



# CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #2  
 October 14, 2014  
 Vac-1635

## LAND USE APPLICATION SUMMARY

**Property Location:** Associated with the property located at 416 Cedar Avenue.  
**Project Name:** Cedar Cultural Center Plaza  
**Prepared By:** [Becca Farrar-Hughes](#), Senior City Planner, (612) 673-3594  
**Applicant:** The Cedar Cultural Center, Inc.  
**Project Contact:** The Cedar Cultural Center, Inc., Attn: Karl Yeager  
**Request:** Petition to vacate a portion of a street/sidewalk easement abutting the Cedar Cultural Center, located at 416 Cedar Avenue, in the west right-of-way of the 400 block of Cedar Avenue (see attached map).

**Required Application:**

|                 |  |
|-----------------|--|
| <b>Vacation</b> | Petition to vacate a portion of a street/sidewalk easement abutting The Cedar Cultural Center, located at 416 Cedar Avenue, in the west right-of-way of the 400 block of Cedar Avenue. The easement was acquired by the City of Minneapolis in 1973 with the creation of the transit bay (see attached map). |
|-----------------|--|

## SITE DATA

|                                   |   |
|-----------------------------------|---|
| <b>Legal Description</b>          | <p>Part of the following easement for sidewalk purposes is to be vacated:</p> <p>Easement in favor of the City of Minneapolis for sidewalk purposes dated July 25th, 1973 and recorded as document numbers 1097179 (T), 4059543 (A) and 4063712 (A) and described as follows:</p> <p>That part of Block 3, Atwater's Addition to the Town of Minneapolis and part of vacated 5th Street South and 17th Avenue South and part of Auditor's Subdivision of Block 13, of Atwater's Addition to the Town of Minneapolis described as follows: Beginning at a point in the West line of Cedar Avenue, distant 380 feet North of the most southerly corner of said Auditor's Subdivision of Block 13, of Atwater's Addition to Minneapolis; thence North along the West line of Cedar Avenue 210 feet; thence at a right angle West 5 feet; thence at a right angle South 210 feet; thence at a right angle 5 feet to point of beginning.</p> |
| <b>Existing Zoning</b>            | C3A District<br>PO and UA Overlay Districts   |
| <b>Lot Area</b>                   | Not applicable  |
| <b>Ward(s)</b>                    | 6   |
| <b>Neighborhood(s)</b>            | West Bank Community Coalition   |
| <b>Designated Future Land Use</b> | Mixed Use   |

|   |                |                                       |                |
|---|----------------|---------------------------------------|----------------|
| <b>Date Application Deemed Complete</b> | Not applicable | <b>Date Extension Letter Sent</b>     | Not applicable |
| <b>End of 60-Day Decision Period</b>    | Not applicable | <b>End of 120-Day Decision Period</b> | Not applicable |

|                           |   |
|---------------------------|---|
| <b>Land Use Features</b>  | Located within the Cedar-Riverside Activity Center and along Cedar Avenue a designated Commercial Corridor and a half block from Riverside Avenue, also a designated Commercial Corridor. Further, the site is located within the Cedar-Riverside Transit Station Area (TSA) and within close proximity to the University of Minnesota which is a designated Growth Center. |
| <b>Small Area Plan(s)</b> | <a href="#">Cedar Riverside Small Area Plan; and Franklin-Cedar Riverside Area Master Plan</a>  |

## BACKGROUND

The applicant proposes to vacate a portion of an existing street/sidewalk easement abutting The Cedar Cultural Center, located at 416 Cedar Avenue that was obtained by the City of Minneapolis in 1973 with the creation of the transit bay. The City of Minneapolis and Hennepin County are currently partnering to improve the pedestrian space along Cedar Avenue in the West Bank neighborhood. Project elements include the following:

- Reconstruct sidewalks from 3rd Street S to 7th Street S - replacing curbs on the west side of the street to expand sidewalk space;
- Save the existing trees whenever possible, but plant new trees as needed;
- Replace tree grates;
- Install pedestrian lighting;
- Reconfigure Cedar Avenue from a 4-lane to a 3-lane roadway, adding parking to the west side of the street.

The vacation was originally scheduled for the September 29, 2014, City Planning Commission meeting; however, Public Works had requested that the vacation request be delayed to ensure the accuracy of the legal description of the area that was proposed to be vacated. The reconstruction in the subject area has been completed and the vacation request has been recommended for approval.

**RELATED APPROVALS.** In addition, the applicant has submitted and received approval, subject to conditions of approval, of an administrative plaza application for the abutting property, The Cedar Cultural Center (BZZ-6788), located on the property at 416 Cedar Avenue.

| Planning Case # | Application   | Description  | Action  |
|-----------------|---|--|---|
| BZZ-6788        | Administrative Plaza Application on the Cedar Cultural Center property located at 416 Cedar Avenue. | Approximately 4,900 square foot public plaza in compliance with requirements outlined in Chapter 535 of the Zoning Code. | Approved with conditions on September 19, 2014. |

## ANALYSIS

### VACATION

**RESPONSES FROM UTILITIES AND AFFECTED PROPERTY OWNERS.** Minneapolis Public Works has reviewed the vacation petition and recommends approval. Of the agencies that responded to the referral notice, Centurylink requested that the existing easement that they have in the described area be retained. The letter has been attached for reference.

**FINDINGS.** The Department of Public Works and the Department of Community Planning and Economic Development find that the area proposed for vacation is not needed for any public purpose, and it is not part of a public transportation corridor, and that it can be vacated if the easement requested to be retained above is granted by the petitioner.

## RECOMMENDATIONS

### **Recommendation of the Department of Community Planning and Economic Development for the Vacation:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission and City Council adopt the above findings and approve Vacation File 1635, subject to the retention of the existing easement by Centurylink.

## ATTACHMENTS

1. Resolution
2. Correspondence – Public Works & Centurylink
3. Maps
4. Approved plaza plans

## **Bender**

### **Vacating part of the of a street/sidewalk easement abutting the Cedar Cultural Center, located at 416 Cedar Avenue, in the west right-of-way of the 400 block of Cedar Avenue (Vacation 1635)**

Resolved by The City Council of The City of Minneapolis:

Part of the following easement for sidewalk purposes is to be vacated:

Easement in favor of the City of Minneapolis for sidewalk purposes dated July 25<sup>th</sup>, 1973 and recorded as document numbers 1097179 (T), 4059543 (A) and 4063712 (A) and described as follows:

That part of Block 3, Atwater's Addition to the Town of Minneapolis and part of vacated 5<sup>th</sup> Street South and 17<sup>th</sup> Avenue South and part of Auditor's Subdivision of Block 13, of Atwater's Addition to the Town of Minneapolis described as follows: Beginning at a point in the West line of Cedar Avenue, distant 380 feet North of the most southerly corner of said Auditor's Subdivision of Block 13, of Atwater's Addition to Minneapolis; thence North along the West line of Cedar Avenue 210 feet; thence at a right angle West 5 feet; thence at a right angle South 210 feet; thence at a right angle 5 feet to point of beginning

Which is embraced within the following described Parcels:

#### **PARCEL 1:**

That part of Lots 5 and 6, Block 3, Atwater's Addition to the Town of Minneapolis, described as follows: Beginning at the Southwesterly or most Westerly corner of said Lot 5; thence Southeasterly along the Southwesterly line of said Lot 5 a distance of 55 feet, more or less, to the Southeasterly or most Southerly corner thereof; thence Northeasterly along the line dividing said Lot 5 from said Lot 6, a distance of 94.72 feet; thence at right angles Southeasterly a distance of 34.3 feet, more or less to the Westerly line of Cedar Avenue; thence Northerly along the Westerly line of Cedar Avenue a distance of 48.53 feet; thence Northwesterly in a straight line to a point in the Northwesterly line of said Lot 5, distant 137.0 feet Northeasterly from the Southwesterly or most Westerly corner thereof; thence Southwesterly along the Northwesterly line of said Lot 5 a distance of 137.0 feet to the point of beginning, Hennepin County, Minnesota.

(Abstract Property)

#### **PARCEL 2:**

The front or Southwest 75.81 feet of Lot 6, Block 3, Atwater's Addition to Minneapolis, according to the plat thereof on file and of record in the office of the Register of Deeds, in and for Hennepin County, Minnesota.

(Abstract Property)

Parcel 3:

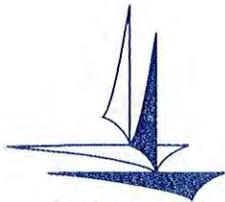
The Northeast 1 8.91 feet of the Southwest 94.72 feet of Lot 6, Block 3, Atwater's Addition to the Town of Minneapolis, according to the map or plat thereof on file and of record in the office of the Register of Deeds, Hennepin County, Minnesota,

(Torrens Property)

is hereby vacated except that such vacation shall not affect the existing easement right and authority of Centurylink, their successors and assigns, to enter upon that portion of the aforescribed area, which is described in regard to said corporation as follows, to wit:

As to Centurylink: The entire described area to be vacated.

to operate, maintain, repair, alter, inspect or remove its above-described utility facilities and said easement right and authority is hereby expressly reserved to each of the above-named corporations, and no other person or corporation shall have the right to fill, excavate, erect buildings or other structures, plant trees or perform any act which would interfere with or obstruct access to said utility easement upon or within the above-described areas without first obtaining the written approval of the corporation(s) having utility facilities located within the area involved authorizing them to do so.



**Minneapolis**  
City of Lakes

**Department of  
Public Works**

Steven A Kotke, P.E.  
City Engineer  
Director

350 South 5th Street – Room 203  
Minneapolis MN 55415

Office 612 673-3000  
Fax 612 673-3565  
TTY 612 673-2157

September 29, 2014

Becca Farrar  
CPED-Planning  
250 4<sup>th</sup> St. So., Room 100  
Minneapolis, MN 55415

RE: Vacating part of a sidewalk easement at 416 Cedar Avenue, adjacent  
to the Cedar Cultural Center (Vacation 1635)

Dear Ms. Farrar:

Public Works staff has reviewed this vacation petition and recommends  
Approval of said petition.

The portion of the sidewalk easement to be vacated is legally described on the  
attached EXHIBIT A.

Sincerely,

Don Elwood, P.E.  
Director, Transportation Planning & Engineering

Cc: Dennis Morris



# EXHIBIT A

## SIDEWALK EASEMENT TO BE VACATED

Part of the following easement for sidewalk purposes is to be vacated:

Easement in favor of the City of Minneapolis for sidewalk purposes dated July 25<sup>th</sup>, 1973 and recorded as document numbers 1097179 (T), 4059543 (A) and 4063712 (A) and described as follows:

That part of Block 3, Atwater's Addition to the Town of Minneapolis and part of vacated 5<sup>th</sup> Street South and 17<sup>th</sup> Avenue South and part of Auditor's Subdivision of Block 13, of Atwater's Addition to the Town of Minneapolis described as follows: Beginning at a point in the West line of Cedar Avenue, distant 380 feet North of the most southerly corner of said Auditor's Subdivision of Block 13, of Atwater's Addition to Minneapolis; thence North along the West line of Cedar Avenue 210 feet; thence at a right angle West 5 feet; thence at a right angle South 210 feet; thence at a right angle 5 feet to point of beginning.

Which is embraced within the following described Parcels:

### PARCEL 1:

That part of Lots 5 and 6, Block 3, Atwater's Addition to the Town of Minneapolis, described as follows: Beginning at the Southwesterly or most Westerly corner of said Lot 5; thence Southeasterly along the Southwesterly line of said Lot 5 a distance of 55 feet, more or less, to the Southeasterly or most Southerly corner thereof; thence Northeasterly along the line dividing said Lot 5 from said Lot 6, a distance of 94.72 feet; thence at right angles Southeasterly a distance of 34.3 feet, more or less to the Westerly line of Cedar Avenue; thence Northerly along the Westerly line of Cedar Avenue a distance of 48.53 feet; thence Northwesterly in a straight line to a point in the Northwesterly line of said Lot 5, distant 137.0 feet Northeasterly from the Southwesterly or most Westerly corner thereof; thence Southwesterly along the Northwesterly line of said Lot 5 a distance of 137.0 feet to the point of beginning, Hennepin County, Minnesota.

(Abstract Property)

### PARCEL 2:

The front or Southwest 75.81 feet of Lot 6, Block 3, Atwater's Addition to Minneapolis, according to the plat thereof on file and of record in the office of the Register of Deeds, in and for Hennepin County, Minnesota.

(Abstract Property)

### Parcel 3:

The Northeast 1 8.91 feet of the Southwest 94.72 feet of Lot 6, Block 3, Atwater's Addition to the Town of Minneapolis, according to the map or plat thereof on file and of record in the office of the Register of Deeds, Hennepin County, Minnesota,

(Torrens Property)



**Petition to Vacate**  
**City Of Minneapolis Street, Alley or Utility Easement**

Petitioner: The Cedar Cultural Center, Inc.  
Address: 416 Cedar Ave  
Contact Person: Karl Yeager (612) 347-9105 attorney for petitioner

Vacation File No.

