



CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #6
 October 14, 2014
 BZZ-6763

LAND USE APPLICATION SUMMARY

Property Location: 2812 University Avenue SE
Project Name: Hampton Inn and Suites - University
Prepared By: [Mei-Ling Anderson](#), City Planner, (612) 673.5342
Applicant: Dave Barnhart and Jeff Barnhart
Project Contact: Daniel L. Pellinen, Tushie Montgomery Architects
Request: To allow a new, five-story hotel with 117 rooms.
Required Applications:

Rezoning petition	Petition to rezone the property at 2812 University Avenue Southeast from the C2 Neighborhood Corridor Commercial District to the C3A Community Activity Center District.
Conditional Use Permit	To increase the maximum height of a building from 4 stories/56 feet to 5 stories/64 feet, 8 inches in the C3A Community Activity Center District.
Variance	To reduce the minimum interior side yard requirement adjacent to the west property line from 13 feet to 7 feet, 8 inches.
Variance	To reduce the minimum required number of off-street loading spaces from 2 large loading spaces to 1.
Variance	To increase the maximum allowed front building setback on Williams Ave SE from 8 feet to 46 feet or more along the south property line in the PO Pedestrian Oriented Overlay District.
Variance	To increase the maximum allowed parking lot frontage from 60 feet to approximately 112 feet along Williams Ave SE in the PO Pedestrian Oriented Overlay District.
Variance	To reduce the minimum window requirement below 40 percent along Williams Avenue SE in the PO Pedestrian Oriented Overlay District.
Variance	To increase the maximum area of a projecting sign from 48 square feet to 87.5 square feet.
Site Plan Review	For a new, five-story hotel with 117 rooms.

SITE DATA

Existing Zoning	C2 Neighborhood Corridor Commercial District; PO Pedestrian Oriented Overlay District; UA University Area Overlay District
Lot Area	37,966 square feet / 0.87 acres
Ward(s)	2
Neighborhood(s)	Prospect Park East River Road Improvement Association
Designated Future Land Use	Mixed Use
Land Use Features	Commercial Corridor (University Ave)
Small Area Plan(s)	Stadium Village University Avenue Station Area Plan (2012)

Date Application Deemed Complete	September 5, 2014	Date Extension Letter Sent	October 6, 2014
End of 60-Day Decision Period	November 4, 2014	End of 120-Day Decision Period	January 3, 2015

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The project site contains a partially demolished, seventy-year-old building that once contained a day care center, a grocery store and deli, and an auto-repair business. The building was consumed by a fire in August 2013 and the site has been vacant since that time. This property is located on an interior through lot that has frontage on both University Avenue Southeast and Williams Avenue Southeast and is located approximately 300 feet from the METRO Green Line Prospect Park Station on 29th Avenue.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. There are two two-story office buildings located on either side of the site. There is a nine-story office building and a post office across University. The University Avenue corridor contains mostly commercial buildings as well as high-density residential buildings. Most of the development in this area has been high-density residential projects focused near the METRO Green Line. The south side of the site is bounded by Williams Avenue SE. The area to the south of the site contains mostly two-story multifamily residential buildings as well as low-density residential housing.

PROJECT DESCRIPTION. The applicant is proposing to construct a new, five-story hotel with 117 rooms. The building would be located along University Avenue SE and the west property line, which is adjacent to an existing two-story office building. The east and south sides of the site would contain the hotel's 37-space surface parking area, which takes up approximately 60 percent of the lot. The lot would be accessible from University Avenue SE and would be connected to the parking area on the adjacent property to the west at 2800 University Avenue SE. The applicant is proposing 25 standard parking spaces, two accessible spaces, ten compact spaces, and one large loading space.

The proposed use for the site is a hotel, which is a permitted use in the C3A Community Activity Center District. The applicant is proposing to rezone the property from the C2 to the C3A zoning district as well as a conditional use permit to increase the maximum allowed height in the C3A district from the greater of four stories/56 feet to five stories/64 feet, 8 inches.

The project requires six variances. **(1)** First, the minimum interior side yard in the C3A district is 13 feet and the applicant is proposing a side yard of 7 feet-8 inches along the west property line. **(2)** A hotel with 75,398 square feet of gross floor area is required to provide two large loading spaces and a variance is requested to reduce this requirement to one large loading space. **(3)** The applicant is varying two PO Pedestrian Oriented Overlay Districts standards related to building placement on the site; first, the maximum allowed building setback along a front lot line is eight feet and the proposed building would be set back more than 46 feet from its frontage on Williams Avenue SE. **(4)** In addition, the parking lot frontage on Williams Avenue SE would exceed the PO district maximum of 60 feet by 52 feet, for a total of 112 feet. **(5)** A variance is necessary to allow the first floor façade facing Williams Avenue SE to be 10 percent windows instead of the minimum 40 percent required for the PO district. **(6)** The applicant is also proposing a projecting sign that would exceed the maximum area allowed from 48 square feet to 87.5 square feet, which requires a variance.

