 NORTH
 C400
 0 20' 40' 60'
 1"=20'



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Printed Name: Rhonda S. Pierce
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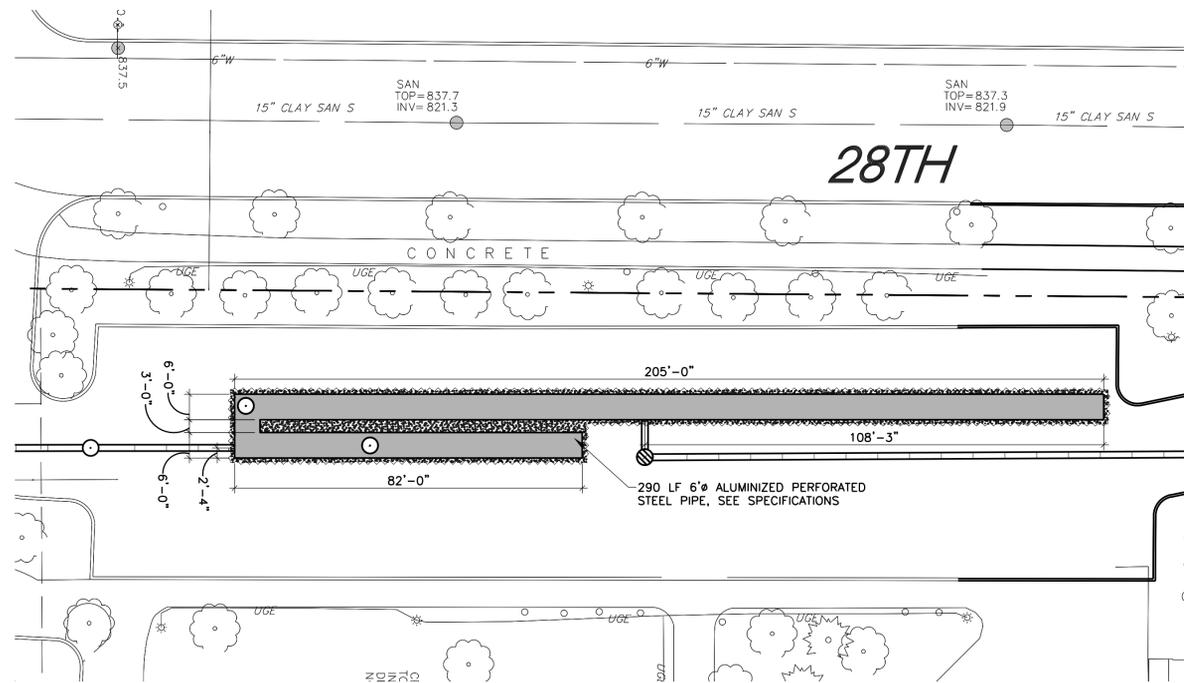
No.	Date	Revision Description
-	8/14/2014	BID SET



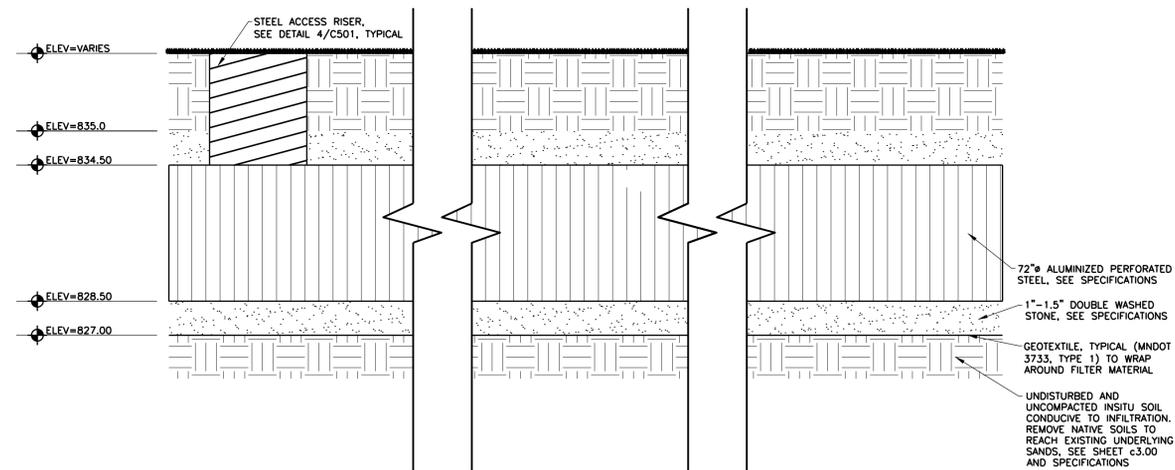
MINNEAPOLIS PUBLIC SCHOOLS
SEWARD MONTESSORI SCHOOL
 MINNEAPOLIS, MN

GRADING AND DRAINAGE PLAN

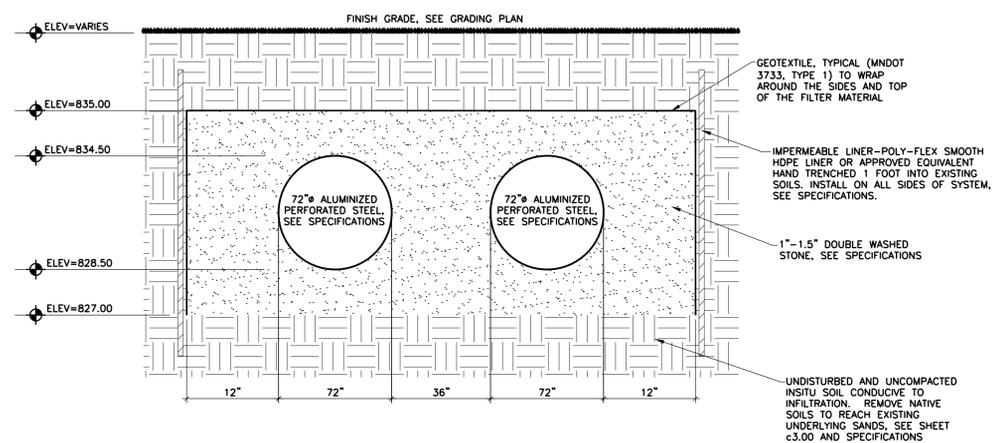
Project 14.1001.01 Drawing Number
 Date 8/14/2014
 Drawn by TPS
 Checked by RSP
C400



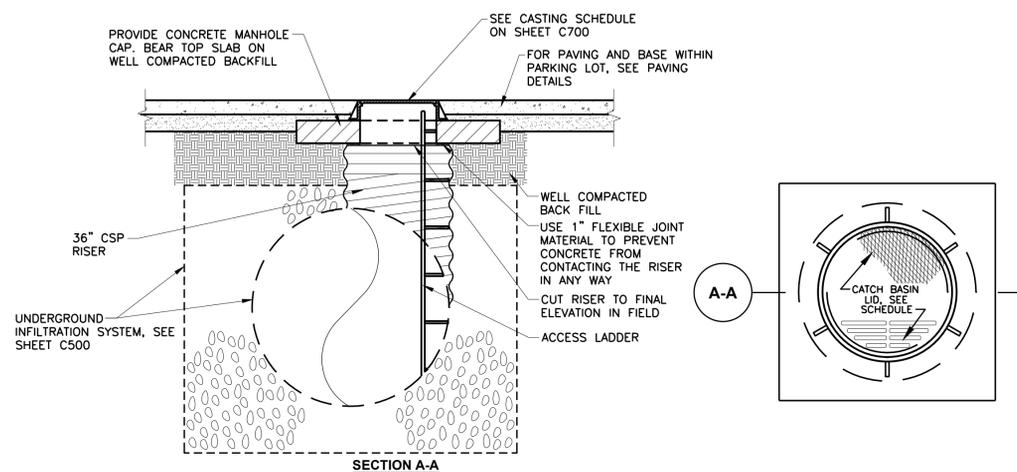
1 UNDERGROUND INFILTRATION SYSTEM PLAN
C501 NO SCALE



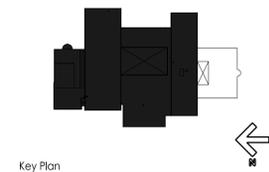
2 UNDERGROUND INFILTRATION SYSTEM PROFILE
C501 NOTE: RISERS, INLET AND OUTLET PIPES ARE SHOWN IN PROFILE VIEW FOR REFERENCE ONLY. SEE PLAN VIEW FOR ACTUAL LOCATIONS AND NUMBER OF RISERS AND PIPES. NO SCALE



3 UNDERGROUND INFILTRATION SYSTEM CROSS SECTION
C501 NO SCALE



4 RISER DETAIL
C501 NO SCALE



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Date: _____ License #: _____

No.	Date	Revision Description
-	5/2/2014	100% DD
-	6/2/2014	PDR SUBMITTAL

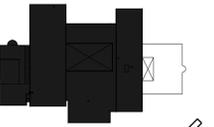


MINNEAPOLIS PUBLIC SCHOOLS
SEWARD
MONTESSORI SCHOOL
MINNEAPOLIS, MN

STORMWATER
MANAGEMENT
DETAILS

Project 14.1001.01 Drawing Number
Date 6/2/2014
Drawn by TPS
Checked by RSP

C501



Key Plan

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Printed Name: Rhonda S. Pierce