**1635**

Page 1 of 3

**Description of Easement to be vacated:** Vacating street/sidewalk easement acquired by the City in 1973 with the creation of the transit bay in the west right of way of the 400 block of Cedar Avenue.

**Review and Comment**

Utility easements cannot be reserved unless there is an existing facility within the area to be vacated. If there is an existing utility, please enclose a map showing its location.

Name of Reviewing Agency CENTURY LINK

Phone: 612-381-5940

e-Mail: ERIC.FREESE2@CENTURYLINK.COM

Approve petition

Deny petition (provide explanation)

Reserve Easements (provide description)

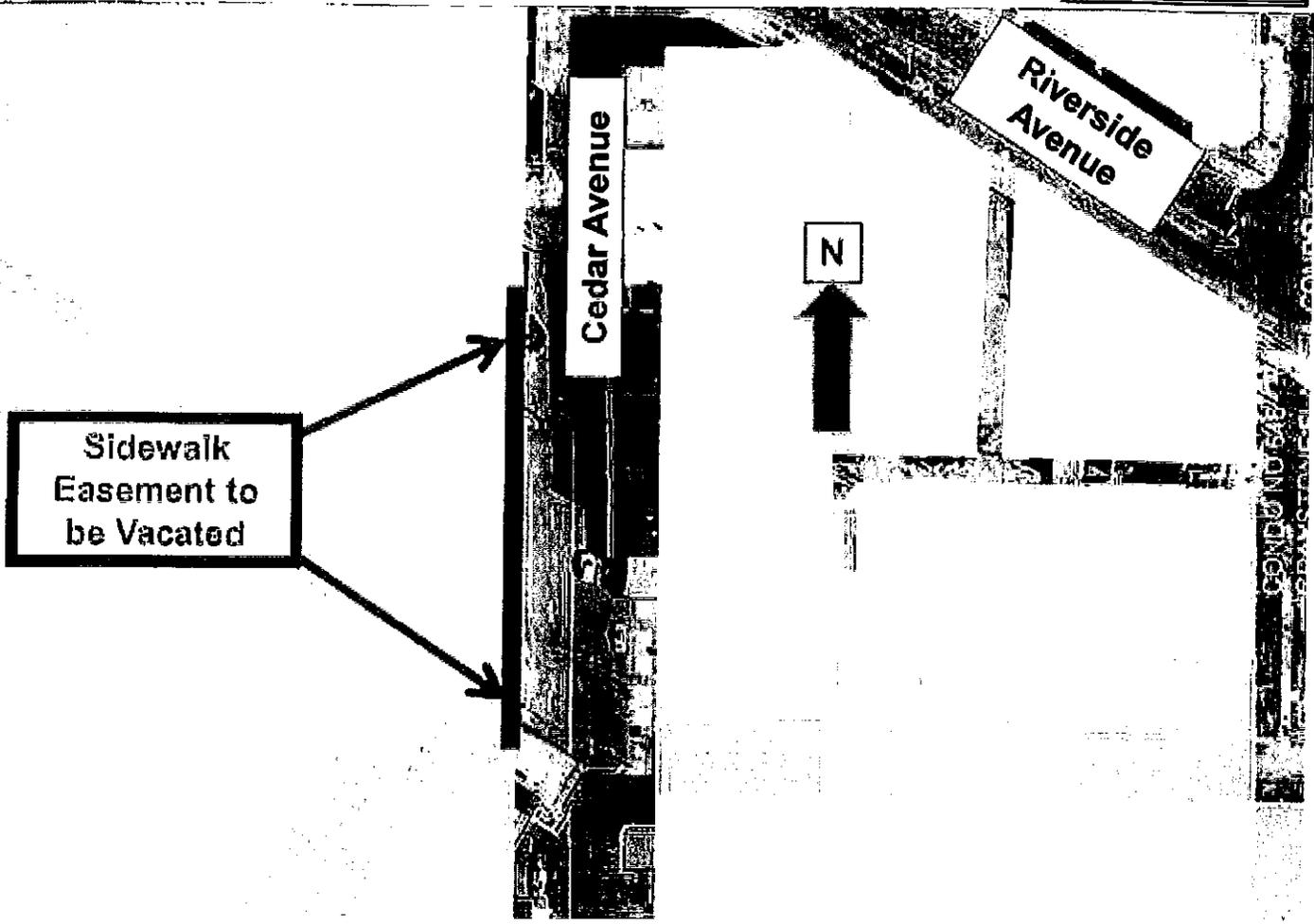
By: [Signature]

Date 7/29/14

Comments:

CENTURYLINK WILL RESERVE EXISTING EASEMENT  
CURRENTLY IN PLACE. SEE ATTACHED

Vacation File No.  
1635  
Pg. 2 of 3

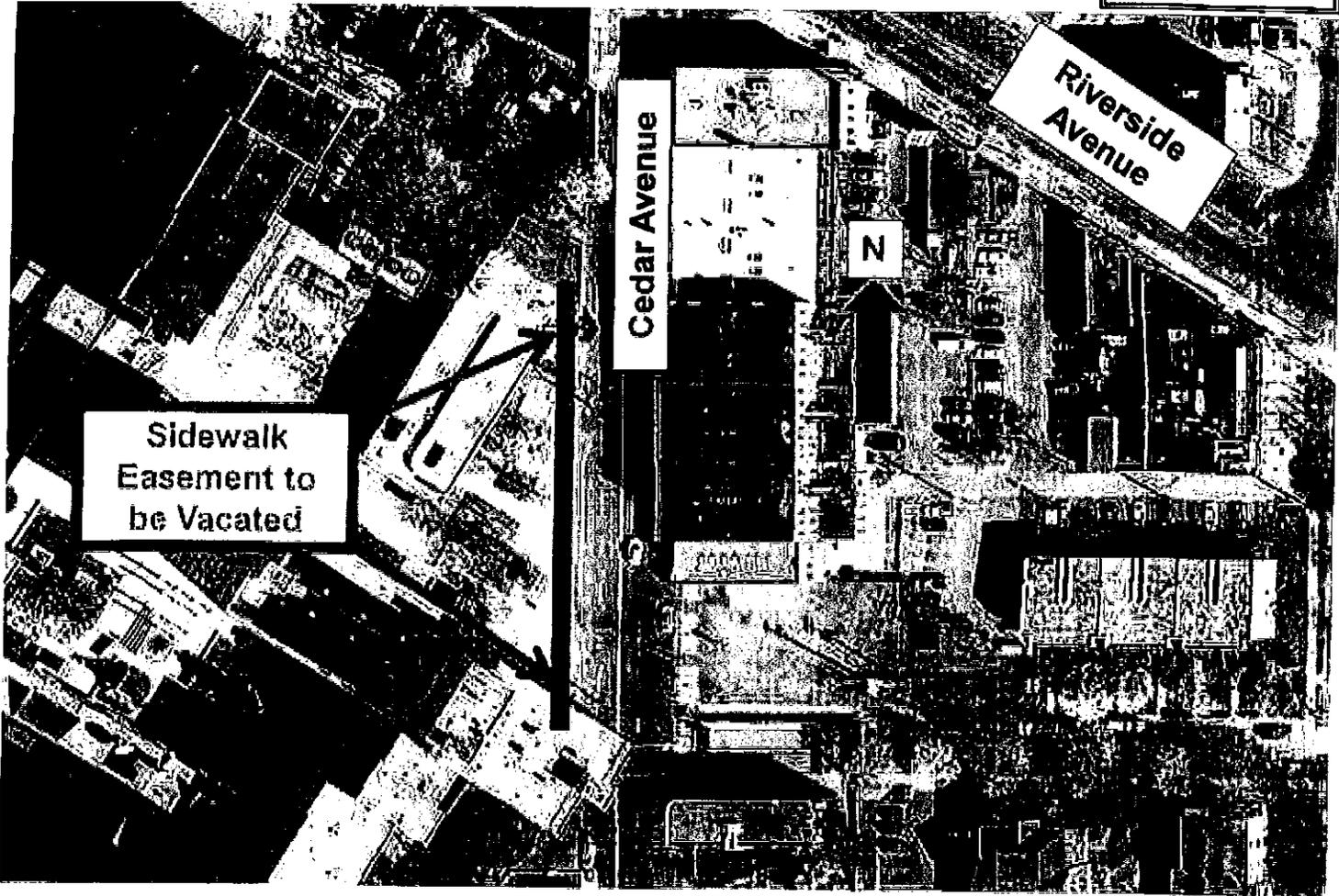


Sidewalk  
Easement to  
be Vacated

Cedar Avenue

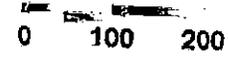
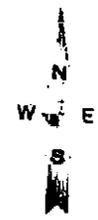
Riverside  
Avenue

N





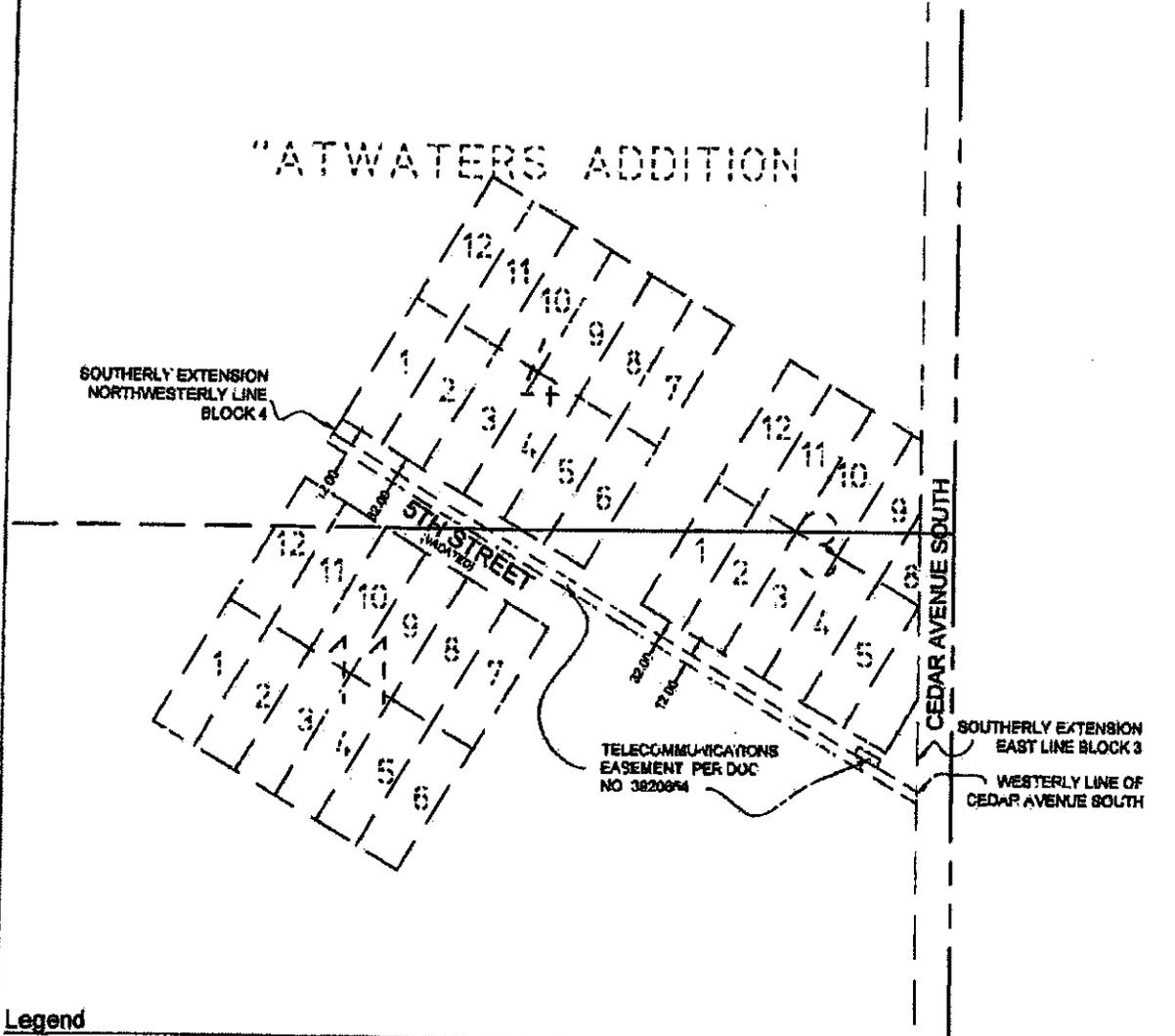
4285 Lexington Ave. N., St. Paul, Minnesota 55421  
 Phone: 651.416.3800 Fax 651.416.2001  
 Bismarck • Cedar Rapids • Denver • Detroit Lakes • Fargo  
 Sioux Falls • St. Paul • Williston  
 Web www.ulteig.com



**EXHIBIT A SHEET 1 OF 2 SHEETS**

Certificate of Survey for: Qwest Corporation, d/b/a CenturyLink QC  
 Qwest/CenturyLink Job Number E 670982  
 Location: City of Minneapolis, Hennepin County, Minnesota  
 See sheet 2 of 2 for legal descriptions

"ATWATERS ADDITION"



**Legend**

- - Denotes Monument Found
- - Denotes Monument Set w/ Cap #25299
- ▨ - Denotes Easement for Underground Cables Only

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

*Craig P. LaTulip*  
 Craig P. LaTulip

Lic. No. 25299

Ulteig Job Number: 14.00966  
 Section: 26 Township: 29 N Range: 24 W, 4th P.M.  
 County Hennepin

Date 7/29/2014



4285 Lexington Ave N , St Paul, Minnesota 55421  
Phone 651 415 3800 Fax: 651 415 2001  
Bismarck • Cedar Rapids • Denver • Detroit Lakes • Fargo  
Sioux Falls • St Paul • Williston  
Web: www.ulteig.com

## EXHIBIT A SHEET 2 OF 2 SHEETS

Certificate of Survey for: Qwest Corporation, d/b/a CenturyLink QC

Qwest/CenturyLink Job Number: E 670982

Location: City of Minneapolis, Hennepin County, Minnesota

### Description of Easement:

An easement for telecommunication purposes over, under and across the hereinbefore described property, described as follows.