Finally, the new, five-story hotel is subject to the standards in Chapter 530, Site Plan Review.

This project was continued from the September 29, 2014 City Planning Commission meeting to allow for sufficient time to send out an additional notice of a public hearing for the variance of the minimum window requirement, which was identified after the first notice for the project was published.

RELATED APPROVALS. The existing structure on the site was approved for demolition as of December 2013.

Planning Case #	Application	Action
BZH-28027	Demolition review	Approved in December 2013

PUBLIC COMMENTS. As of the printing of this report, staff has received one comment in opposition to the proposed project, in particular the projecting sign and the property’s use as a hotel. In addition, staff has received correspondence from the Prospect Park East River Road Improvement Association. The neighborhood group is generally supportive of the project, especially for the sign. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

REZONING

The Department of Community Planning and Economic Development has analyzed the application for a petition to rezone the property at 2812 University Avenue Southeast from the C2 Neighborhood Corridor Commercial District to the C3A Community Activity Center District based on the following [findings](#):

- I. *Whether the amendment is consistent with the applicable policies of the comprehensive plan.*

The proposed zoning would be consistent with the applicable policies of *The Minneapolis Plan for Sustainable Growth*. The property is designated as Mixed Use on the future land use map. There is no requirement that every building in a Mixed Use area be mixed use, but the designation allows for mixed use developments. The C3A district is established to provide for the development of major urban activity and entertainment centers with neighborhood scale retail sales and services. In addition to entertainment and commercial uses, residential uses, institutional and public uses, parking facilities, limited production and processing and public services and utilities are allowed.

The site is also located on University Avenue SE, which is a designated Commercial Corridor. Commercial Corridors like University Avenue SE have historically been prominent destinations with mixed land uses, with commercial uses dominating.

The following principles and policies outlined in the plan apply to this proposal:

Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

- I.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.
- I.5.2 Facilitate the redevelopment of underutilized commercial areas by evaluating possible land use changes against potential impacts on the surrounding neighborhood.

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

- I.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

- I.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.
- I.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.
- I.4.3 Continue to implement land use controls applicable to all uses and structures located in commercial districts and corridors, including but not limited to maximum occupancy standards, hours open to the public, truck parking, provisions for increasing the maximum height of structures, lot dimension requirements, density bonuses, yard requirements, and enclosed building requirements.
- I.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street”.

Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.

- I.5.1 Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities.
- I.5.2 Facilitate the redevelopment of underutilized commercial areas by evaluating possible land use changes against potential impacts on the surrounding neighborhood.
- I.5.3 Promote the preservation of traditional commercial storefronts wherever feasible.

Land Use Policy 1.10: Support development along Commercial Corridors that enhances the street’s character, fosters pedestrian movement, expands the range of goods and services available, and improves the ability to accommodate automobile traffic.

- I.10.1 Support a mix of uses – such as retail sales, office, institutional, high-density residential and clean low-impact light industrial – where compatible with the existing and desired character.
- I.10.2 Encourage commercial development, including active uses on the ground floor, where Commercial Corridors intersect with other designated corridors.
- I.10.3 Discourage uses that diminish the transit and pedestrian character of Commercial Corridors, such as some automobile services and drive-through facilities, where Commercial Corridors intersect other designated corridors.

- I.10.4 Encourage a height of at least two stories for new buildings along Commercial Corridors, in keeping with neighborhood character.
- I.10.5 Encourage the development of high-density housing on Commercial Corridors.
- I.10.6 Encourage the development of medium-density housing on properties adjacent to properties on Commercial Corridors.

The proposed rezoning from C2 to C3A is also consistent with the comprehensive plan policies for transit station areas (TSAs). TSAs are located within approximately a one-half mile radius from transit stations to reflect that most walking trips to and from transit stations are ten minutes or less in duration. The subject site is approximately 300 feet to the south of Prospect Park Station on the Green Line. The comprehensive plan recognizes that potential TSA redevelopment opportunities are generally highest within a quarter-mile of the transit station. Allowing for the rezoning from C2 to C3A will allow for positive redevelopment opportunities and complementary uses to the University of Minnesota campus and the neighboring residential uses.