Signature: _____

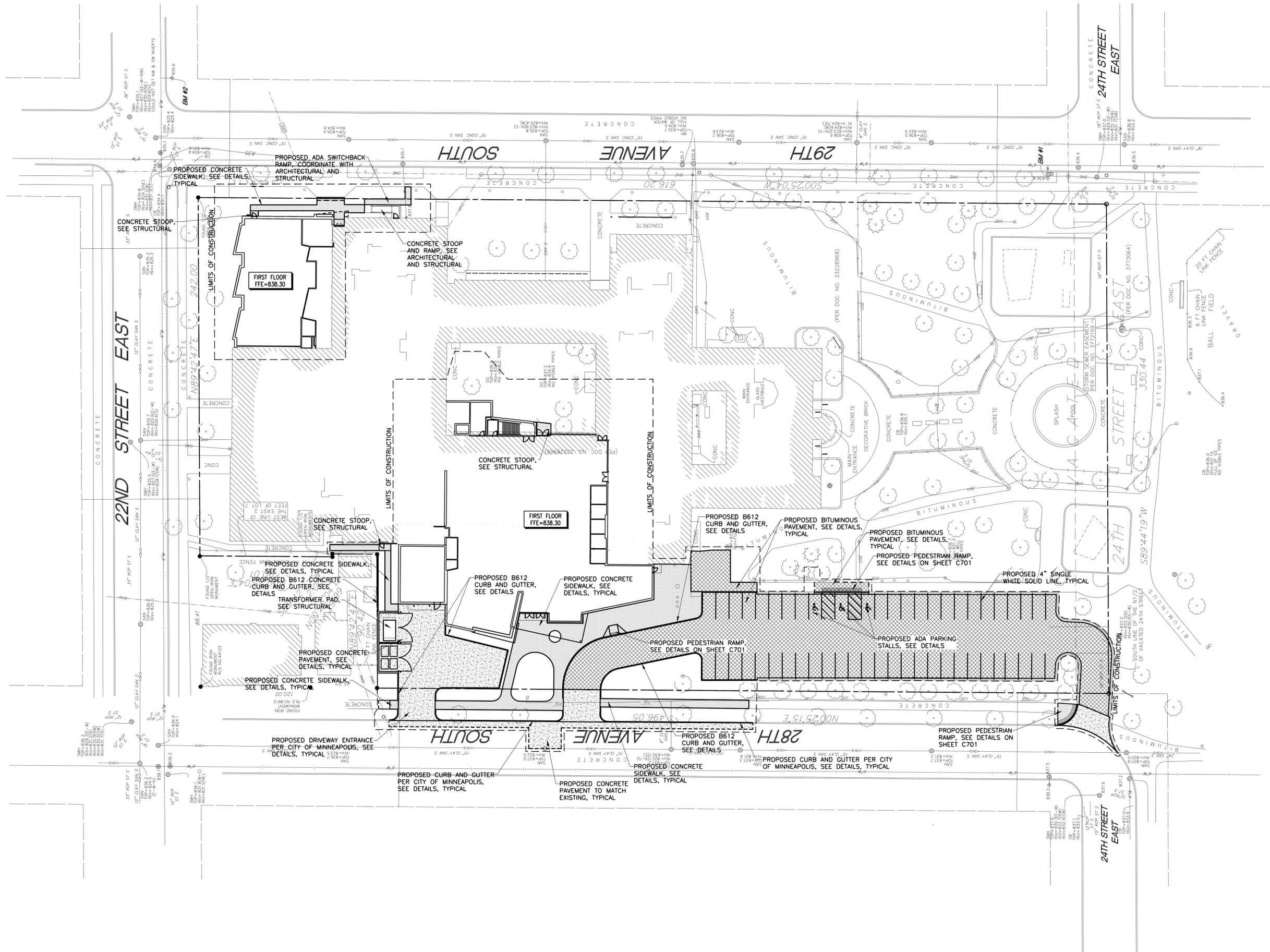
Date: _____ License #: 41333

No.	Date	Revision Description
-	8/14/2014	BID SET



MINNEAPOLIS PUBLIC SCHOOLS
SEWARD
MONTESSORI SCHOOL
MINNEAPOLIS, MN

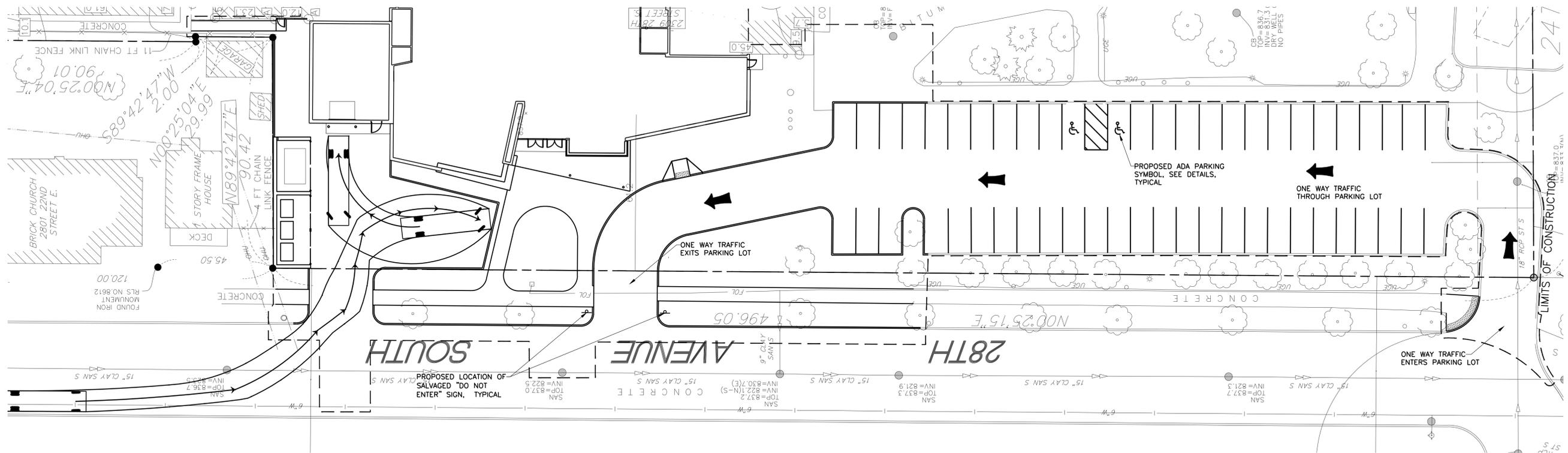
PAVING PLAN



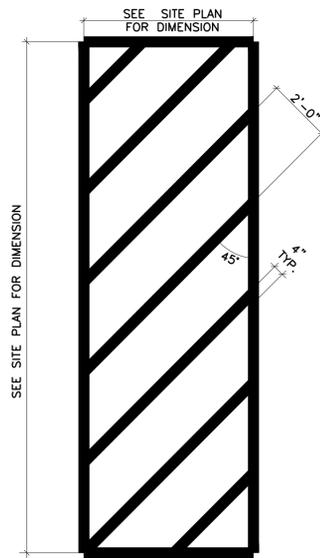
1 PAVING PLAN



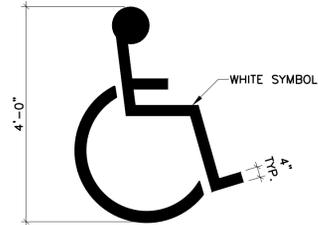
1" = 30'



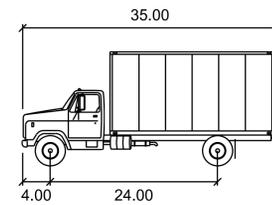
1 SIGNAGE, TRAFFIC FLOW AND TRUCK TURNING PLAN



2 ACCESS AISLE STRIPING
NO SCALE



3 HC PARKING SYMBOL
NO SCALE



CUSTOM DELIVERY
 Width : 8.00 Feet
 Track : 8.00
 Lock to Lock Time : 6.00
 Steering Angle : 31.80

4 TRUCK TURNING VEHICLE
NO SCALE



Key Plan

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 Date: _____ License #: _____

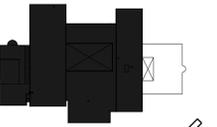
No.	Date	Revision Description
-	5/2/2014	100% DD
-	6/2/2014	PDR SUBMITTAL
-	6/27/2014	LAND USE



MINNEAPOLIS PUBLIC SCHOOLS
SEWARD
MONTESSORI SCHOOL
MINNEAPOLIS, MN

**SIGNAGE,
TRAFFIC FLOW,
AND TRUCK
TURNING PLAN**

Project 14.1001.01 Drawing Number
 Date 6/27/2014
 Drawn by TPS
 Checked by RSP **C601**



Key Plan

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Date: _____ License #: _____