That part of the Southwesterly 12 feet of the Northeasterly 32 feet of 5th Street South lying between the Southerly extensions of the East line of Block 3 and the Northwesterly line of Block 4 in Atwater's Addition to the Town of Minneapolis.

Also that part of 5th Street South described as follows: Commencing at the most Southerly corner of said Block 3, thence Southwesterly along a line drawn at a right angle to the Southwesterly line of said Block 3, a distance of 10 feet to the actual point of beginning of tract of land to be described; thence continuing Southwesterly along last described right angle line 10 feet; thence at a right angle Northwesterly, 28 feet; thence at a right angle Northeasterly, 10 feet; thence at a right angle Southeasterly, 28 feet to the actual point of beginning.

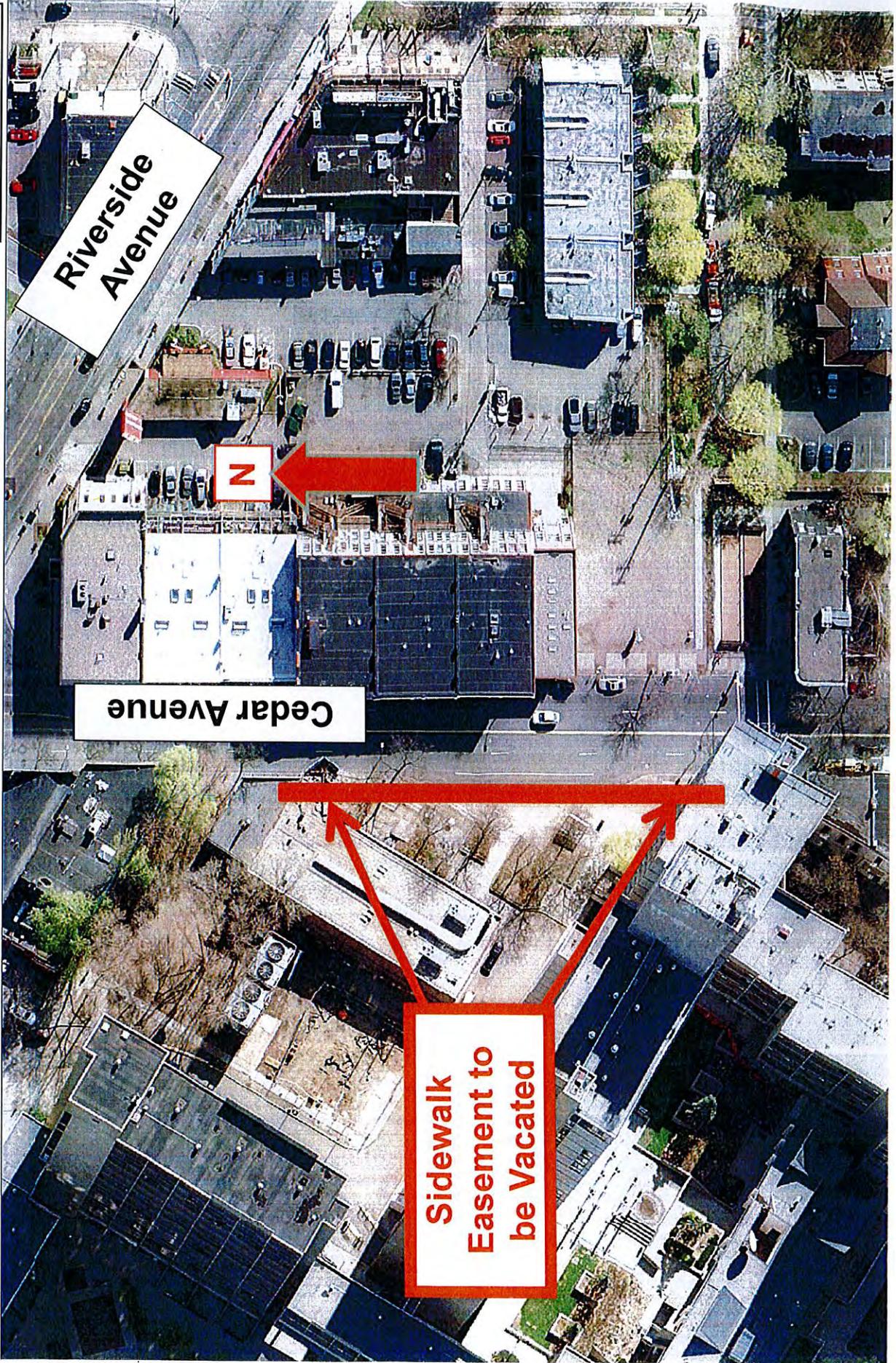
Contains 9864 69 square feet, more or less

Ulteig Job Number: 14 00866

Section: 26 Township 29 N Range 24 W, 4th P M.

County: Hennepin





Riverside Avenue

Cedar Avenue

N

Sidewalk Easement to be Vacated

# CEDAR CULTURAL CENTER PLAZA

THE CEDAR 25th  
ANNIVERSARY

millerdunwiddie  
ARCHITECTURE

123 North Third Street Suite 104  
Minneapolis MN 55401-1657  
www.millerdunwiddie.com  
p 612-337-0000 f 612-337-0031



## TEAM

**OWNER**  
CEDAR CULTURAL CENTER  
416 CEDAR AVE S.  
MINNEAPOLIS, MINNESOTA 55454  
TELEPHONE: 612-338-2674  
EMAIL: JLEEKE@MILLERDUNWIDDIE.COM

**ARCHITECT**  
MILLER DUNWIDDIE ARCHITECTURE, INC.  
123 NORTH THIRD STREET, SUITE 104  
MINNEAPOLIS, MINNESOTA 55401  
TELEPHONE: (612) 337-0000  
EMAIL: JLEEKE@MILLERDUNWIDDIE.COM

**CIVIL ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
2550 UNIVERSITY AVE WEST, SUITE 345N  
ST. PAUL, MINNESOTA 55114  
TELEPHONE: (651) 645-4197  
EMAIL: MATTHEW.HUGGINS@KIMLEY-HORN.COM

**LANDSCAPE ARCHITECT**  
STEFAN HELGESON AIA ASLA  
3609 W. 55TH ST.  
EDINA, MINNESOTA 55410  
TELEPHONE: (952) 925-3799  
EMAIL: STEFAN@SHA.BZ

**LIGHTING DESIGN**  
SCHULER SHOOK  
123 NORTH THIRD STREET SUITE 210  
MINNEAPOLIS, MINNESOTA 55401  
TELEPHONE: (612) 339-5958  
EMAIL: PWHITAKER@SCHULERSHOOK.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION  
OR REPORT WAS PREPARED BY ME OR UNDER  
MY DIRECT SUPERVISION AND THAT I AM A DULY  
LICENSED ARCHITECT UNDER THE LAWS OF THE  
STATE OF MINNESOTA.

*John E. Leeke*  
SIGNATURE

JOHN E. LEEKE, AIA  
NAME

SEPTEMBER 1, 2014 41750  
DATE LICENSE #

PROJECT: \_\_\_\_\_

## SYMBOLS

|  |                         |
|--|-------------------------|
|  | ELEVATION MARKER        |
|  | ELEVATION/HEIGHT MARKER |
|  | DETAIL SECTION MARKER   |
|  | PLAN DETAIL MARKER      |
|  | REVISION MARKER         |

CEDAR CULTURAL  
CENTER PLAZA

416 CEDAR AVENUE SOUTH  
MINNEAPOLIS, MINNESOTA

## REVISED

| MARK | DATE               | DESCRIPTION  |
|------|--------------------|--------------|
| 1    | JUNE 18, 2014      | PERMIT SET   |
| 2    | JULY 15, 2014      | ADDENDUM 1   |
| 3    | JULY 25, 2014      | ADDENDUM 2   |
| 4    | SEPTEMBER 1, 2014  | CONSTRUCTION |
| 5    | SEPTEMBER 12, 2014 | REVISION     |

## DRAWINGS

|    |                           |
|----|---------------------------|
| T1 | TITLE SHEET               |
| D1 | DEMOLITION PLAN           |
| A1 | SITE PLAN                 |
| A2 | GREEN WALL SECTIONS       |
| A3 | PLANTER AND BENCH DETAILS |
| A4 | ELEVATIONS                |
| A5 | DETAILS                   |
| L1 | LANDSCAPE PLAN            |
| E1 | ELECTRICAL PLAN           |

COMM. NO.: CCC1301

DATE: SEPTEMBER 12, 2014

DRAWN: JEL

CHECKED: CDL

© 2014 Miller Dunwiddie Architecture, Inc.

DRAWING TITLE: \_\_\_\_\_

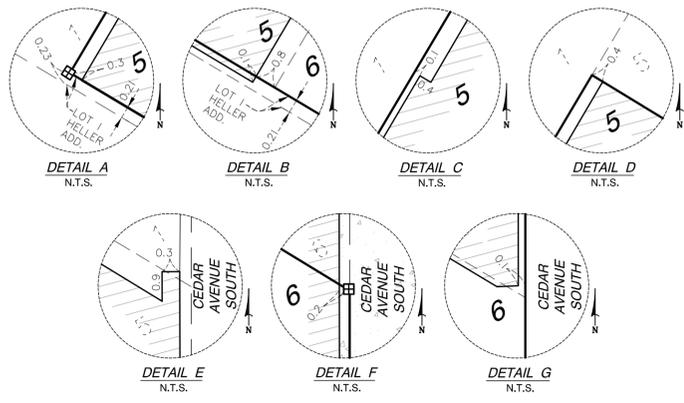
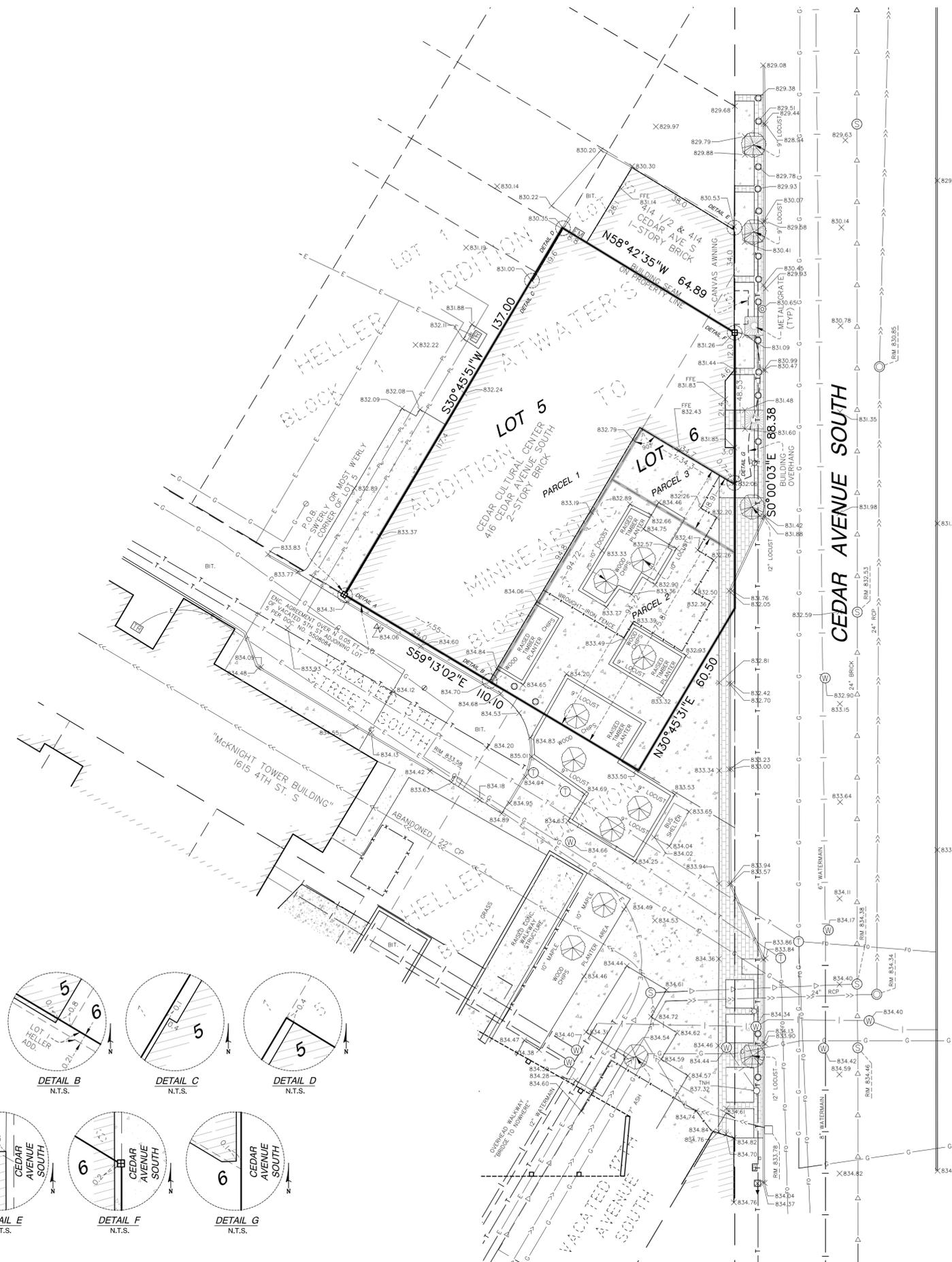
TITLE SHEET