Land Use Policy I.13: Support high density development near transit stations in ways that encourage transit use and contribute to interesting and vibrant places.

- I.13.1 Encourage pedestrian-oriented services and retail uses as part of higher density development near transit stations.

The Stadium Village University Avenue Station Area Plan (2012) encourages high density residential mixed use redevelopment in the area near the Prospect Station Area. The plan specifies that the mix of uses should complement those in the Stadium Village commercial core, they should expand upon current options available, and should continue to foster arts-related businesses and destinations around the station area. The hotel use and the uses allowed within the C3A district would be consistent with and would support uses in the Stadium Village commercial core.

The proposed rezoning from C2 to C3A is supported by the applicable policies of the comprehensive plan for Mixed Use areas, Commercial Corridors such as University Avenue, and transit station areas.

2. *Whether the amendment is in the public interest and is not solely for the interest of a single property owner.*

Rezoning this property from C2 to C3A would be in both the public interest and the interest of the property owner. The rezoning will allow for the orderly redevelopment of a key property in an area where this type of commercial use is encouraged. The rezoning would support the Prospect Park Station, which is located a half-block to the north, and it would help to bring an active use and vitality to a vacant parcel that is located along both a Commercial Corridor and the METRO Green Line.

3. *Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.*

The existing uses within the general area of the property are compatible with the proposed zoning classification. Most of the uses along University Avenue SE are non-residential, including a variety of offices, restaurants, institutional uses, and a clinic. The area south of the subject site mostly consists of medium-density residential structures. The proposed rezoning from C2 to C3A would allow for uses on the subject site that are compatible with the neighboring residential and nonresidential uses. C3A is supportive of high-density residential and neighborhood-scale retail sales and services.

The zoning classifications of surrounding properties are also compatible with the proposed C3A zoning classification. There is a parcel with C3A zoning a half-block to the west of the subject site. There are also a variety of other zoning districts in the area that allow for more intense uses than the proposed C3A zoning. One block to the east of the site, there is a parcel with II Light Industrial District zoning. Other surrounding zoning districts include C1, C2, and high-density residential zoning (OR2 and R4).

4. *Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.*

Reasonable uses are allowed under the current C2 zoning. However, C2 is less compatible with the surrounding area compared to the C3A zoning with the future land use guidance for the site. City policies support mixed use development and destinations in this location, such as conference facilities. The proposed C3A zoning would not result in a significant change in the number of uses permitted or conditional for the property. However, it would prohibit automobile services uses, which is appropriate for this location and is further supported by site's location within the PO Overlay District. Staff has included an attachment which further details the differences between the existing and proposed zoning classification for the property.

5. *Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property.*

There has been a change in the character and trend of development in the area of the properties in question since the property was placed in its present zoning classification. The subject parcel has been zoned C2 since 1999, as part of a citywide rezoning study. Prior to that time, the parcel belonged to the B3-3 Community Retail District. There have been significant, ongoing changes in the area over the past 15 years due to the growth in the student housing market, the expansion of University of Minnesota facilities, and the corresponding development on the anticipated Central Corridor LRT route. The opening of the Green Line as of summer 2014 brought a fixed transit line to the University Avenue Corridor that is now adjacent to the subject site.

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to increase the maximum height of a building from 4 stories/56 feet to 5 stories/64 feet, 8 inches in the C3A Community Activity Center District based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The maximum allowed height of a building in the C3A Community Activity Center District is 4 stories or 56 feet, whichever is less. The applicant is proposing a building that is 5 stories, or 64 feet, 8 inches, exceeding the district maximum by one story, or approximately nine feet. There is a mixture of building heights in the vicinity, including a nine-story building across the street. The applicant states that the building will conform with all applicable building and life safety codes. Staff does not believe that allowing a new, five-story structure would be detrimental to or endanger the public health, safety, comfort, or general welfare.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The property is located in a developed area with a mix of building heights and multi-family residential uses, businesses, and commercial recreation and entertainment uses. The subject site is located along a transit corridor, where a mix of uses and high-density developments are desired. It is also located across the street from the Prospect Park Station on the METRO Green Line, where City policies encourage dense development. The subject site is also located approximately ten feet below the natural grade along the south property line along Williams Avenue SE, which minimizes the potential impact on the residential properties to the south. Allowing additional height would not be injurious to the use and enjoyment of other property in the vicinity, nor should it impede possible future development.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The site would be accessed via one curb cut off of University Avenue SE. The applicant has prepared a comprehensive utility and drainage plan for the subject site. The Public Works Department has reviewed the preliminary plan and will review the final plan for compliance with standards related to access, circulation, drainage, and sewer/water connections. The applicant is aware that all plans are expected to comply with all applicable procedures and required modifications for the duration of the development. Increasing the height of the proposed building will not have an impact on utilities, access roads, or drainage.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Increasing the height of the proposed building should have no impact on traffic congestion in the public streets. The applicant is proposing to meet the minimum parking requirements for the site, which is based on the size of the use and the number of guest rooms. The applicant is proposing 37 off-street parking spaces and 33 are required by the code. In addition, the site is located across the street from the Prospect Park Station stop on the METRO Green Line and is located in close proximity to multiple bus lines.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The site is located in an area designated as Mixed Use in the future land use map, and along a Commercial Corridor (University Avenue SE). The development is consistent with the applicable policies of the comprehensive plan, as listed in finding #1 of the rezoning analysis.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved, the proposal will comply with all provisions of the C3A Community Activity Center district.