No.	Date	Revision Description
-	5/2/2014	100% DD
-	6/2/2014	PDR SUBMITTAL

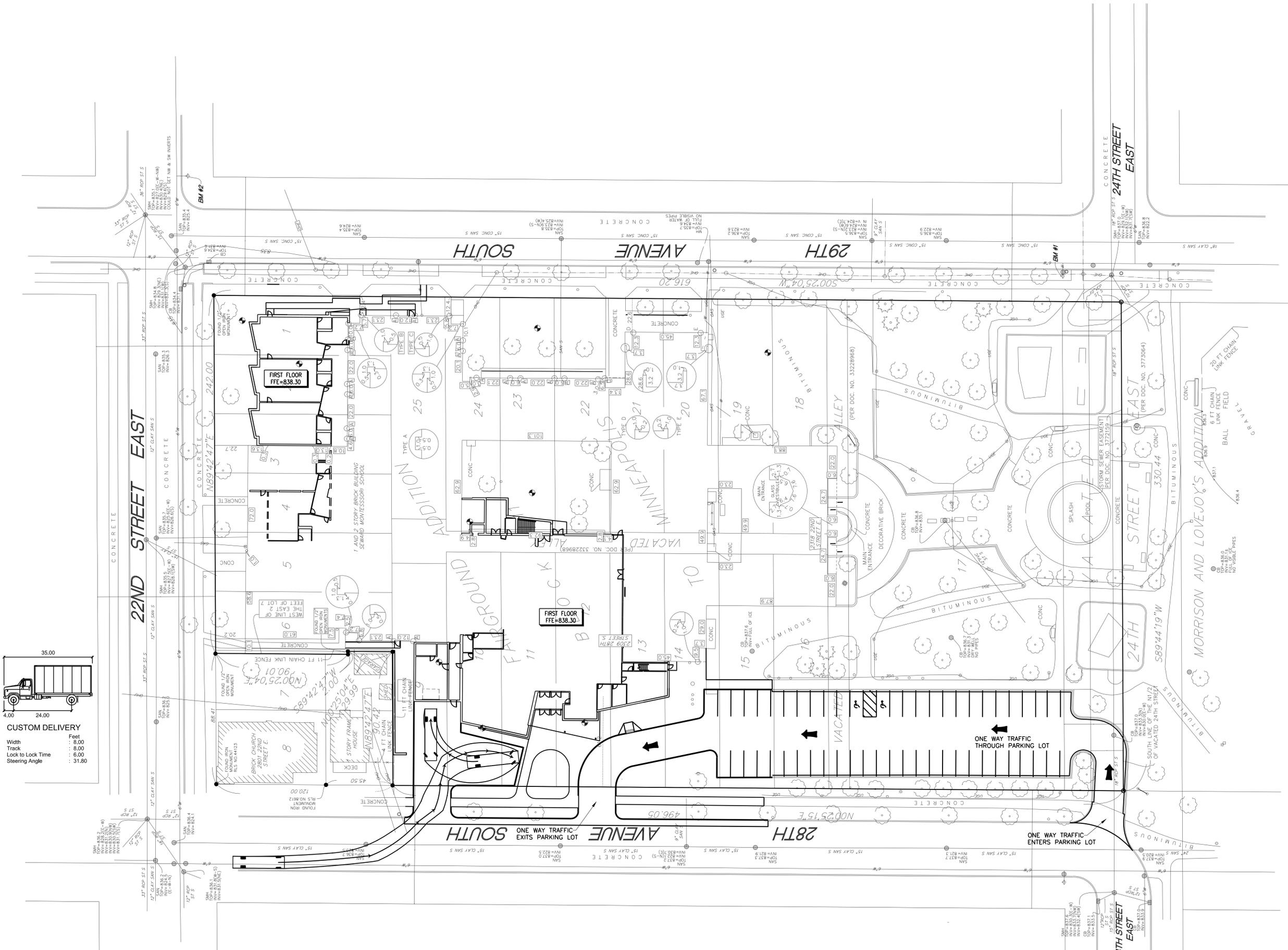


MINNEAPOLIS PUBLIC SCHOOLS
SEWARD
MONTESSORI SCHOOL
MINNEAPOLIS, MN

**TRUCK TURNING
& TRAFFIC FLOW**

Project 14.1001.01 Drawing Number
Date 6/2/2014
Drawn by TPS
Checked by RSP

C602

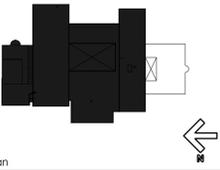


1 TRUCK TURNING & TRAFFIC FLOW PLAN

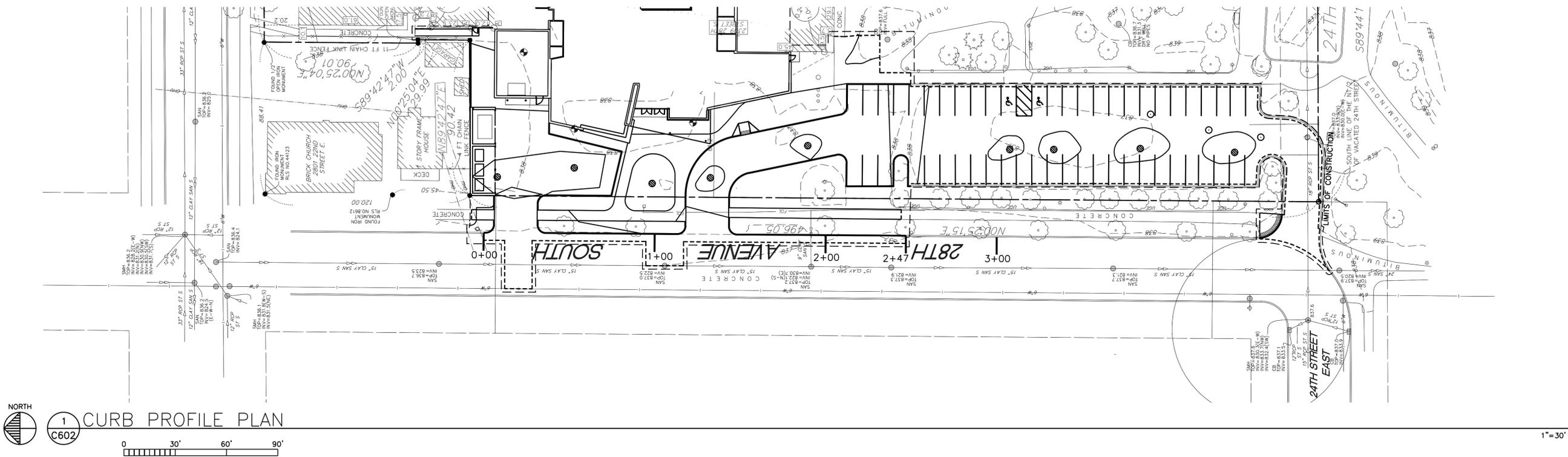
C602



1" = 30'

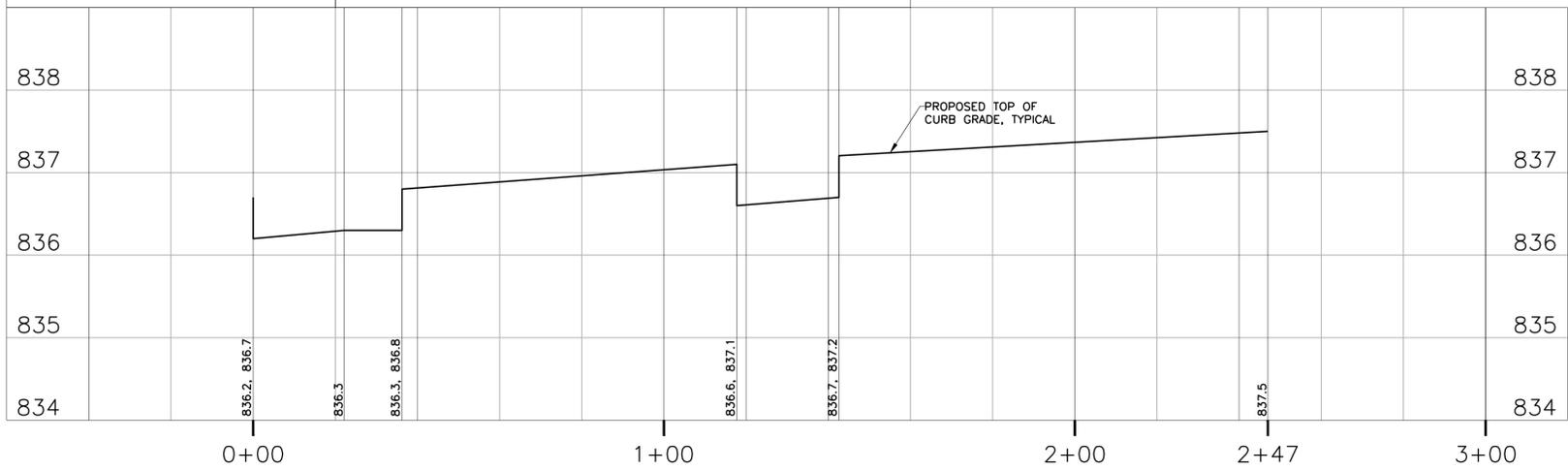


Key Plan



SCALE
VERTICAL 1"=4'
HORIZONTAL 1"=20'

PROFILE-28TH AVENUE SOUTH



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Printed Name: _____
Signature: _____
Date: _____ License #: _____

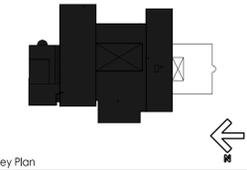
No.	Date	Revision Description
-	5/2/2014	100% DD
-	6/2/2014	PDR SUBMITTAL
-	6/27/2014	LAND USE



MINNEAPOLIS PUBLIC SCHOOLS
**SEWARD
MONTESSORI SCHOOL**
MINNEAPOLIS, MN

**CURB PROFILE
PLAN**

Project 14.1001.01 Drawing Number
Date 6/27/2014
Drawn by TPS
Checked by RSP **C602**



Key Plan

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Printed Name: _____
Signature: _____
Date: _____ License #: _____