DRAWING NUMBER: \_\_\_\_\_

T1

## MATERIALS

|  |                     |  |                   |
|--|---------------------|--|-------------------|
|  | EARTH               |  | GYPSUM BOARD      |
|  | CAST-IN-PLACE CONC  |  | GRAVEL, BALLAST   |
|  | PRECAST CONCRETE    |  | BRICK             |
|  | CONCRETE BLOCK/ CMU |  | STEEL, METAL STUD |
|  | SAND, CONC, GYPSUM  |  | PLYWOOD           |
|  | ROUGH WOOD          |  | FINISH WOOD       |



**LEGAL DESCRIPTION**

**PARCEL 1:**  
 That part of Lots 5 and 6, Block 3, Atwater's Addition to the Town of Minneapolis, described as follows: Beginning at the Southwesterly or most Westerly corner of said Lot 5; thence Southeasterly along the Southwesterly line of said Lot 5 a distance of 55 feet, more or less, to the Southeasterly or most Southerly corner thereof; thence Northeasterly along the line dividing said Lot 5 from said Lot 6, a distance of 94.72 feet; thence at right angles Southeasterly a distance of 34.3 feet, more or less to the Westerly line of Cedar Avenue; thence Northerly along the Westerly line of Cedar Avenue a distance of 48.53 feet; thence Northwesterly in a straight line to a point in the Northwesterly line of said Lot 5, distant 137.0 feet Northeasterly from the Southwesterly or most Westerly corner thereof; thence Southwesterly along the Northwesterly line of said Lot 5 a distance of 137.0 feet to the point of beginning, Hennepin County, Minnesota.

**PARCEL 2:**  
 The front or Southwest 75.81 feet of Lot 6, Block 3, Atwater's Addition to Minneapolis, according to the plat thereof on file and of record in the office of the Register of Deeds, in and for Hennepin County, Minnesota.

**Parcel 3:**  
 The Northeast 18.91 feet of the Southwest 94.72 feet of Lot 6, Block 3, Atwater's Addition to the Town of Minneapolis, according to the map or plat thereof on file and of record in the office of the Register of Deeds, Hennepin County, Minnesota.

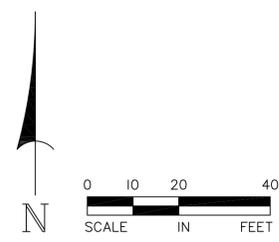
**Torrens Property**  
 Certificate No. 1067884

**Notes:**

- The locations of underground utilities are depicted based on our in-house records, available city maps, records and observed field locations and may not be exact. Verify critical utilities prior to construction or design.
- The basis of bearings is assumed.
- All distances are in feet.
- This survey was prepared from legal descriptions supplied per Title Insurance Policy prepared by Attorney's Title Insurance Fund, Inc., Policy No. MPA-0201741 with an effective date of December 4, 2003 and our in house records and may not depict all easements, appurtenances or encumbrances affecting the property.
- Bench Mark:
  - City of Minneapolis Monument No. 517 located at the intersection of Cedar Avenue and Riverside Ave has an Elevation of 825.65 NGVD 29.
  - AND
  - Top Nut of Hydrant located on the west side of Cedar Avenue midway between 4th Street and 6th Street has an elevation of 837.32 feet NGVD 29.
- Potential Gap/Overlap between Parcel 1 and Parcel 3 along the northeasterly line of Parcel 3. The northeasterly line of Parcel 3 is parallel to the southeasterly line of Lot 6 and the adjacent or adjoining line in Parcel 1 is perpendicular to the northwesterly line of Lot 6. Based on our calculations, the west point of these lines are coincident and the east point is a gap of approximately 0.01 feet. It is our opinion that the gap is de minimis, however it may be advisable to reform the legal descriptions to conform to the same line.

**LEGEND**

- FOUND SCRIBED "X"
- HYDRANT
- WATER VALVE
- SANITARY MANHOLE
- CATCH BASIN
- ELECTRIC METER
- TRANSFORMER
- LIGHT
- STORM MANHOLE
- TELEPHONE MANHOLE
- WATER MANHOLE
- BOLLARD
- GAS VALVE
- CURB STOP
- HAND HOLE
- ELECTRIC BOX
- TRAFFIC LIGHT
- SPOT ELEVATION
- GAS
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- UNDERGROUND CHILLER LINE
- FENCE
- CONCRETE
- BRICK



**ALLIANT ENGINEERING, INC.**  
 233 PARK AVE. SOUTH, SUITE 300  
 MINNEAPOLIS, MN 55415  
 PHONE (612) 758-3080  
 FAX (612) 758-3099

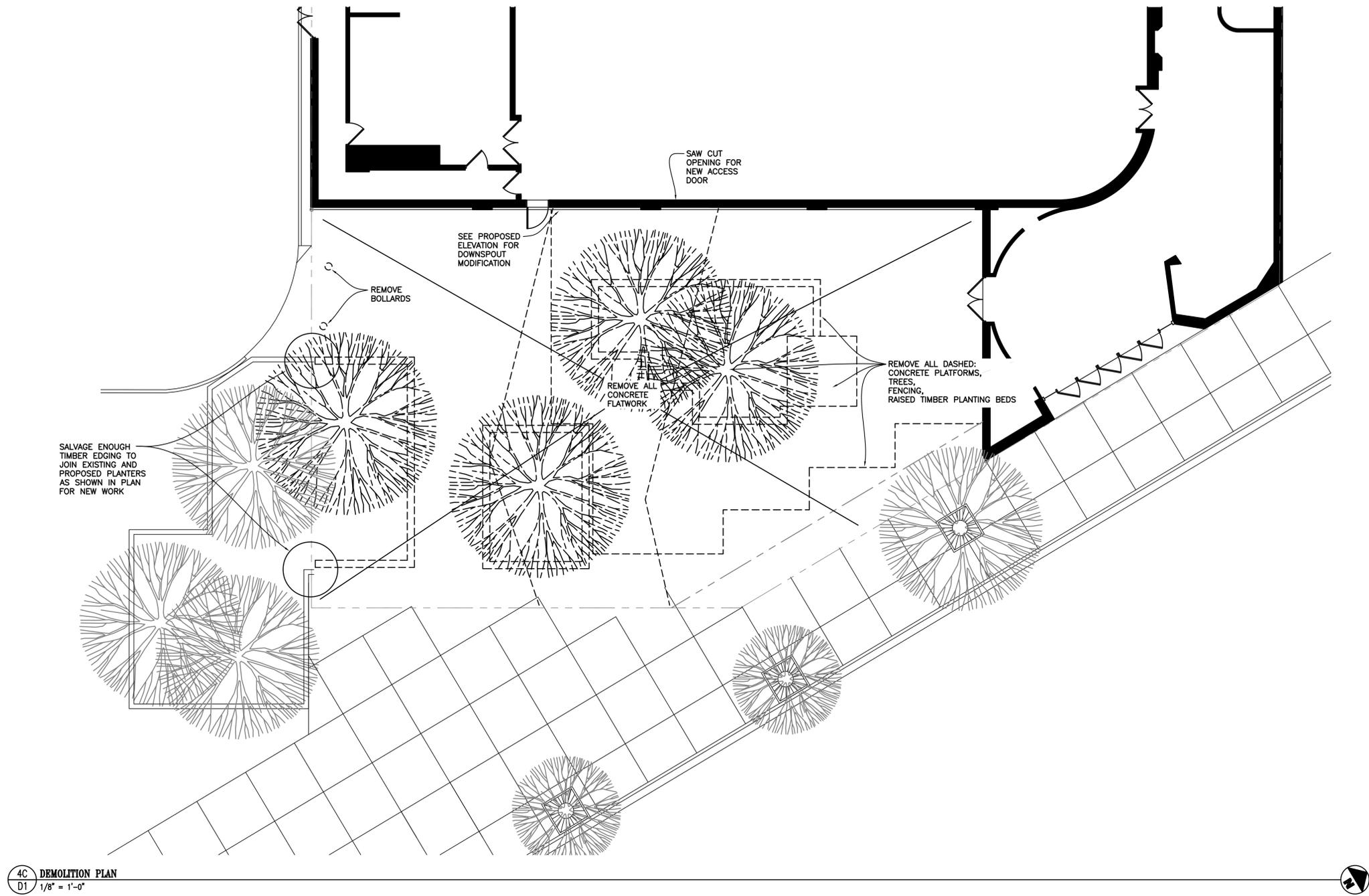
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Land Surveyor under Minnesota statutes 326.02 to 326.16.

**DENNIS B. OLMSTEAD**  
 Print Name  
 Signature  
 April 24, 2012  
 Date

18425  
 License Number

**EXISTING CONDITIONS SURVEY**  
**CEDAR CULTURAL CENTER**  
 416 CEDAR AVENUE SOUTH  
 MINNEAPOLIS, MINNESOTA

DRAWN BY DE  
 CHECKED BY DBO  
 DATE ISSUED 4/24/12  
 SCALE 1"=20'  
 JOB NO. 120045  
 BOOK 18



4C DEMOLITION PLAN  
D1 1/8" = 1'-0"

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

*John E. Leeke*  
SIGNATURE

JOHN E. LEEKE, AIA  
NAME  
SEPTEMBER 1, 2014 41750  
DATE LICENSE #

PROJECT: \_\_\_\_\_

**CEDAR CULTURAL CENTER PLAZA**

416 CEDAR AVENUE SOUTH  
MINNEAPOLIS, MINNESOTA

REVISED

| MARK | DATE               | DESCRIPTION  |
|------|--------------------|--------------|
| 1    | JUNE 18, 2014      | PERMIT SET   |
| 2    | JULY 15, 2014      | ADDENDUM 1   |
| 3    | JULY 25, 2014      | ADDENDUM 2   |
| 4    | SEPTEMBER 1, 2014  | CONSTRUCTION |
| 5    | SEPTEMBER 12, 2014 | REVISION     |