Additional Standards to Increase Maximum Height

In addition to the conditional use permit standards, the Planning Commission shall consider, but not be limited to, the following [factors](#) when determining the maximum height of principal structures in commercial districts:

- I. *Access to light and air of surrounding properties.*

The development would be expected to have some impacts on the amount of light and air on the adjacent property to the west, which is a two-story office building. The proposed building would be five stories, which is three stories taller than the existing building to the west. The adjacent building

is located approximately 2.5 feet from the subject site's west property line. The proposed building would be set back approximately 7 feet-8 inches from the west property line, so there would be approximately ten feet between the proposed building and the adjacent commercial building to the west. It should be noted that the adjacent office building does not have any windows along its east wall. The development would have minimal impacts on the north and south sides of the property, which are adjacent to University Avenue SE and Williams Avenue SE, respectively. The adjacent property to the east is a two-story commercial building that is 33 feet from the proposed building at the nearest point.

2. *Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

The site in question is located approximately ten feet below the grade of the residential properties on the opposite side of Williams Avenue SE. Approving the conditional use permit for height would not result in substantial shadowing effects on nearby residential properties.

The applicant has submitted a shadowing study that demonstrates the proposed development's impacts on nearby properties during the winter, spring and summer at 9 a.m., noon, and 5 p.m. in each scenario. The shadow study indicates that there would be minimal shadowing cast on the residential properties to the south in all scenarios. The study does indicate some impacts on University Avenue SE at noon and at 5 p.m. during the winter months, but there are no residential uses in this area. There are no significant public spaces or existing solar energy systems in the immediate vicinity that would be affected by the development.

3. *The scale and character of surrounding uses.*

The building heights in the surrounding area range between one and nine stories, and there are several commercial, high-density residential and commercial recreation uses in the immediate area. Staff believes that the proposal is compatible with the scale and character of other buildings in the area.

4. *Preservation of views of landmark buildings, significant open spaces or water bodies.*

The proposed development will not block views of landmark buildings, significant open spaces, or bodies of water.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application to reduce the minimum interior side yard requirement adjacent to the west property line from 13 feet to 7 feet, 8 inches based on the following [findings](#):

I. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is seeking a variance to reduce the interior side yard setback from 13 feet to 7 feet, 8 inches. The minimum building setback of 13 feet along the west property line is triggered by the adjacent office residence district, as well as by the hotel windows facing the side yard. Commercially-zoned lots with side lot lines abutting an office residence district or with hotel windows facing the side lot line are required to provide a minimum yard equal to five feet plus two feet for every story above the first. Since there are four stories above the first story, $5+2(4) = 13$; the minimum side yard requirement is thirteen feet for both the east and west property lines.

The site is located along a Commercial Corridor and is located in an area that is designated as Mixed Use in the future land use map. The applicant's proposal balances the policies that support increased commercial activity on the site with the need to provide off-street parking and access for the proposed use on the site. The applicant states that the site's triangular shape creates a practical difficulty in complying with the ordinance. The proposed building has been placed along the north and west sides of the property in order to create access off of University Avenue SE using the existing curb cut in this location. The location of the proposed building would allow the building to be located within eight feet of the front property line on University Avenue SE, as called for in City policy, while also screening the on-site parking located in the south-eastern half of the site. The irregular shape of the lot makes it challenging to comply with a 13-foot interior side yard setback while providing adequate access, off-street parking, and increased commercial activity as encouraged in the City's policies and ordinances. CPED finds that practical difficulties exist in complying with the ordinance because of the circumstances unique to the property.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The request to allow a reduced setback along the west property line is reasonable and is in keeping with the spirit and intent of the ordinance and comprehensive plan. The intent of having yard controls is to provide for the orderly development and use of land, and to minimize conflicts between adjacent land uses by regulating the dimension and use of yards by providing adequate light, air, open space, and separation of uses.