No.	Date	Revision Description
-	5/2/2014	100% DD
-	6/2/2014	PDR SUBMITTAL



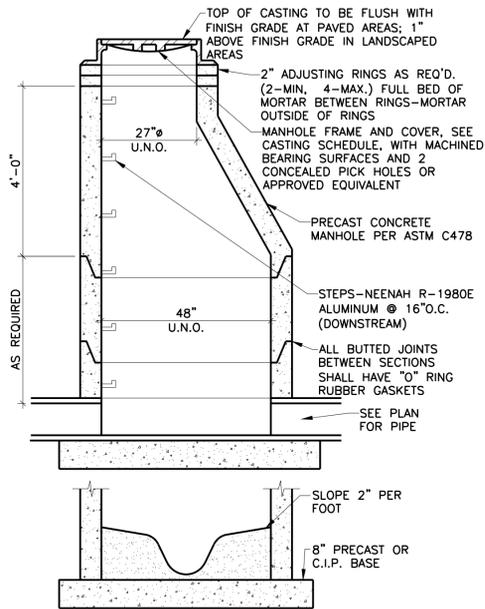
MINNEAPOLIS PUBLIC SCHOOLS
SEWARD MONTESSORI SCHOOL
MINNEAPOLIS, MN

CIVIL DETAILS

Project 14.1001.01 Drawing Number
Date 6/2/2014
Drawn by TPS
Checked by RSP

C700

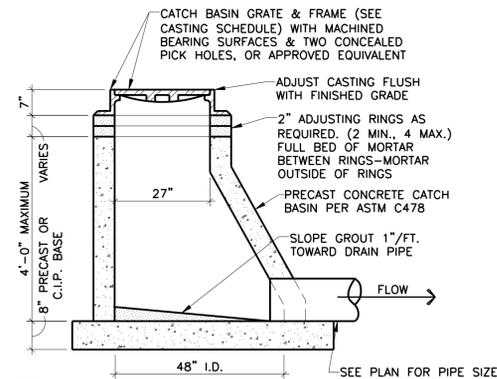
CASTING SCHEDULE		
CATCH BASIN/MANHOLE	GRATE TYPE (NEENAH)	REMARKS
A	R-3246-AL	CURB INLET
B	R-2561-E1	BEEHIVE
C,D	R-2571-B	STORM CB
E	R-1642-A	STORM MH
F,G	R-1642-A	RISER MH



- NOTES:
- MANHOLES 8" OR DEEPER - THE PRECAST SECTION IMMEDIATELY BELOW THE CONCRETE SECTION SHALL BE 1'-0" HIGH.
 - PROVIDE STEPS IN MANHOLES OVER 4'-0" IN DEPTH.
 - REINFORCING SHALL BE A MINIMUM OF A SINGLE LINE WIRE FABRIC HAVING AN AREA OF NOT LESS THAN 0.12 SQ. IN. PER FOOT OF HEIGHT.
 - PROVIDE SNAP-IN BOOT AT ALL SANITARY SEWER CONNECTIONS TO MANHOLES.
 - ALL STORM SEWER PIPING RUNS SHALL USE RESILIENT RUBBER JOINTS AT PIPE CONNECTIONS TO CATCH BASINS FOR WATERTIGHT CONNECTION PER PLUMBING CODE.

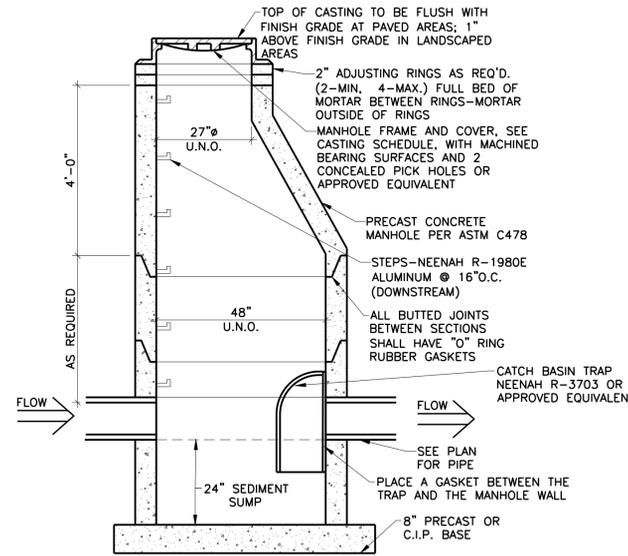
1 STANDARD SEWER MANHOLE
C700 NO SCALE

2 CASTING SCHEDULE
C700 NO SCALE



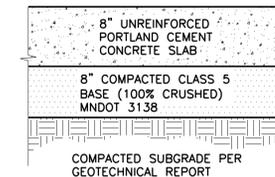
- NOTE:
- REINFORCING SHALL BE A MINIMUM OF A SINGLE LINE WIRE FABRIC HAVING AN AREA OF NOT LESS THAN 0.12 SQ. IN. PER FOOT OF HEIGHT.
 - ALL STORM SEWER PIPING RUNS SHALL USE RESILIENT RUBBER JOINTS AT PIPE CONNECTIONS TO CATCH BASINS FOR WATERTIGHT CONNECTION PER PLUMBING CODE.