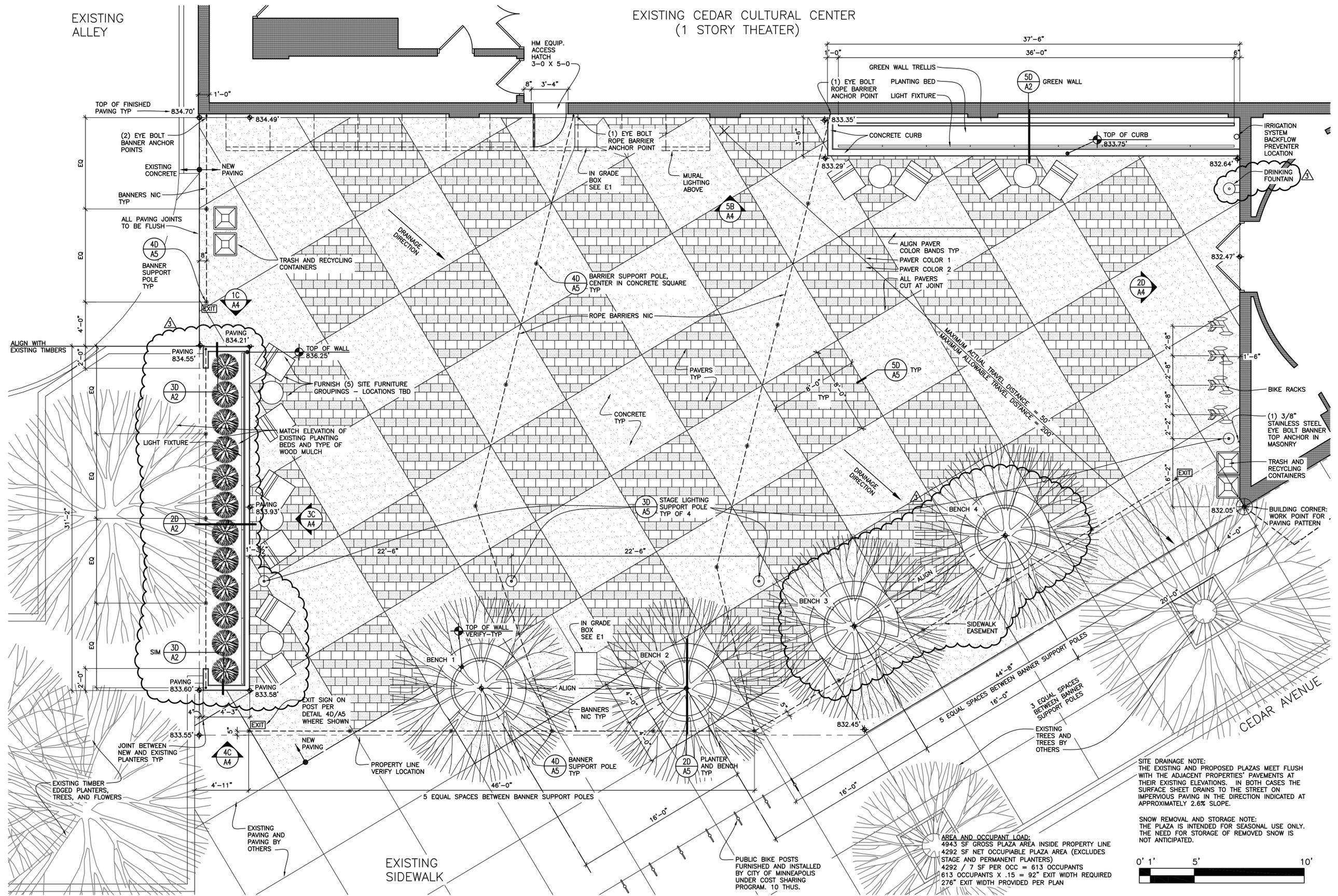
COMM. NO.: CCC1301  
DATE: SEPTEMBER 12, 2014  
DRAWN: JEL  
CHECKED: CDL

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DRAWING TITLE: \_\_\_\_\_

**DEMOLITION PLAN**

DRAWING NUMBER:  
**D1**

EXISTING CEDAR CULTURAL CENTER  
(1 STORY THEATER)



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: *John E. Leeke*  
NAME: JOHN E. LEEKE, AIA  
DATE: SEPTEMBER 1, 2014  
LICENSE #: 41750

PROJECT: CEDAR CULTURAL CENTER PLAZA

416 CEDAR AVENUE SOUTH  
MINNEAPOLIS, MINNESOTA

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DRAWING TITLE: SITE PLAN

DRAWING NUMBER: A1

**SITE DRAINAGE NOTE:**  
THE EXISTING AND PROPOSED PLAZAS MEET FLUSH WITH THE ADJACENT PROPERTIES' PAVEMENTS AT THEIR EXISTING ELEVATIONS. IN BOTH CASES THE SURFACE SHEET DRAINS TO THE STREET ON IMPERVIOUS PAVING IN THE DIRECTION INDICATED AT APPROXIMATELY 2.6% SLOPE.

**SNOW REMOVAL AND STORAGE NOTE:**  
THE PLAZA IS INTENDED FOR SEASONAL USE ONLY. THE NEED FOR STORAGE OF REMOVED SNOW IS NOT ANTICIPATED.

**AREA AND OCCUPANT LOAD:**  
4943 SF GROSS PLAZA AREA INSIDE PROPERTY LINE  
4292 SF NET OCCUPIABLE PLAZA AREA (EXCLUDES STAGE AND PERMANENT PLANTERS)  
4292 / 7 SF PER OCC = 613 OCCUPANTS  
613 OCCUPANTS X .15 = 92' EXIT WIDTH REQUIRED  
276' EXIT WIDTH PROVIDED PER PLAN



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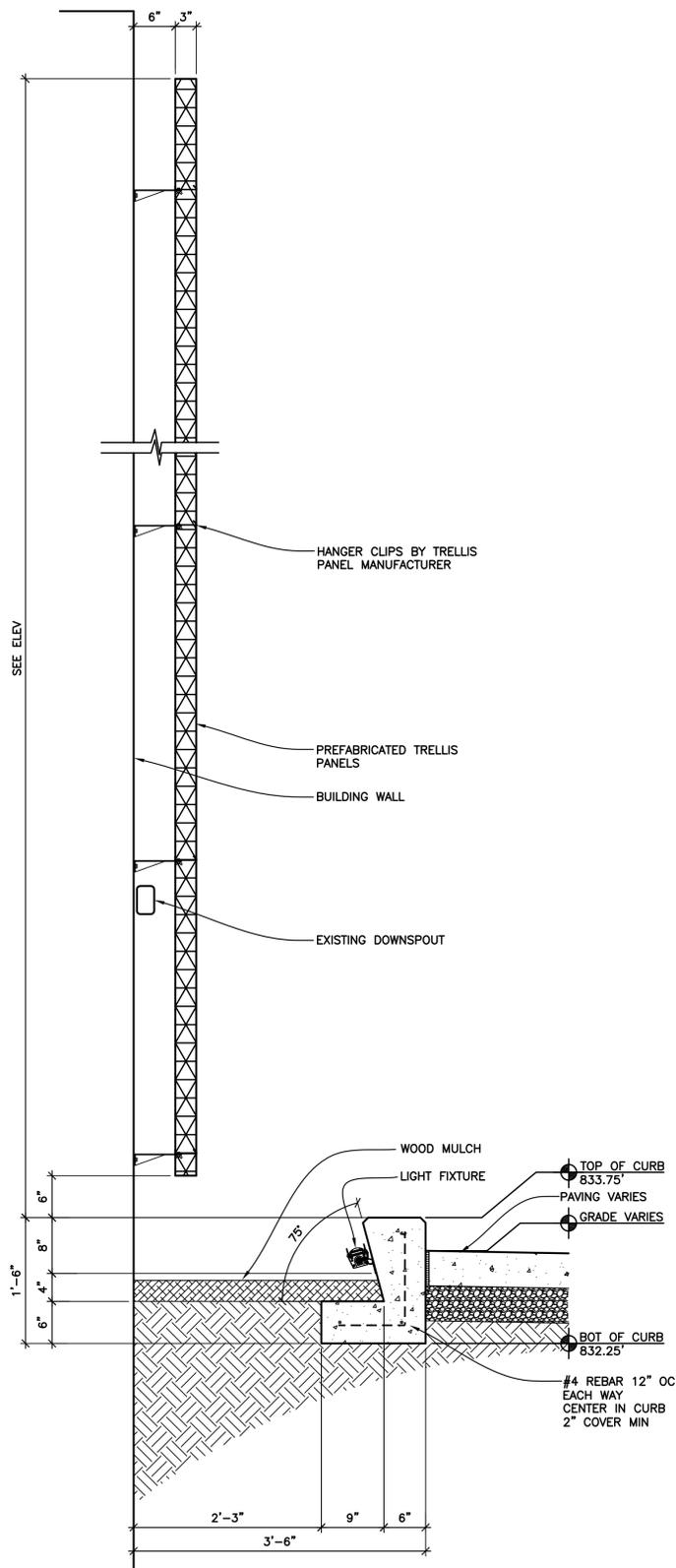
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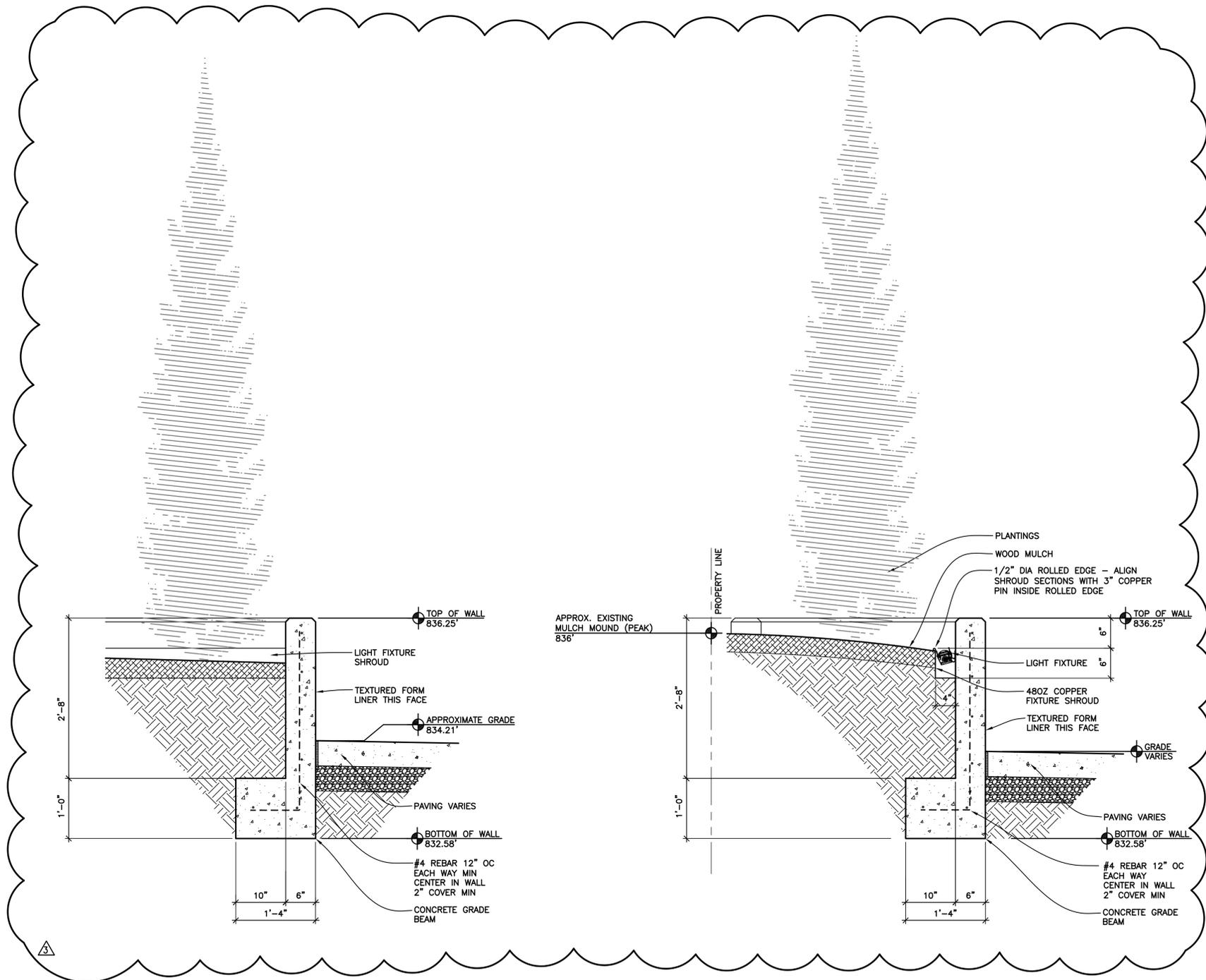
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**GREEN WALL SECTIONS**