The proposed structure will not diminish light, air, or open space for the adjacent properties. The building to the west is a commercial property with no window openings facing the west building wall of the proposed building. Even so, there would be more than ten feet between the adjacent commercial building and the proposed building. Staff finds that the applicant is proposing to use the property in a reasonable manner that would be in keeping with the spirit and intent of the ordinance and comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting the variance would not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The applicant has demonstrated that the development, as proposed, would provide sufficient light and air for the adjacent uses while maintaining a mix of uses that is characteristic of the site and surrounding properties. The proposed setback variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application to reduce the minimum required number of off-street loading spaces from two large loading spaces to one based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is requesting a variance to reduce the number of required loading spaces from two large loading spaces (12 feet by 50 feet) to one large loading space. The loading requirement is based on the size of the use (75,398 square feet of gross floor area) and the loading requirement for that use. The intent of the ordinance is to provide adequate off-street loading areas for a hotel of this size in order to minimize congestion in the public streets. However, the proposed hotel would only serve a complimentary breakfast buffet and would not include a restaurant, bar, or banquet room. The restaurant's loading needs are therefore less intense than most other hotels of the equivalent size. Meanwhile, the applicant is providing 37 off-street parking spaces for 117 rooms. The minimum requirement is 33 spaces. The applicant would likely need to request a variance of the minimum vehicle parking requirement in order to accommodate the minimum loading requirement per the code. Due to the limitations in the size of the subject site, practical difficulties exist in complying with the ordinance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant's loading needs are limited to food service box trucks, garbage trucks, and delivery trucks for UPS and FedEx. As the applicant has stated, the hotel would not have a full-service restaurant or banquet area, therefore one large loading space should accommodate their delivery needs in keeping with the intent of the ordinance. The applicant is proposing to use the property in a reasonable manner that would be in keeping with the spirit and intent of the ordinance and comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The variance to reduce the required number of loading spaces from two to one will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The hotel would be able to support its truck deliveries through one large loading space without having a detrimental effect on the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application to increase the maximum allowed front building setback on Williams Ave SE from 8 feet to 46 feet or more along the south property line in the PO Pedestrian Oriented Overlay District based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The maximum allowed distance between the front building wall and the property line in the PO Pedestrian Oriented Overlay District is eight feet. The intent of the ordinance is to encourage a pedestrian-friendly urban environment through the establishment of active building walls along public streets and sidewalks. The subject site has two front property lines; one front property line is adjacent to University Avenue SE and the other is adjacent to Williams Avenue SE. The proposed building would be constructed adjacent to the front property line along University Avenue SE, but it would be approximately 46 feet, 9 inches at the closest point between the building and the south

property line on Williams Avenue SE. The property line along Williams Avenue SE is approximately ten feet higher in elevation relative to the rest of the site, so the first of the building would be facing a steep hill or retaining wall if it were constructed within eight feet of the property line on Williams Avenue SE. The site is considered a “through” lot with two street frontages and the applicant is attempting to balance this requirement with the requirement to provide sufficient on-site parking for the use as well as provide a practical amount of separation between the proposed use and the residential uses to the south. As a result of balancing these policies with the site’s constraints, practical difficulties exist in complying with the requirement that the building wall be within eight feet of all front lot lines in the PO district. These circumstances were not created by those with an interest in the property.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that would be in keeping with the spirit and intent of the ordinance and comprehensive plan. The ordinance exists to establish active street frontages in new development. The subject site belongs to the PO district because of its presence along University Avenue SE, a Commercial Corridor; its frontage along Williams Avenue SE is incidental to this designation. The applicant is proposing to meet the requirements of the ordinance along University Avenue SE. Meanwhile, it would be difficult to meet the maximum setback along Williams Avenue SE due to the steep grade change. In addition, constructing the building adjacent to the south property line would be out of character for the site relative to the neighboring residential properties, which typically have setbacks greater than eight feet along Williams Avenue SE since this side of the property is primarily residential in character.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting the variance would not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The applicant has demonstrated that the development would establish an active street frontage on University Avenue SE, a Commercial Corridor, while the variance for the Williams Avenue SE will not have a negative or noticeable impact on the character of this side of the property.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application to increase the maximum allowed parking lot frontage from 60 feet to approximately 112 feet along Williams Ave SE in the PO Pedestrian Oriented Overlay District based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The subject site has street frontage on both University Avenue SE and Williams Avenue SE. The PO district limits the amount of exposed parking lot frontage along any given public street to 60 feet or less. The applicant is proposing to have parking lot frontage along the entirety of the south property line, which borders Williams Avenue SE. This would result in approximately 52 feet more of parking lot frontage than what is allowed by the ordinance. The commercial buildings on the same block use are oriented toward University Avenue SE and are generally located adjacent to the public right-of-