3 SHALLOW CATCH BASIN
C700 NO SCALE



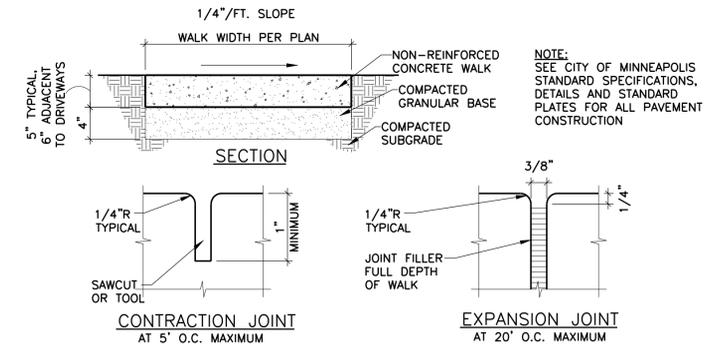
NOTE:
-THIS DETAIL ONLY APPLIES TO CB D

4 CB D SUMP
C700 NO SCALE

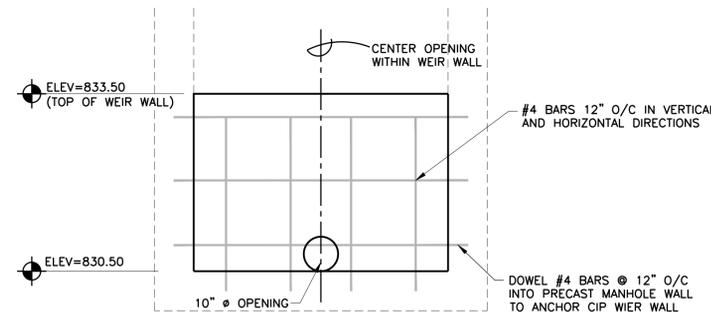


NOTES: PROVIDE CONTRACTION JOINTS AT 10' O.C. MAX. IN BOTH DIRECTIONS

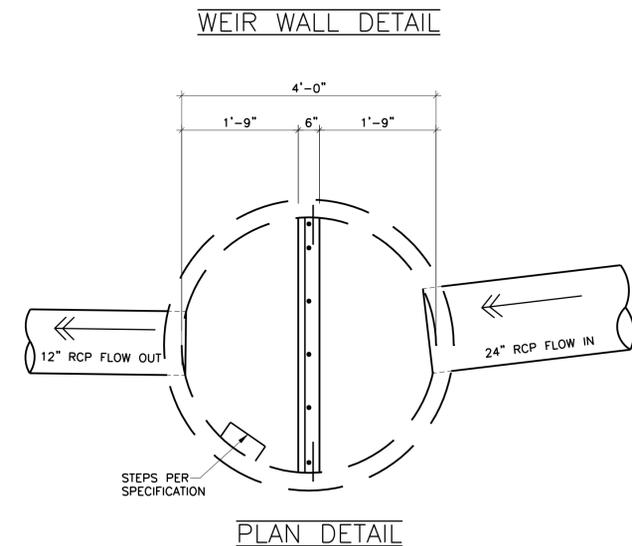
5 CONCRETE PAVEMENT
C700 NO SCALE



6 CONCRETE WALK & JOINT DETAILS
C700 NO SCALE

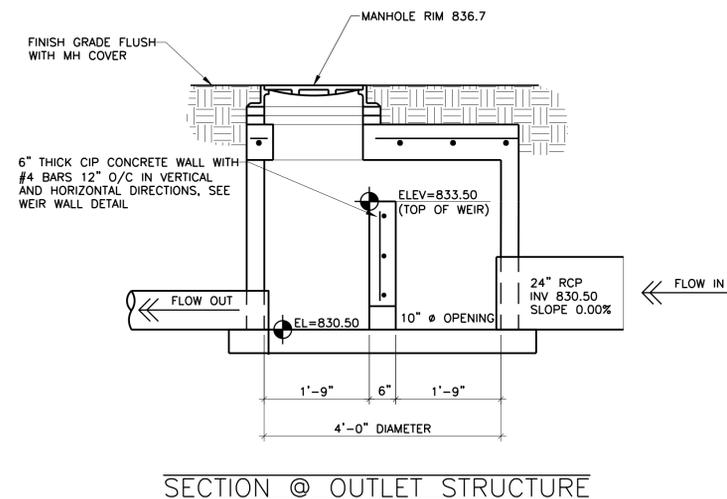


7 BITUMINOUS PAVEMENT DETAIL
C700 NO SCALE

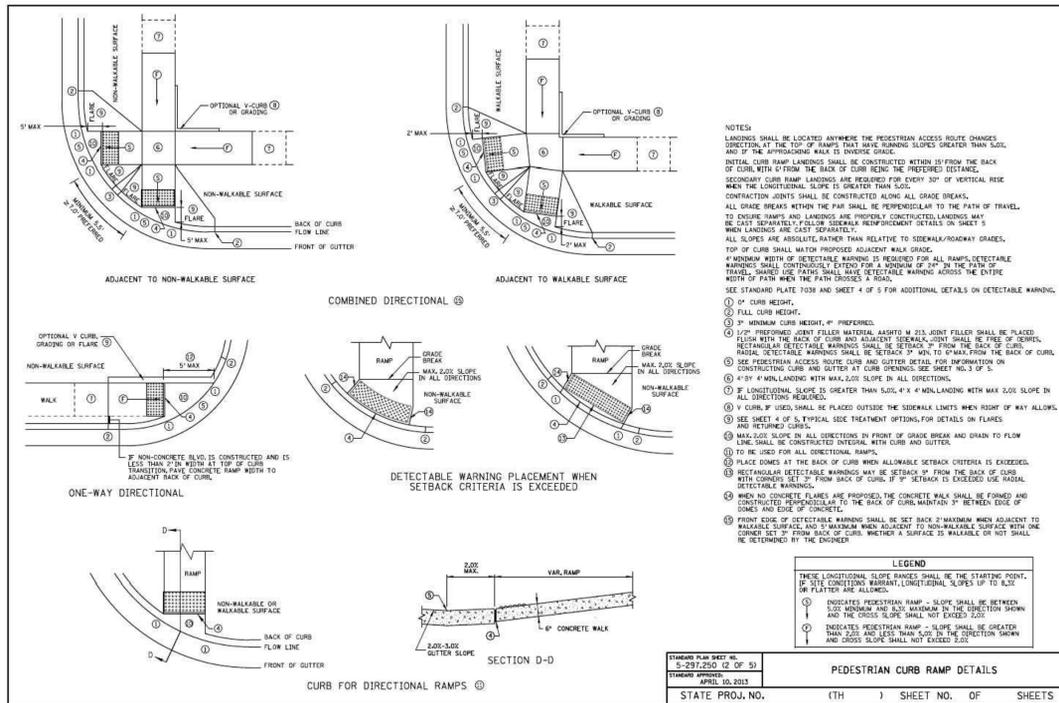


8 CLASS C PIPE BEDDING
C700 NO SCALE

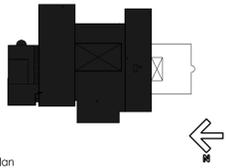
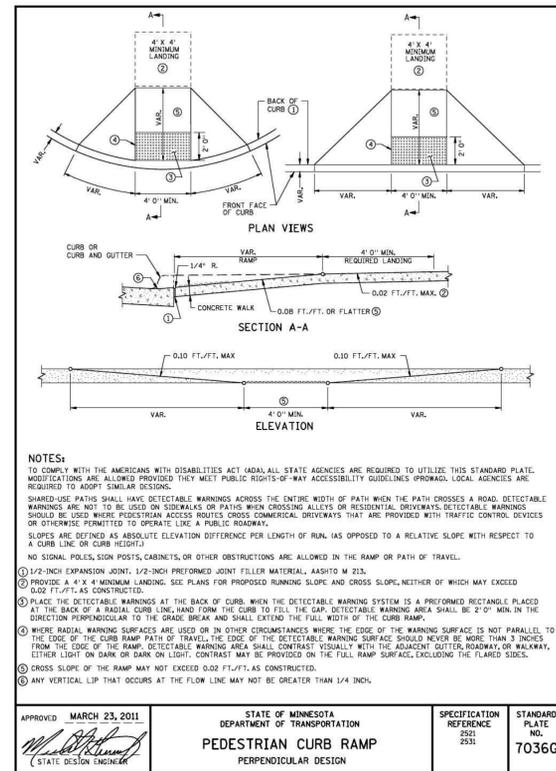
9 MH E RATE CONTROL STRUCTURE
C700 NO SCALE



NO SCALE



APRIL 10, 2013 5-297.250 (2 OF 5)



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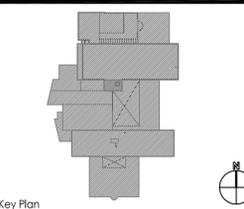
No.	Date	Revision Description
-	5/2/2014	100% DD
-	6/2/2014	PDR SUBMITTAL
-	6/27/2014	LAND USE



MINNEAPOLIS PUBLIC SCHOOLS
 SEWARD
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 MINNEAPOLIS, MN

CIVIL
 DETAILS

Project 14.1001.01 Drawing Number
 Date 6/27/2014
 Drawn by TPS
 Checked by RSP
C701



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No.	Date	Revision Description
-	6/27/2014	LAND USE

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FIRST FLOOR DEMOLITION PLAN

Project 14.1001.01 Drawing Number
Date --/~/2014
Drawn by CCI/NK
Checked by JAT

AR1001

DEMO PLAN GENERAL NOTES

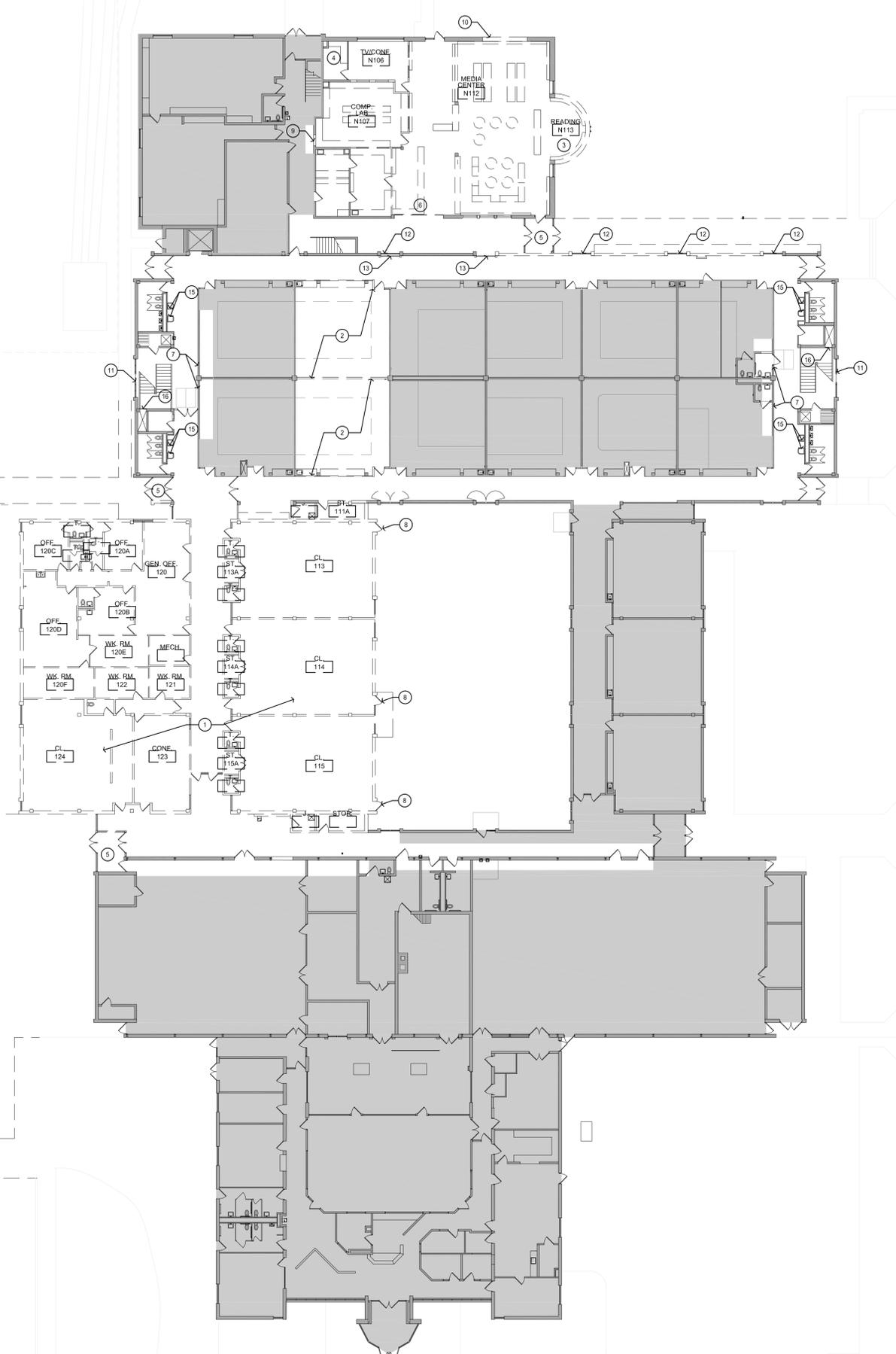
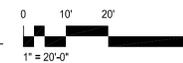
- THESE DEMOLITION NOTES AND KEYNOTES MAY NOT NECESSARILY DESCRIBE ALL DEMOLITION AND PATCHING REQUIRED TO PERFORM THE WORK. REFER TO OTHER SHEETS IN THE CONSTRUCTION DOCUMENTS FOR DESCRIPTION OF WORK THAT MAY INVOLVE DEMOLITION NOT SHOWN ON THE DEMOLITION PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE DEMOLITION WORK REQUIRED TO PROVIDE A FULL AND COMPLETE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THE EXISTING BUILDING AND STORAGE OF MATERIALS BEING REINSTALLED OR SALVAGED. IF DAMAGES TO THE EXISTING BUILDING OCCUR DURING DEMOLITION, THE CONTRACTOR OR SUB-CONTRACTOR RESPONSIBLE FOR THE DAMAGE WILL BE LIABLE FOR PROPER AND PERMANENT REPAIRS.
- VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE THE EXTENT OF DEMOLITION WORK TO REMAIN WITH NEW FLOOR PLAN AND PROJECT SITE PRIOR TO PRICING, FABRICATION AND INSTALLATION. NOTIFY ARCHITECT OF ANY CONFLICTS IMMEDIATELY.
- WHERE WALLS OR PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE ENTIRE WALL OR PARTITION(S) AS WELL AS DUCTS, PIPING, CONDUIT AND OTHER ELEMENTS IN OR ON WHICH MAY OR MAY NOT BE SPECIFICALLY IDENTIFIED, UNLESS OTHERWISE NOTED. COORDINATE WITH OWNER ALL EQUIPMENT TO BE SALVAGED.
- REPAIR/PATCH OPENINGS IN WALLS, PARTITIONS, FLOORS AND CEILINGS THAT ARE EXISTING OR WHERE DEMOLITION OCCURS TO MATCH EXISTING ADJACENT FINISH SURFACE. MAINTAIN CODE AND FIRE RATING REQUIREMENTS.
- EXISTING FINISHES TO BE REMOVED SHALL HAVE THE ORIGINAL SUBSTRATE PREPARED TO RECEIVE NEW FINISHES.
- ANY MECHANICAL, PLUMBING OR ELECTRICAL EQUIPMENT THAT HAS BEEN, OR WILL BE, ABANDONED WITHIN THE CEILING SPACE SHALL BE COMPLETELY REMOVED.
- AVOID DISRUPTION TO ADJACENT FLOORS/AREAS AS MUCH AS POSSIBLE. KEEP NOISE TO A LEVEL ACCEPTABLE TO THE OWNER BY SCHEDULING EXCESSIVE NOISE TASKS WITH OWNER. ALL SAW-CUTTING AND NOISE/VIBRATION PRODUCING DEMOLITION/CONSTRUCTION TO BE SCHEDULED WITH OWNER AS NOT TO INTERFERE WITH RESIDENT ACTIVITIES OR CARE. THIS MAY REQUIRE AFTER HOURS WORK.
- PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES.
- ALL SHUTDOWNS OF MECHANICAL, SPRINKLER, FIRE ALARM AND/OR ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OWNER.
- ALL ITEMS INDICATED TO BE REMOVED FROM EXISTING WALLS (TACK BOARDS, MARKER BOARDS, BUMPER RAILS, CORNER GUARDS, MIRRORS, ETC.) SHALL BE RETURNED TO THE OWNER, UNLESS NOTED OTHERWISE. PATCH WALLS AS REQUIRED FOR NEW FINISHES.
- PROVIDE FIRE EXTINGUISHER PER CODE AT ALL TIMES THROUGHOUT DEMOLITION/CONSTRUCTION AREAS.
- PROVIDE A SAFE MEANS OF EGRESS THROUGH AND/OR AROUND THE BUILDING AND SITE AT ALL TIMES.
- PRIOR TO REMOVING FURNITURE, EQUIPMENT AND CASEWORK, CONTRACTOR TO VERIFY WITH OWNER WHICH ITEMS ARE TO BE SALVAGED AND THEIR STORAGE LOCATIONS.