DRAWING NUMBER: \_\_\_\_\_

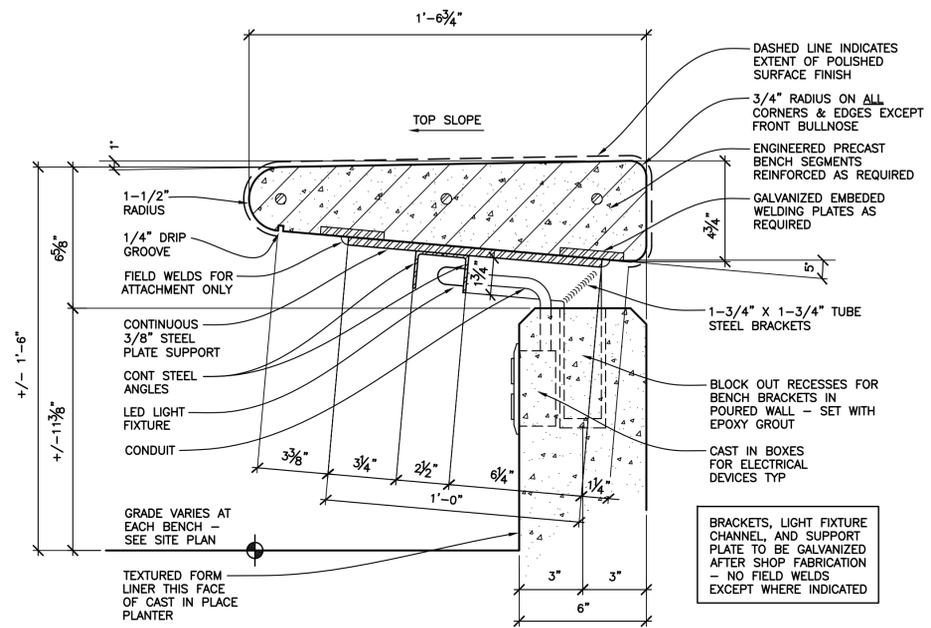
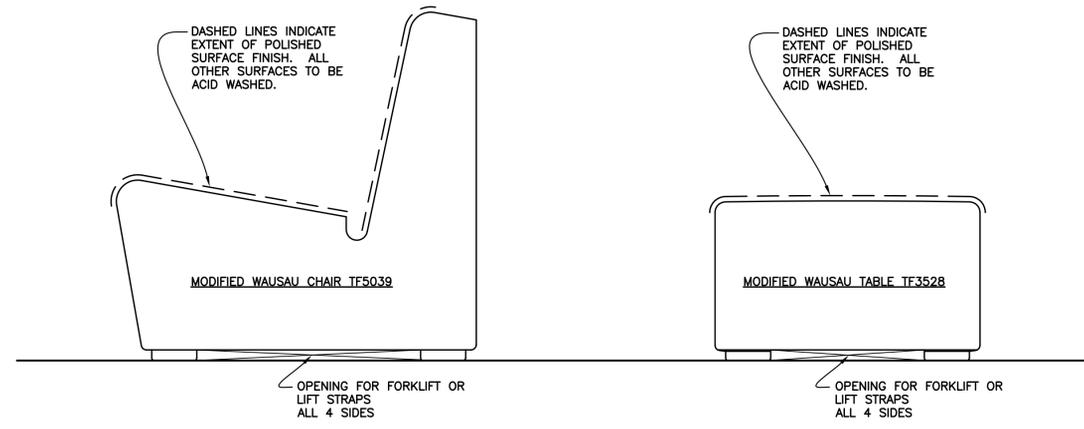


**5D GREEN WALL SECTION**  
A2 1" = 1'-0"



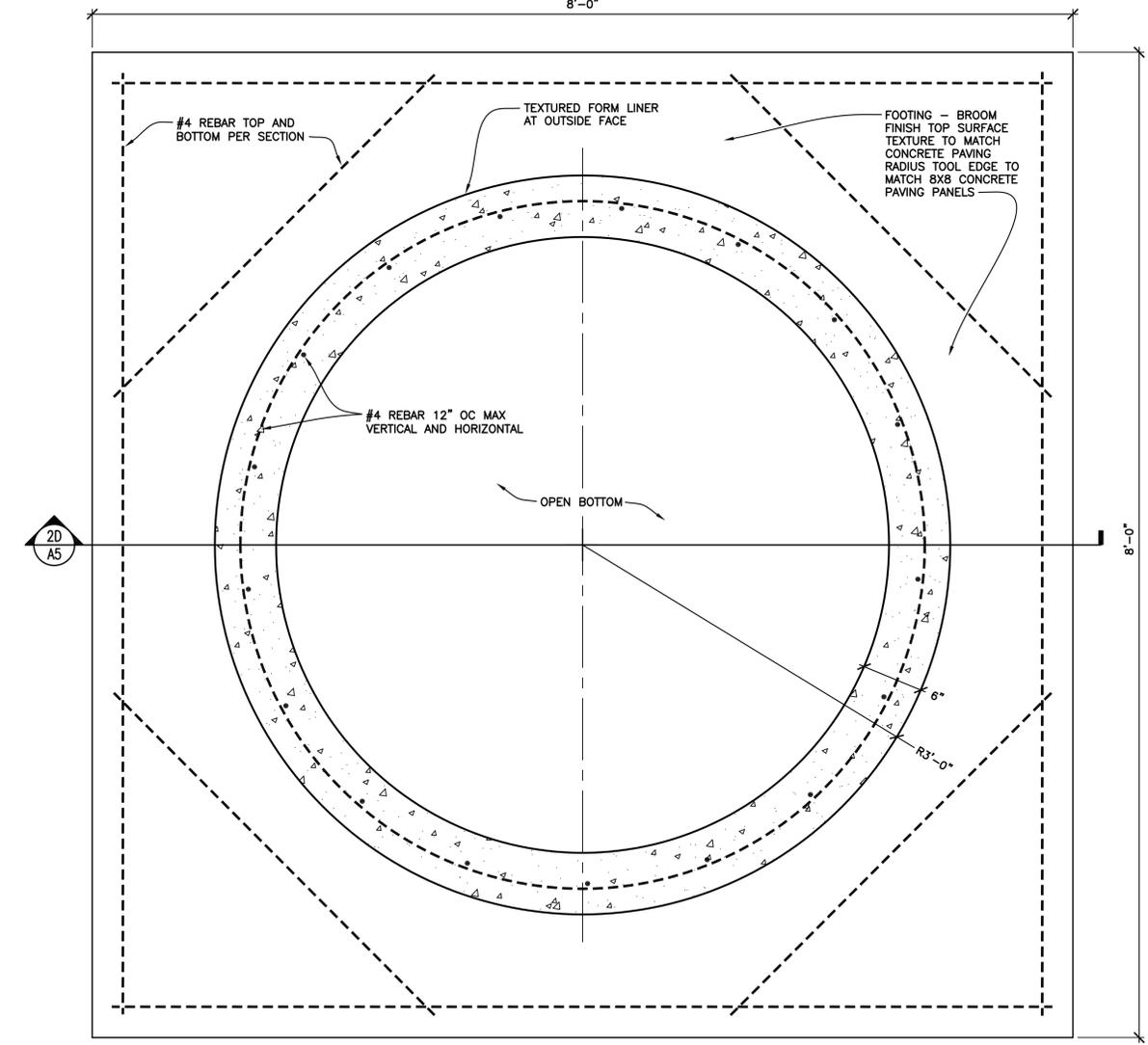
**3D RETAINING WALL SECTION - END**  
A2 1" = 1'-0"

**2D RETAINING WALL SECTION - SIDE**  
A2 1" = 1'-0"

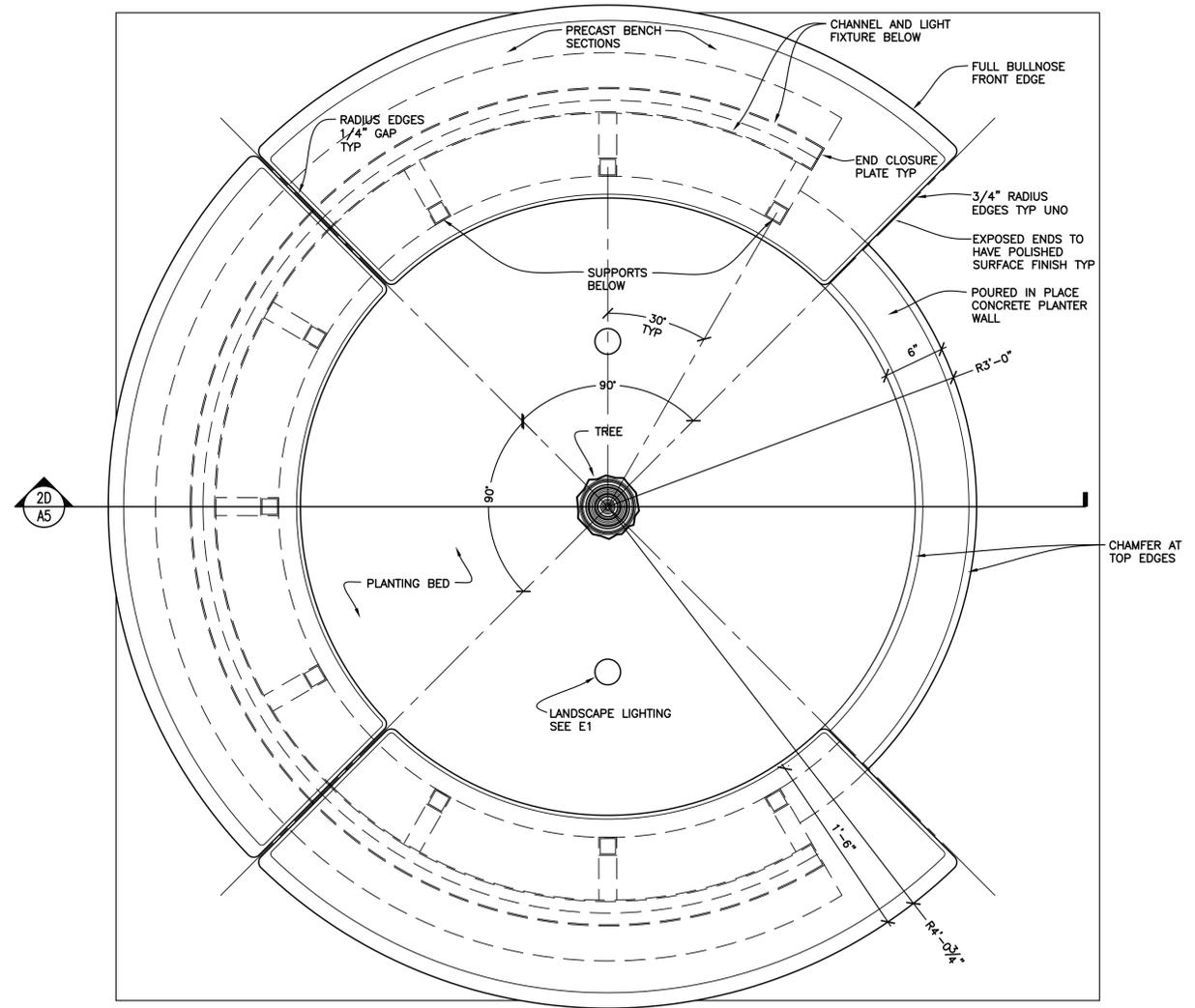


5B PRECAST SITE FURNISHINGS  
A3 1-1/2" = 1'-0"

2B PLANTER BENCH DETAIL  
A3 3" = 1'-0"



5D PLANTER / BENCH CONCRETE STRUCTURE  
A3 1-1/2" = 1'-0"



3D PLANTER / BENCH PLAN  
A3 1-1/2" = 1'-0"

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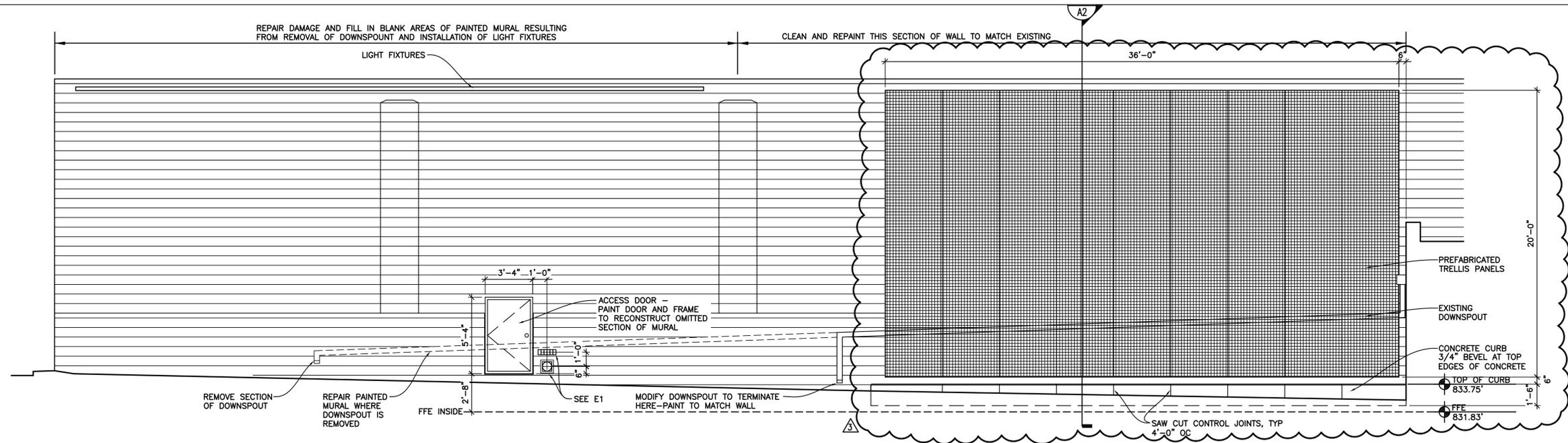
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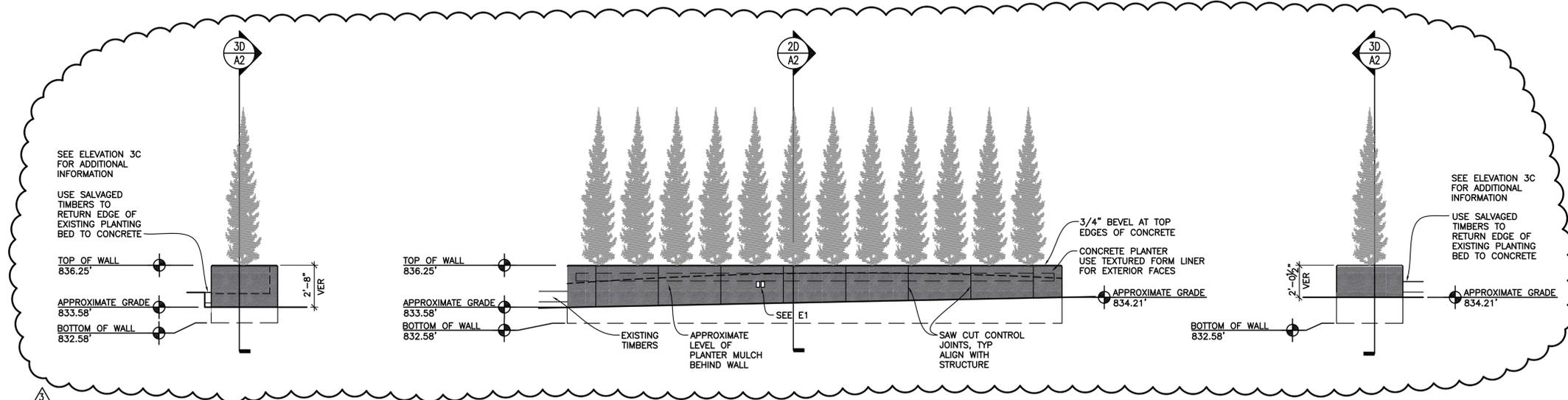
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DRAWING TITLE: PLANTER & BENCH DETAILS