way along this corridor. Meanwhile, the elevated grade of Williams Avenue SE relative to the subject site and neighboring properties makes this side of the property much less desirable and feasible for building frontage. The applicant is requesting a variance to increase the parking lot frontage from 60 to 112 along the south property line due to the unique circumstances of the lot having two street frontages, one of which is located approximately ten feet higher than the subject site, which limits potential uses on this side of the property. Practical difficulties exist in complying with the ordinance, which were not created by the applicant and are not based on economic considerations, alone.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The intent of the ordinance's restriction on parking lot frontage is to encourage the pedestrian character of pedestrian-oriented commercial areas, and to promote street life and activity. It would not be practical to require the applicant to limit the parking lot frontage on both University Avenue SE, which they have done, in addition to Williams Avenue SE, as the Williams Avenue SE frontage would not function as an active commercial street that would serve the purposes of the PO overlay district; it is elevated ten feet higher than the natural grade of the subject site and it is residential in nature. The applicant is proposing a building which would maximize its presence on University Avenue SE, which is a Commercial Corridor, while Williams Avenue is a residential street. Allowing the parking lot frontage to be 112 feet wide along Williams Avenue would be reasonable in order to fulfill the hotel's minimum parking requirement while limiting the negative impacts of the surface parking area through the raised elevation, six-foot decorative fence, and landscaping on the parking area that is exposed. The property owner is proposing to use the site in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance to increase the maximum allowed parking lot exposure from 60 feet to 112 feet would not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. This standard would be met on University Avenue SE, which would meet the intent of the ordinance in this area. The parking area will not be visible at ground level from Williams Avenue SE. Therefore, granting the variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application to reduce the minimum window requirement below 40 percent along Williams Avenue SE in the PO Pedestrian Oriented Overlay District based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The PO Pedestrian Oriented Overlay District requires that all building walls that face a public street or sidewalk contain no less than 40 percent windows on the ground floor. The ground floor building walls that face University Avenue SE and Williams Avenue SE are subject to this requirement. Fifty-four percent of the proposed University Avenue SE first floor elevation would be windows, while

ten percent of the Williams Avenue NE elevation would be windows. A variance is needed to allow the first floor facing Williams Avenue SE to contain less than 40 percent window openings. The applicant's floor plans show that the southernmost side of the building would include stairways, a trash enclosure, a food prep area, and the corners of room facings the east parking area. The applicant is proposing to exceed the minimum window requirement on all other sides and elevations based on the site plan review standards and PO Overlay District requirements. The tradeoff is that the Williams Avenue SE elevation would contain the lowest proportion of windows so that this side of the building can contain stairways, trash rooms, and food prep areas. Because the site is located on two street frontages, but only one street is at-grade with the building, the PO district requirements poses practical difficulties for the development. However, staff finds that it would be practical to increase the proportion of windows on this elevation above 10 percent.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The request to allow a reduced window requirement along the Williams Avenue SE elevation below 40 percent is reasonable and is in keeping with the spirit and intent of the ordinance and comprehensive plan. The intent of requiring a minimum percentage of windows on the first floor façade of nonresidential uses facing a public street is to facilitate pedestrian access, create visual interest, and maximize natural surveillance and visibility in pedestrian-oriented areas. The applicant is proposing to provide a fully active building wall along University Avenue SE, with windows that comply with the minimum requirements on this façade. The proposed design of the University Avenue SE elevation offsets the potential negative impacts of the lack of eye-level windows along the south elevation. Furthermore, the lack of windows along the south side of the building will not be noticeable from Williams Avenue SE, which is approximately ten feet above the grade of the site. However, staff finds that it would be practical to require an increase in the proportion of windows on this elevation above 10 percent.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