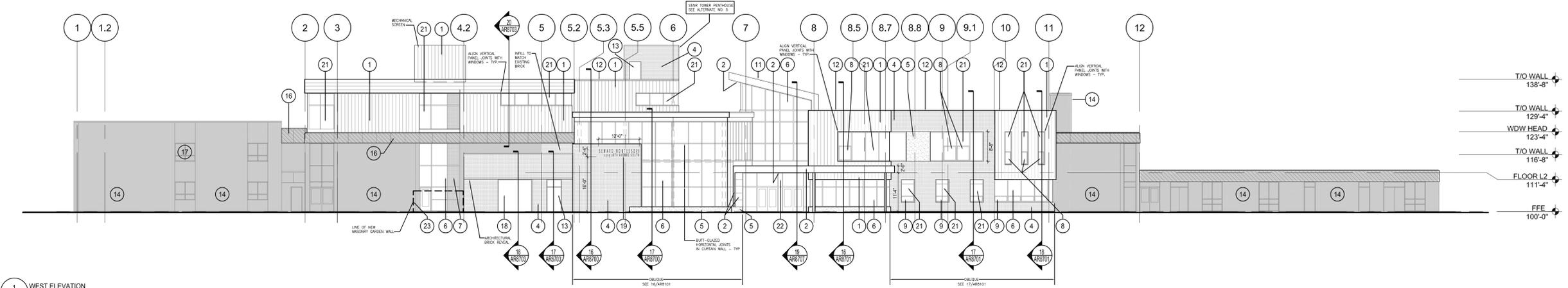
DEMOLITION PLAN KEYNOTES

- DEMOLISH CLASSROOM AND ADMINISTRATION WING
- DEMOLISH CLASSROOM WALLS, MILLWORK, CEILING, LIGHTING, MECHANICAL AND FINISHES. PREPARE FOR NEW FINISHES.
- DEMOLISH EXISTING READING ROOM (INCLUDING ROOF AND FOUNDATION)
- EXISTING TO REMAIN
- DEMOLISH EXISTING VESTIBULE
- DEMOLISH EXISTING FIRE SHUTTER
- DEMOLISH WALL. PREPARE FOR NEW RATED PARTITION
- SALVAGE EXISTING EXTERIOR DOOR FOR OWNER'S RE-USE
- DEMOLISH OPENING IN EXISTING WALL FOR NEW DOOR
- DEMOLISH OPENING IN EXISTING WALL FOR NEW WINDOW BELOW EXISTING WINDOW. REFER TO EXTERIOR ELEVATIONS.
- DEMOLISH WINDOW WALL. PREPARE FOR NEW.
- DEMOLISH WINDOW FOR NEW OPENING
- DEMOLISH DOOR AND FRAME
- DEMOLISH PORTION OF WALL. PREPARE FOR NEW WINDOW. REFER TO EXTERIOR ELEVATIONS.
- REMOVE EXISTING WASHING STATIONS. REFER TO MEP DRAWINGS FOR NEW FIXTURE.
- REMOVE GRILL. REFER TO MECHANICAL DRAWINGS. PATCH AND INFILL MASONRY TO MATCH ADJACENT EXISTING.

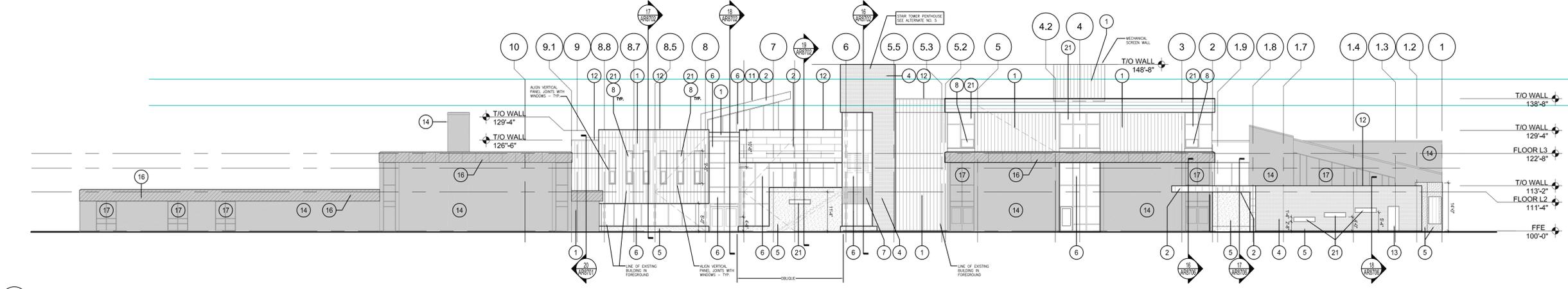
16 FIRST FLOOR DEMOLITION PLAN

1" = 20'-0"

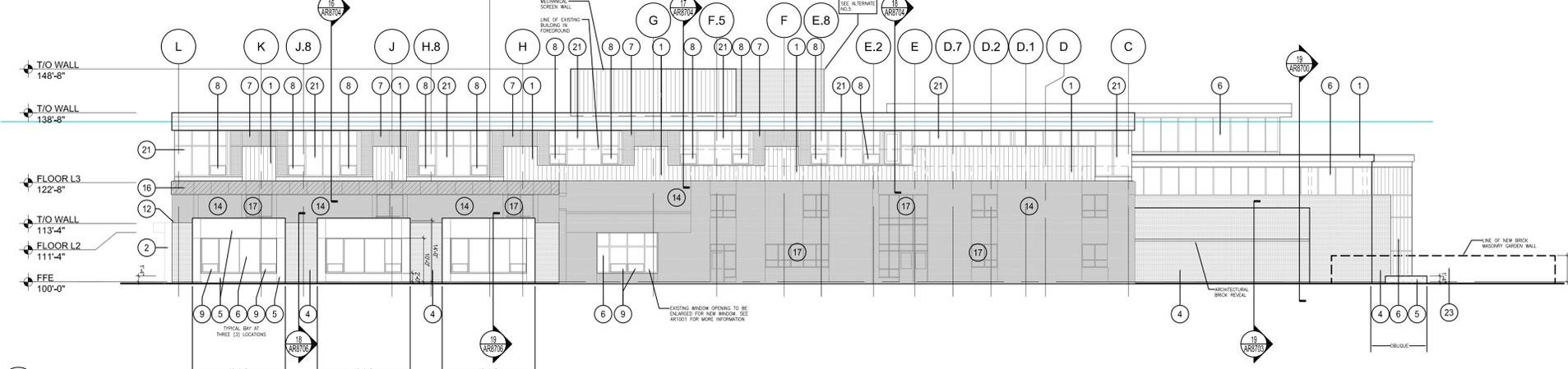




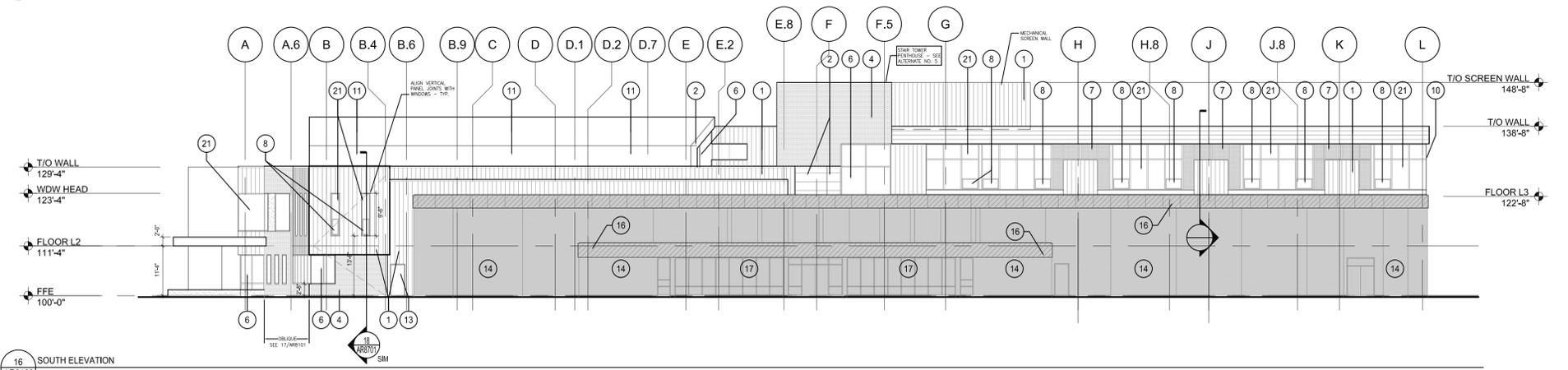
1 WEST ELEVATION
AR8100 1/16" = 1'-0"