DRAWING NUMBER: A3



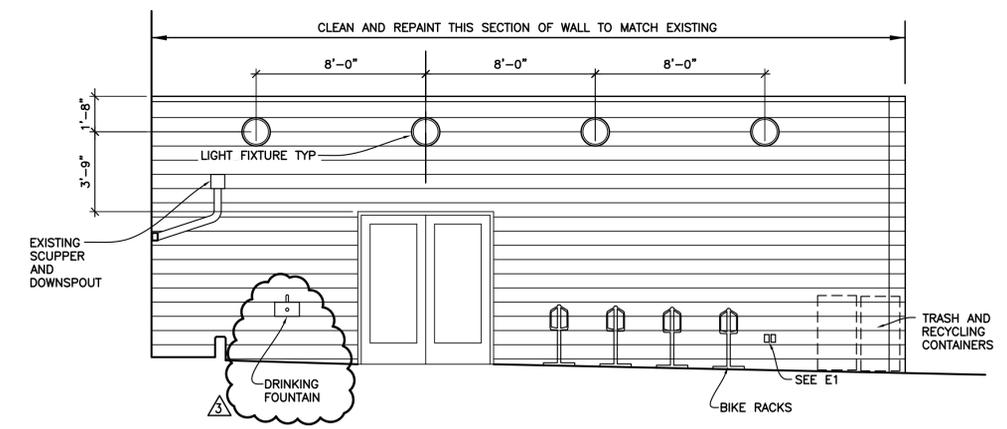
5B ELEVATION  
A4 1/4" = 1'-0"



4C ELEVATION  
A4 1/4" = 1'-0"

3C ELEVATION  
A4 1/4" = 1'-0"

1C ELEVATION  
A4 1/4" = 1'-0"



2D ELEVATION  
A4 1/4" = 1'-0"

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*John E. Leeke*  
SIGNATURE

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SEPTEMBER 1, 2014 41750  
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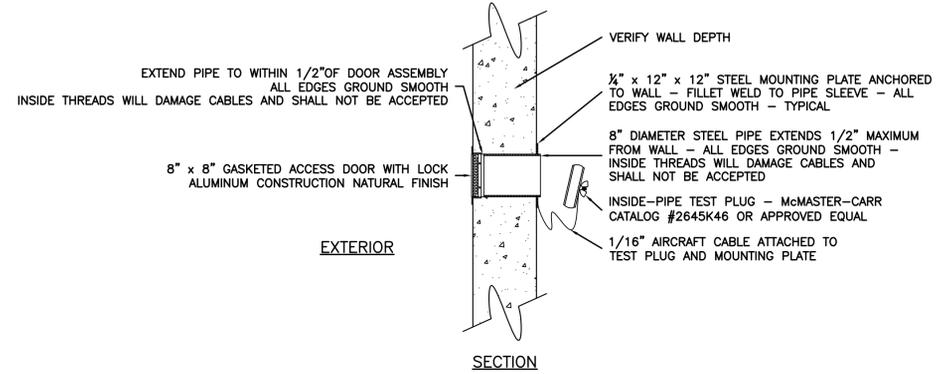
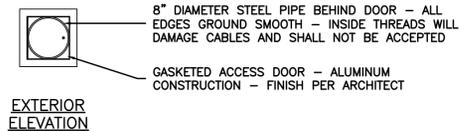
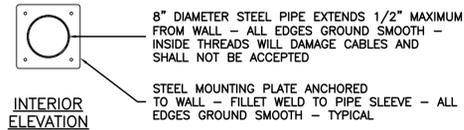
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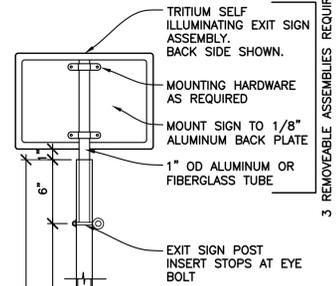
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**ELEVATIONS**

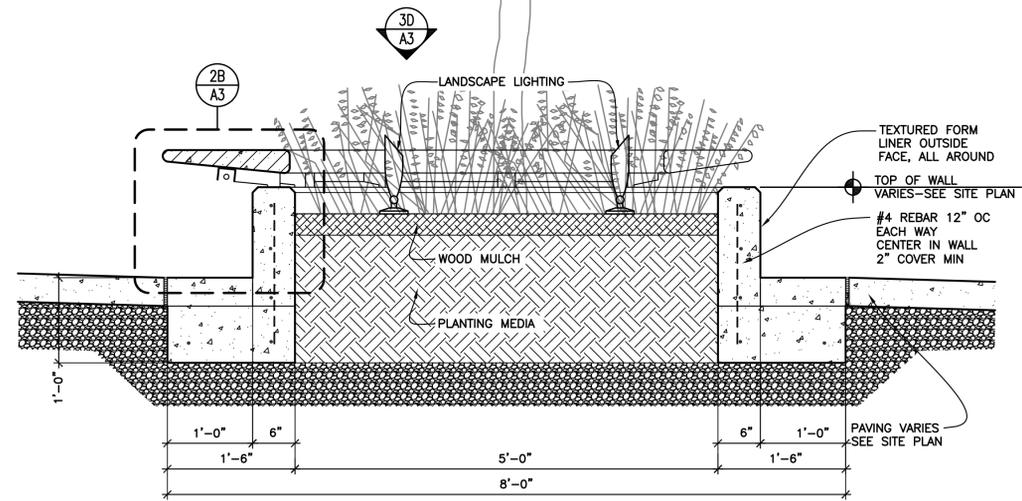
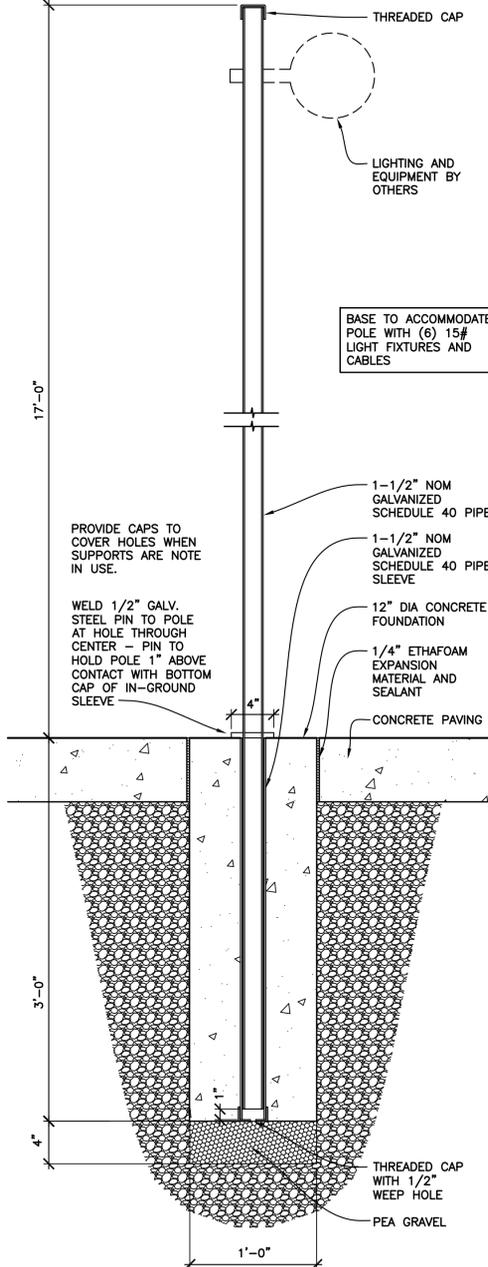
DRAWING NUMBER: \_\_\_\_\_



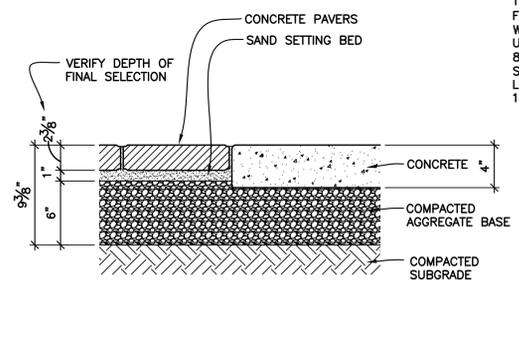
NOTE:  
EXIT SIGN ASSEMBLIES TO BE PLACED ON POSTS ADJACENT TO 3 REQUIRED EXITS, FACING INTERIOR OF ENCLOSED PLAZA



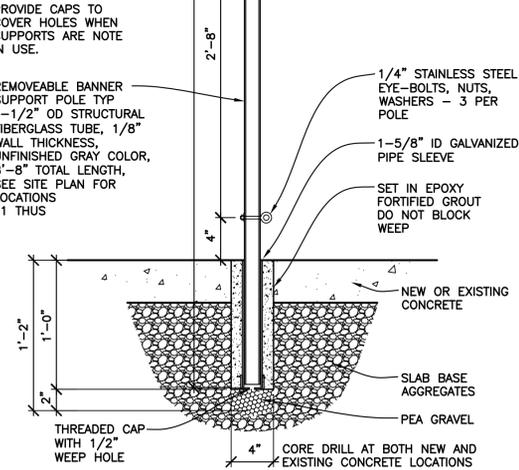
**3A CABLE SLEEVE DETAIL**  
3/4" = 1'-0"



**2D PLANTER SECTION**  
1" = 1'-0"



**5D PAVING DETAIL**  
1-1/2" = 1'-0"



**4D BANNER SUPPORT POLE DETAIL**  
1-1/2" = 1'-0"

**3D STAGE LIGHTING SUPPORT POLE DETAIL**  
1-1/2" = 1'-0"

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**DETAILS**

DRAWING NUMBER: \_\_\_\_\_



DATA SCHEDULE

| DEVICE NUMBER AND DESCRIPTION | DMX 1-PORT MALE INPUT | DMX 1-PORT FEMALE OUTPUT | FINISH COLOR  | MOUNTING | NUMBER OF BACK BOXES | REMARKS   |
|-------------------------------|-----------------------|--------------------------|---------------|----------|----------------------|---|
| CONTROL INTERFACE RACK        |                       | 1                        | BLACK         | RACK     | NONE                 | ALL PORTS TO BE 5-PIN XLR EQUAL TO XLR SERIES BY SWITCHCRAFT. PROVIDE PANEL MOUNT RECEPTACLE IN STANDARD J-BOX. |
| NORTH WALL                    |                       | 1                        | PER ARCHITECT | RECESSED | 1                    | PROVIDE WEATHER PROOF COVER. PROVIDE STANDARD J-BOX AND XLR   |
| WEST PLANTER                  |                       | 1                        | PER ARCHITECT | RECESSED | 1                    | PROVIDE WEATHER PROOF COVER.  |
| CENTRAL CIRCULAR PLANTER      | 1                     | 1                        | PER ARCHITECT | RECESSED | 1                    | PROVIDE WEATHER PROOF COVER.  |
| WEST WALL                     |                       | 1                        | PER ARCHITECT | RECESSED | 1                    | PROVIDE WEATHER PROOF COVER.  |