As conditioned, granting the variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The applicant is proposing to exceed the minimum window requirement on all other elevations, including University Avenue SE, which is effectively the primary building wall facing the Commercial Corridor. Therefore, granting the variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application to increase the maximum area of a projecting sign from 48 square feet to 87.5 square feet based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant states that a projecting sign exceeding the allowed 48 square feet is necessary in order to direct guests, who may be unfamiliar with the area, to the hotel. In addition, the applicant states

that the hotel name is very long and therefore requires the additional area in order to make the name visible. A projecting sign in the C3A district is allowed to have 48 square feet of signage on each side, and the applicant is proposing 87.5 square feet. Staff does not find that a practical difficulty exists in meeting the maximum size allocation for a projecting sign. The circumstances of the variance to increase the proposed projecting sign's area to accommodate the full name of the hotel at a large scale are not unique to the parcel and have been created by the applicant.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is seeking a variance to increase the maximum permitted area of a projecting sign from 48 to 87.5 square feet. The regulations governing on-premise signs were established to allow effective signage appropriate to the planned character of each zoning district, to promote an attractive environment by minimizing visual clutter and confusion, to minimize adverse effects on nearby properties, and to protect the public health, safety, and welfare. Staff believes that the proposed projecting sign of 3 feet-6 inches by 25 feet, and 50 feet 8 inches above grade, will diminish the pedestrian experience in the area by increasing visual clutter. The subject property allows for a total signage allocation of 193.5 square feet in area along University Avenue SE, and the applicant is proposing one other sign for the site. Staff finds that a projecting sign of 48 square feet on each side, as allowed by the ordinance, would allow for effective identification.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed signage may alter the essential character and be injurious to the use or enjoyment of property in the vicinity. Staff believes that the proposed projecting sign, which exceeds the permitted area of a projecting sign by 39.5 square feet, would diminish the pedestrian experience in the area by increasing visual clutter and would have adverse effects on nearby properties, which include residential buildings on the same block. Granting the sign variance would not likely be detrimental to health, safety or welfare of the general public.

In addition, the following findings must be addressed if applying for a SIGN VARIANCE:

1. *The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.*

The proposed projecting sign is proposed along University Avenue SE. The regulations governing on-premise signs were established to allow effective signage appropriate to the planned character of each zoning district, to promote an attractive environment by minimizing visual clutter and confusion, to minimize adverse effects on nearby property, and to protect the public health, safety, and welfare. Staff finds that the proposed area of the projecting sign would lead to sign clutter. Signage is already allowed on three sides of the building. Staff believes that the proposed sign would be in keeping with the purpose of the zoning district if it were designed to not exceed 48 square feet in area on each side.

2. *The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.*

It is staff's opinion that the signs will relate in shape, material, color, illumination and character of the building on the property. The signs will be professionally installed with quality materials. The proposed sign would be internally lit with LED and red lettering to be compatible with the dark

black stucco and light brick on the façade. However, the sign could be redesigned to comply with the size requirements.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – *Requires alternative compliance and a variance*

- The building reinforces the street wall along University Avenue SE, facilitates pedestrian access, and maximizes natural surveillance. The building entrances at street level can be accessed by hotel guests and employees. The building is oriented so that the principal entrance faces University Avenue SE.
- The first floor of the building is adjacent to the front lot line on University Avenue SE, but more than 46 feet from the front lot line on Williams Avenue SE, which requires alternative compliance.
- The area between the building and curb on University Avenue SE contains a 26-foot-wide public walkway and landscaping. The area between the building and front lot line on Williams Avenue SE contains a parking and loading area. The lack of amenities provided between the building and south property line requires alternative compliance.
- The on-site parking serving the site is not entirely located to the rear or interior of the site, within the building, or entirely below grade, as a portion of the parking area faces the front property line along Williams Avenue SE. The parking area serving the site is a surface parking lot which occupies approximately 60 percent of the site on its east and south sides, which has frontage on Williams Avenue SE. The location of the parking lot requires alternative compliance.
- The applicant is proposing a variety of materials, windows, and recesses in the building wall to break the façades into smaller sections, provide architectural detail, and increase the security of adjacent outdoor spaces.
- There are no areas of the development that are over 25 feet in length and void of windows, entries, recesses or projects, or other architectural elements.
- The primary exterior materials of the building would be brick, stucco, metal, and glass. The sides and rear of the building are similar to and compatible with the front of the building. Plain face concrete block is not proposed as an exterior material.
- The windows are vertical in nature and are evenly distributed along the building walls.
- Forty percent of the walls on the ground floor of non-residential uses facing a public street or sidewalk are required to be clear or lightly tinted windows as measured between two and ten feet above the adjacent grade, and located no more than four feet above the adjacent grade. The minimum window requirement applies to the building facades facing University Avenue SE (north) and Williams Avenue SE (south). The east elevation facing the on-site parking is subject to a 30 percent minimum window requirement. As shown in **Table I**, the north and east elevations meet or exceed their respective minimum window requirements, and all elevations exceed the ten percent requirement above the first floor. However, the south elevation facing Williams Avenue SE contains 10 percent windows, which requires alternative compliance from the 30 percent requirement. In addition, the south elevation's first floor does not meet the 40 percent minimum requirement for the PO district and requires a variance, as described earlier in the report.