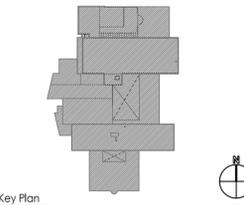
6 EAST ELEVATION
AR8100 1/16" = 1'-0"



11 NORTH ELEVATION
AR8100 1/16" = 1'-0"



16 SOUTH ELEVATION
AR8100 1/16" = 1'-0"



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EXTERIOR ELEVATION KEYNOTES

- 1 METAL PANEL 1 - ZINC RAINSCREEN PANEL - 12"x12'-0" INTERLOCKING PANEL
- 2 METAL PANEL 2 - 1/8" ALUMINUM PLATE PANEL - PAINT FINISH
- 3 NOT USED
- 4 MODULAR BRICK MASONRY - BORAL 'VARSITY MODULAR'
- 5 PRECAST STONE
- 6 CURTAIN WALL SYSTEM - WAUSAU 6250
- 7 SPANDREL GLASS
- 8 OPERABLE AWNING WINDOW - (2ND & 3RD FLOOR)
- 9 OPERABLE HOPPER WINDOW - (1ST FLOOR)
- 10 LIGHT SHELF
- 11 STANDING SEAM ROOF
- 12 PREFINISHED METAL COPING
- 13 HOLLOW METAL DOOR AND FRAME
- 14 EXISTING TO REMAIN
- 15 EXISTING ROOF TO REMAIN
- 16 EXISTING PRECAST FACIA - SEE ALTERNATE NO. 2
- 17 EXISTING WINDOWS TO REMAIN
- 18 COILING DOOR AT LOADING DOCK
- 19 EXTERIOR SIGNAGE
- 20 MECHANICAL LOUVER
- 21 ARCHITECTURAL ALUMINUM WINDOW
- 22 ALUMINUM STOREFRONT GLAZING SYSTEM
- 23 MODULAR BRICK GARDEN WALL - SEE SHEET AR0010

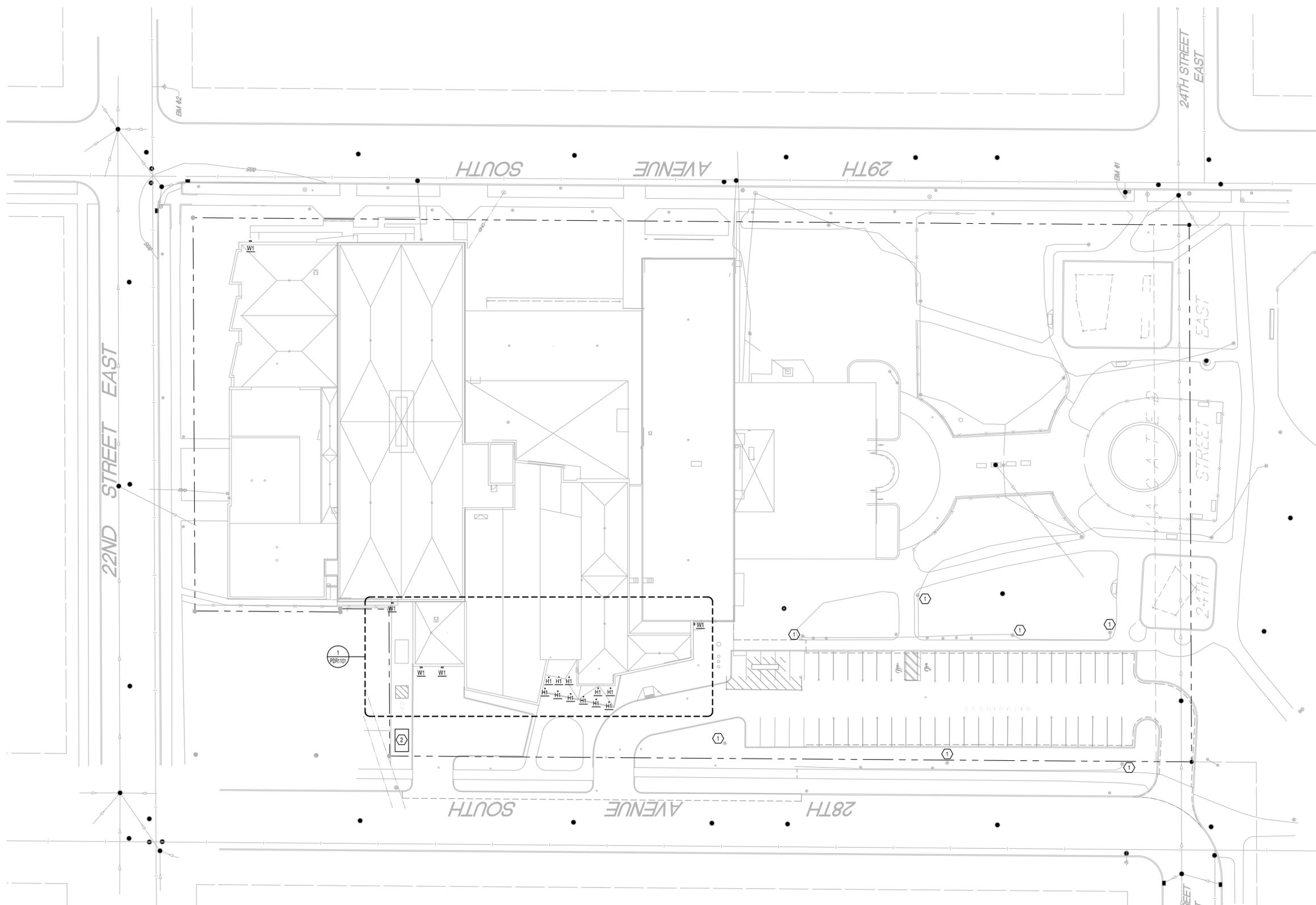


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MINNEAPOLIS, MN

EXTERIOR ELEVATIONS

Project 14.1001.01 Drawing Number
Date 4/2014
Drawn by CC
Checked by JAT

AR8100



1 ELECTRICAL SITE RENOVATION PLAN
 PDR1100 1"=30'-0"



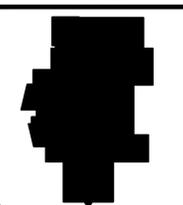
- KEYED NOTES:**
- ① EXISTING POLE AND LUMINAIRE TO REMAIN.
 - ② PROPOSED LOCATION OF NEW TRANSFORMER.



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 Minneapolis, MN 55401
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No.	Date	Revision Description
-	6/30/2014	75% OWNER REVIEW

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**ELECTRICAL
 SITE PLAN**

Project 14,044.00 Drawing Number
 Date 6/30/2014
 Drawn by
 Checked by JLC **PDR1100**



1 PARTIAL ELECTRICAL SITE PHOTOMETRIC PLAN
PDR1101 3/32"=1'-0"

gotham Luminaire Type: **LUMINAIRE TYPE 'H1'**

Gotham Architectural Downlighting LED Downlights

6" Evo® Flangeless

Solid-State Lighting

OPTICAL SYSTEM

- Semi-specular, matte-diffuse or specular lower reflector
- Patented Bouncing Ray™ optical design (U.S. Patent No. 5,800,050)
- 45° cutoff to source and source image
- Top-down flash characteristic
- Lens composed of 92% transmissive holographic film integral to light engine

MECHANICAL SYSTEM

- 1.6-gauge galvanized steel construction; maximum 1-1/2" ceiling thickness
- Telescopic mounting bars maximum of 32" and minimum of 15", preinstalled, 4" vertical adjustment
- Toolless adjustments post installation
- Junction box capacity: 31.6 to 4.4 and 1.12AWG rated for 90°C
- Light engine and driver accessible through aperture

ELECTRICAL SYSTEM

- Fully serviceable and upgradeable LED light engine
- 75% lumen maintenance at 60,000 hours based on IESNA LM-79-2008
- 120-277VAC, 50/60Hz power supply with 0-10V dimming (10/100%); rated for 50,000-hour life
- Overload and short circuit protected

LISTINGS

- Fixtures are CSA certified to meet US and Canadian standards wet location, covered ceiling

WARRANTY

- 5-year limited warranty. Complete warranty terms located at: www.ledlighting.com/CustomerResources/terms_and_conditions.aspx

EXAMPLE: EVO 35/10 GABRL 120

Series	Color temperature	Nominal lumen values	Aperture/Trim color	Trim style	Distribution	Finish
EVO	27K	2700 K	10 1000 lumens	Clear	FL Flangeless	(blank) 1.0 s/mh
	30K	3000 K	14 1400 lumens	PR Pewter	WVO Very narrow (0.5 s/mh)	LB Matte diffuse
	35K	3500 K	18 1800 lumens	GRW Wheat	NO Narrow (0.6 s/mh)	LS Specular
	41K	4100 K	22 2200 lumens	GR Gold	MD Medium (0.8 s/mh)	
				SWR White	WD Wide (1.2 s/mh)	
				GBR Black		

Voltage Driver Options

Series	Driver	Options
HWL1	(blank) 0-10V dimming driver. Minimum dimming level 10%.	SF Single face
120	Lutron® Hi-Lume® 3-wire forward-phase dimming driver. Minimum dimming level 1%.	RELOC® ready luminaire. Provides compatibility with Lithonia RELOC system. Access above ceiling required.
277	ECOS3™ Lutron® Hi-Lume® 3-wire or EcoSystem™ dimming driver. Minimum dimming level 1%.	NEPP Interface for Sensor Switch™ eLight™ network with integral power supply. Refer to [3.5.2.1].
347	ECOS3™ Lutron® Hi-Lume® 3-wire or EcoSystem™ dimming driver. Minimum dimming level 1%.	NSP Sensor Switch™ eLight™ dimming relay
		CP Chicago plasma
		GBTD Bodine generator transfer device

ACCESSORIES order as separate catalog numbers (shipped separately)

C1A4-8 YK Ceiling thickness adapter (extends mounting frame to accommodate ceiling thickness up to 2").