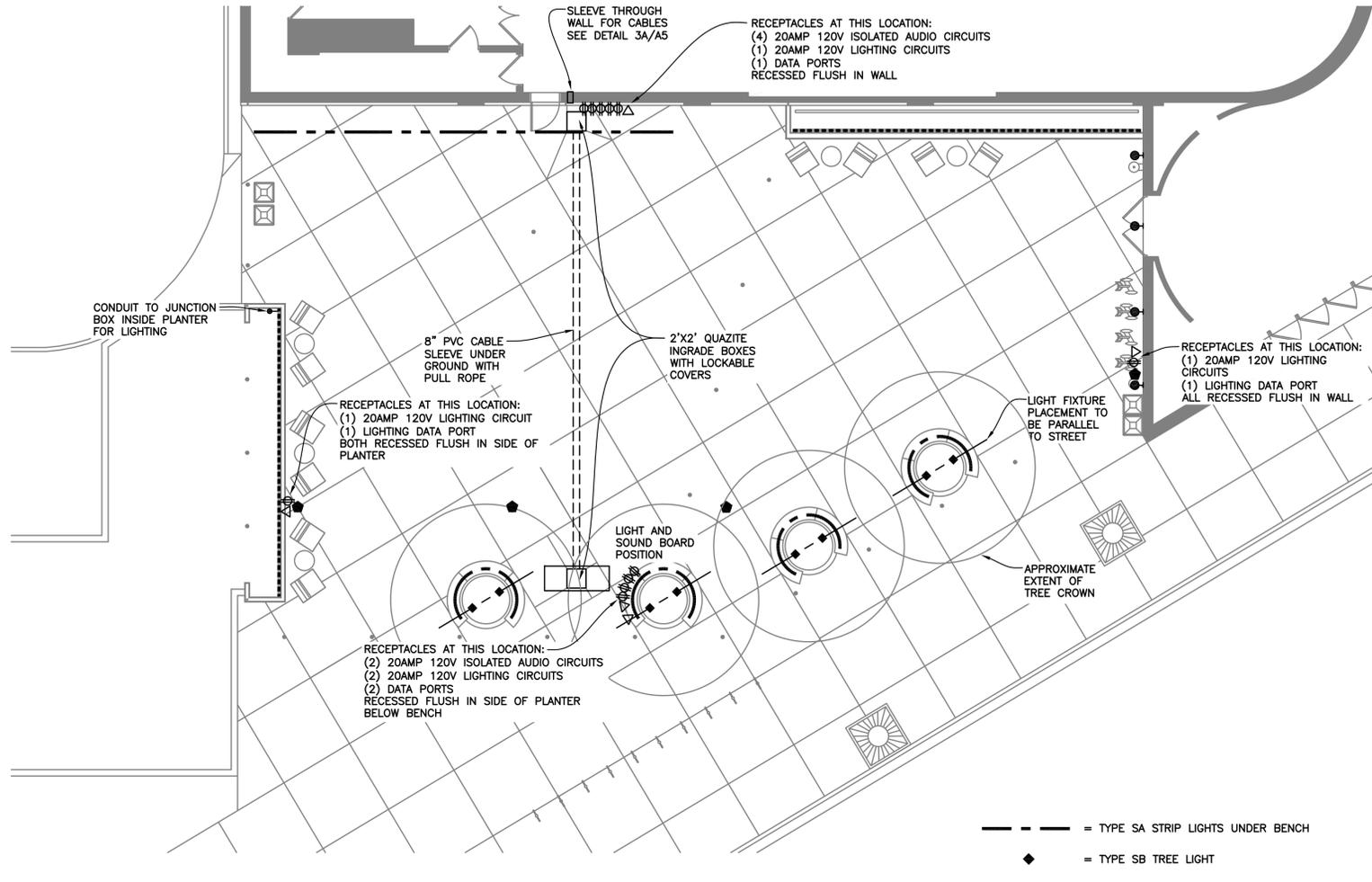
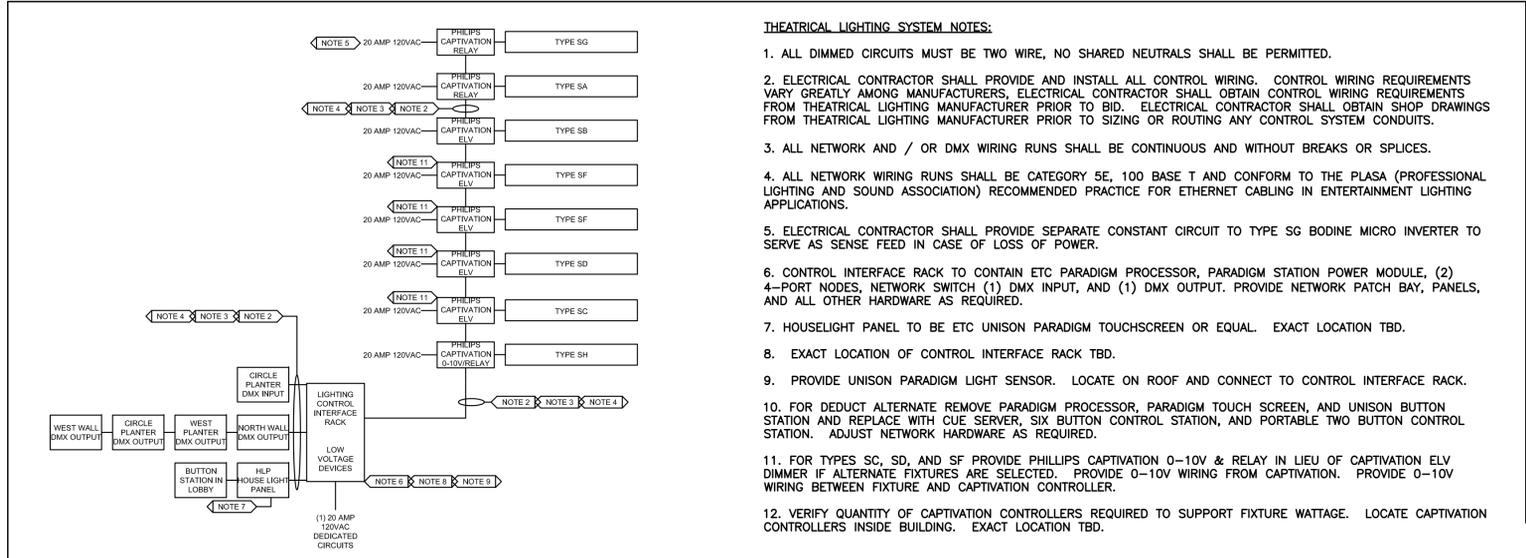
LIGHT FIXTURE SCHEDULE

| TYPE      | REV. | FIXTURE TYPE     | VOLTAGE | INPUT WATTAGE | DIMMING | SOURCE        | CATALOG NUMBER  | REMARKS                         |
|-----------|------|------------------|---------|---------------|---------|---------------|---|---------------------------------|
| SA        |      | Surface          | 120     | 3.2 / ft.     | NON-DIM | LED(INCLUDED) | AMERICAN LIGHTING LED-TNPLUS-WW / LED-NF-CORNER / LED-NF as required / LED-NF-CLIP as required. Hard wire to circuit. Mount to underside of bench in channel provided. Contractor is responsible to all lengths, feeds, and fittings as required to ensure a complete system. Provide Phillips captivation relay inside building and connect to DMX control system. | Bench Lighting                  |
| SB        |      | Pipe Mounted     | 120     | 15            | ELV     | LED(INCLUDED) | BK LIGHTING DE-LED-x21-FL-B2P-11-A / PPH-S18-D15INC-B-120. Provide Phillips captivation ELV dimmer inside building and connect to DMX control system.   | Tree Uplighting                 |
| SC        |      | Surface          | 120     | 12 / ft.      | ELV     | LED(INCLUDED) | PHILIPS COLOR KINETICS 523-000080-57. Steak mount or provide blocking to secure fixture to concrete below. Refer to Architectural details. Contractor is responsible to all lengths, feeds, and fittings as required to ensure a complete system. Exact Mounting TBD. Provide Captivation ELV dimmer inside building and connect to DMX control system.             | Surface Wall uplight            |
| SC ALT    |      | Surface          | 120     | 8.5 / ft.     | 0-10v   | LED(INCLUDED) | LUMENPULSE LOG RO-120-48-27K-60X60-UMAS-BK-DIM-1XF-ETE-CRC. Steak mount or provide blocking to secure fixture to concrete below. Contractor is responsible to all lengths, feeds, and fittings as required to ensure a complete system. Exact Mounting TBD. Provide Captivation 0-10v & relay inside building and connect to DMX control system.                    | Surface Wall uplight Alternate  |
| SD        |      | Surface          | 120     | 15 / ft.      | ELV     | LED(INCLUDED) | PHILIPS COLOR KINETICS 523-000080-57. Contractor is responsible to all lengths, feeds, and fittings as required to ensure a complete system. Provide Captivation ELV dimmer inside building and connect to DMX control system.  | Large Planter uplight           |
| SD ALT SE |      | Surface NOT USED | 120     | 8.5 / ft.     | 0-10v   | LED(INCLUDED) | LUMENPULSE LOG RO-120-48-27K-60X60-UMAS-BK-DIM-ETE-CRC. Contractor is responsible to all lengths, feeds, and fittings as required to ensure a complete system. Exact Mounting TBD. Provide Captivation 0-10v & relay inside building and connect to DMX control system.   | Large Planter uplight alternate |
| SF        |      | Surface          | 120     | 15 / ft.      | ELV     | LED(INCLUDED) | PHILIPS COLOR KINETICS 523-000080-48. PROVIDE 1'-0" LONG WALL BRACKET. Contractor is responsible to all lengths, feeds, and fittings as required to ensure a complete system. Provide Captivation ELV dimmer inside building and connect to DMX control system.   | Mural wall Light                |
| SF ALT    |      | Surface          | 120     | 15.25 / ft.   | 0-10v   | LED(INCLUDED) | LUMENPULSE LOG HO-120-48-27K-30X60-WAM12-BK-DIM-ETE-CRC. Contractor is responsible to all lengths, feeds, and fittings as required to ensure a complete system. Provide Captivation 0-10v & relay inside building and connect to DMX control system.  | Mural wall Light Alternate      |
| SG        |      | Surface          | 120     | 12            | NON-DIM | LED(INCLUDED) | RAB LIGHTING SLIM12Y. Provide Bocine ELI-S-20 20 watt Micro inverter mounted in building to provide emergency lighting. Provide Captivation relays inside building and connect to DMX control system.   | Above Door Sconce               |
| SH        |      | Surface          | 120     | 20            | 0-10v   | LED(INCLUDED) | DESIGN PLAN U533022-PROVIDE 0-10V DIMMING. Provide Captivation 0-10v & relay inside building and connect to DMX control system.   | Wall mounted sconce             |

**GENERAL NOTES:**

- A - CONTRACTOR SHALL VERIFY ALL MOUNTING AND RECESS CONDITIONS PRIOR TO ORDERING FIXTURES
- B - CONTRACTOR SHALL PROVIDE ALL HARDWARE, BRACKETS, WIRING, TRANSFORMERS, REMOTE BOXES AND EQUIPMENT TO INSTALL A COMPLETE AND FUNCTIONAL SYSTEM
- C - NO SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT PRIOR REVIEW AND WRITTEN APPROVAL BY SCHULER SHOOK
- D - LIGHT FIXTURE MANUFACTURERS AND ELECTRICAL CONTRACTORS TO VERIFY COMPATIBILITY OF ALL DIMMING TRANSFORMERS, DRIVERS AND BALLASTS WITH THE LIGHTING CONTROL SYSTEM.
- E - PRICES SHOWN ARE DISTRIBUTOR NET PRICING, DO NOT INCLUDE TAXES, FREIGHT, MARK-UP (DISTRIBUTOR OR CONTRACTOR) OR INSTALLATION COST. PRICES ARE PER FIXTURE OR LINEAR FOOT.

THEATRICAL LIGHTING



PLAN NOTES

- ELECTRICAL INFORMATION SHOWN HERE IS SHOWN FOR DESIGN INTENT ONLY. FINAL DESIGN OF ALL SYSTEMS SHALL BE PROVIDED BY A DESIGN/BUILD CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODES AND PROFESSIONAL ENGINEERING LICENSURE STATUTES.
- SEE SCHEDULE IN SPECIFICATIONS FOR FIXTURE TYPE DEFINITION.
- ALL LIGHT FIXTURES TO BE HARD WIRED WITH ALL DRIVERS, TRANSFORMERS, INVERTERS ETC. LOCATED REMOTELY, INSIDE BUILDING.
- ALL AUDIO CIRCUITS TO BE ON TRANSFORMER WITH ISOLATED GROUND.
- ALL RECEPTACLES TO HAVE WEATHERPROOF COVER.
- PROVIDE POWER TO LANDSCAPE IRRIGATION CONTROL CENTER AS REQUIRED.
- LOCATION OF DIMMER RACK, CONTROL INTERFACE RACK, AND HOUSELIGHT PANEL TO BE DETERMINED.
- REFER TO RISER DIAGRAM FOR CONTROL AND CONTROL WIRING INFORMATION.

3D ELECTRICAL PLAN  
E1 1/8" = 1'-0"

123 North Third Street Suite 104  
Minneapolis MN 55401-1657  
www.millerdunwiddie.com  
p 612-337-0000 f 612-337-0031

THEATRE PLANNERS  
Schuler Shook  
123 THIRD STREET NORTH  
SUITE 210  
MINNEAPOLIS, MN 55401  
T 612 338 9558 F 612 337 5097  
schulershook.com

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