ISD BC 0-10V wallbox dimmer. Refer to ISD-BC.

ORDERING NOTES

- Not available with finishes.
- Refer to [2C1-240] for compatible dimmers.
- Not available with NEPP option.
- 120V only.
- One 5A relay with one 0-10 VDC dimming output, shipped installed. Refer to [2SP5-D].
- For dimensional changes, refer to [2C1-140]. Not available with CP option.
- Must specify 120 or 277V.
- Not available with EL or ELR options.

DVD-FL-6
P&E 1 OF 3

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gotham

WST LED Architectural Wall Sconce

LUMINAIRE TYPE 'W1'

Specifications

Luminaire

Height: 7-1/4" (18.6 cm)

Width: 16-1/4" (41.3 cm)

Depth: 9-1/2" (23.2 cm)

Weight: 17 lbs (7.7 kg)

Optional Back Box (BBW)

Height: 4" (10.2 cm)

Width: 5-1/2" (14.0 cm)

Depth: 1-1/2" (3.8 cm)

Introduction

The classic Architectural Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 75% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity.

The WST LED is ideal for replacing existing 50-175W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.

Ordering Information EXAMPLE: WST LED 2 10A700/40K SR3 MVOLT DBDXTDX

Series	Light Engines	Performance Package	Distribution	Voltage	Mounting	Options	Finish (optional)
WST LED	1 One engine (201 LED)	700 mA opticon	SR3 Type I	120V	HWL1 (blank) Surface mount	Shipped included	DBDND Dark bronze
	2 Two engines (201 LED)	10A700/40K	400K	120V	SR3 Type II (blank) Surface mount	Shipped installed	DBDDB Black
				208V	SR4 Type IV (blank) Surface mount	FE Photocell (off), button type 1-1	DBDDB Black
				240V	BBW Surface-mounted back box	SF Single face (120, 277, 347V) 1	DBDND Natural aluminum
				277V	UTS Upright 3 degrees	DF Double face (220, 240, 480V) 1	DBDND White
				347V		DWG 0-10V dimming driver (no control)	DBDND Sandstone
				480V		ELCW Emergency battery backup 1	DBDND Textured dark bronze
						WLU Wall location door for up orientation 1	DBDND Textured black
						PH Photocell/ambient light sensor 1	DBDND Textured natural aluminum
						Shipped separately	DBDND Textured white
						VG Vinyl guard	DBDND Textured sandstone
						WG Wire guard	

Emergency Battery Operation

The emergency battery backup (ELCW) option is integral to the luminaire - no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All ELCW configurations include an independent secondary driver with an integral relay to immediately detect AC power loss. Dual light engines are wired in parallel so both engines operate in emergency mode and provide additional component redundancy. These design features meet various interpretations of NFPA 70: NEC 2012 702.16.

The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1008 and NFPA 101 Life Safety Code Section 7.9; provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples at right show illuminance at 1% average and 0.1% minimum of the single-engine Type IV product in emergency mode.

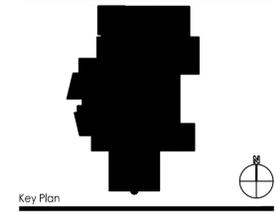
WST LED 1 10A700/40K SR4 MVOLT ELCW
10" x 10" Gridlines
8" and 12" Mounting Height

NOTES

- MVOLT driver operates on any line voltage from 120-277V (250/60 Hz). Severity 120, 208, 240 or 277 option only when ordering with photocell (PH) option to satisfy UL 916.
- May also be ordered separately as an accessory. E2: WSTBW (DBDND) 1.1. Must specify finish.
- Must be ordered with fixture; cannot be field installed.
- Not available with MVOLT option. Button photocell (PH) can be ordered with a dedicated change option. Single face (SF) requires 120V, 277 or 347V output option. Double face (DF) requires 220, 240, 480V output option.
- Not available with 480V option. Not available with motor/ambient light sensor (PH).
- Integral battery pack is rated for 20+ to 40°C operating temperature. ELCW warranty is 3 year period. Not available with 347V or 480V. Not available with WLU.
- WLU not available with PH or ELCW.
- Specify the correct switch type (DF) or (DF) option for details. Not available with "FE" option. Double face (DF) only. Dimming driver standard. Not available with WLU, VG or WG.

LITHONIA LIGHTING

One Lithonia Way • Conley, Georgia 30212 • Phone: 800.279.8841 • Fax: 770.918.1200 • www.lithonia.com
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-	6/30/2014	75% OWNER REVIEW

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ELECTRICAL
SITE PLAN
PHOTOMETRICS

Project 14.044.00 Drawing Number
Date 6/30/2014
Drawn by
Checked by JLC PDR1101



**MINNEAPOLIS
PUBLIC SCHOOLS**
Urban Education. Global Citizens.

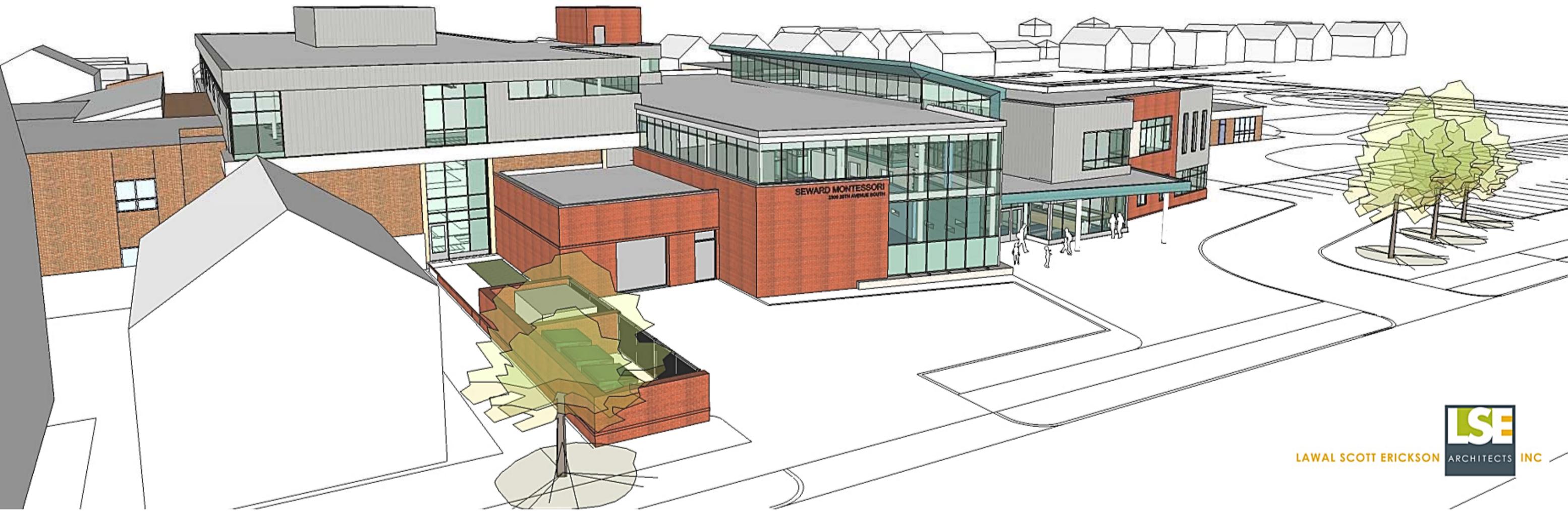
Seward
Montessori School

Site:
Urban Context















December 9TH, 9 AM w/o Level 3



December 21ST, 12 PM w/o Level 3



December 9TH, 9 AM with Level 3



December 21ST, 12 PM with Level 3

SITE CONTEXT (SHADOW STUDY)

Perspective looking Northeast



Perspective looking Southeast

SITE CONTEXT (SHADOW STUDY)

East View



Southeast View



Principal Entrance



East View

EXISTING PHOTOS

EXISTING PHOTOGRAPHS



Figure 1. Existing refuse containers.



Figure 2. Existing transformer.



Figure 3. Existing parking lot on 28th Avenue South.



Figure 4. Existing garden and fence within the minimum front yard requirement.



Figure 5. Existing classroom wing along 29th Avenue South.



Figure 6. Existing gymnasium wing along 29th Avenue South.



Figure 7. Existing condition at north interior side yard.



Figure 8. Existing condition at north interior side yard.



Figure 9. Existing condition at north interior side yard.



Figure 10. Existing condition at north interior side yard.



Figure 11. Existing condition at bituminous area east of park building (Hard Play).



Figure 12. Existing condition at bituminous area east of park building (Hard Play).



Figure 13. Existing condition at bituminous area west of park building (Egress/park restroom queuing/site circulation).



Figure 14. Existing condition at paved plaza south of park building.



Figure 15. Existing bike racks at bus entry (along 28th Street South).



Figure 16. Existing bike racks at bus entry (along 28th Street South).