- The ground levels of buildings are required to contain active functions for at least 70 percent of the linear frontage facing a public street or sidewalk. In other words, parking, loading, storage, and mechanical equipment rooms cannot exceed 30 percent. This requirement applies to University Avenue SE and Williams Avenue SE. The University Avenue SE frontage contains 100 percent active functions, and the Williams Avenue SE frontage contains 84 percent active functions. Both ground level frontages meet this requirement.
- The pitch of the building’s roof line is flat and matches that of other commercial properties in the surrounding area.

Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
First floor				
North elevation: University Ave SE	40% minimum	413 sq. ft.	54%	559 sq. ft.
South elevation: Williams Ave SE	40% minimum	398 sq. ft.	10%	104 sq. ft.
East elevation: facing parking area	30% minimum	413 sq. ft.	32%	446 sq. ft.
Second floor				
North elevation: University Ave SE	10% minimum	127 sq. ft.	39%	500 sq. ft.
South elevation: Williams Ave SE	10% minimum	132 sq. ft.	12%	161 sq. ft.
East elevation: facing parking area	10% minimum	182 sq. ft.	16%	295 sq. ft.
Third, fourth, and fifth floors				
North elevation: University Ave SE	10% minimum	127 sq. ft.	21%	265sq. ft.
South elevation: Williams Ave SE	10% minimum	132 sq. ft.	12%	161 sq. ft.
East elevation: facing parking area	10% minimum	182 sq. ft.	16%	295 sq. ft.

Access and Circulation – Meets requirements

- The principal entrance is directly connected to the public sidewalk along University Avenue SE. A walkway is proposed along the east and south sides of the building to connect the on-site parking to the principal entrance.
- No transit shelters are proposed as part of this development.
- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic.
- There is no maximum impervious surface requirement in the C3A district. The site plan would reduce the impervious surface area on the site from 34,418 square feet (91 percent of the site) to 30,828 square feet (81 percent of the site).

Landscaping and Screening – Requires alternative compliance

- The composition and location of landscaped areas complement the scale of the development and its surroundings.
- The zoning code requires that at least 20 percent of the site not occupied by buildings be landscaped. The lot area of the site is 37,966 square feet and the building footprint is 15,457 square feet. The difference is 22,509 square feet, and 20 percent of this number is 4,502 square feet. The applicant is proposing approximately 7,138 square feet of landscaping on the site, or approximately 32 percent of the site not occupied by the building, which exceeds site plan review minimum standards.
- The zoning code requires that the site contain at least one canopy tree per 500 square feet of required green space and at least 1 shrub for each 100 square feet of required green space. The tree requirement for this site is 10 and the shrub requirement is 46. The applicant is providing a total of three new canopy trees and 156 shrubs on-site, as well as a variety of perennials. The applicant is also proposing six new canopy trees and other landscape materials in the right-of-

way along University Avenue SE. However the applicant is also proposing to remove several Honey Locust and Elm trees that are currently located along the south property line. The applicant would need to provide seven additional canopy trees on-site to comply with the ordinance, so this item requires alternative compliance.

- All areas not occupied by buildings, parking, and loading areas contain landscaping.
- The site contains a surface parking area with 37 spaces. The parking lot frontage along the south property line (Williams Avenue SE) is required to contain a landscaped yard of at least seven feet in width. The applicant is proposing to provide a landscaped yard that would range between zero and 18 feet in this location. Because the landscaped yard does not total seven feet or more in width along the south parking lot frontage, alternative compliance is requested.
- The zoning code requires that a six-foot screen that is at least 95 percent opaque be provided between parking areas and adjacent residential uses, and a three foot tall screen that is 60 percent opaque be located between the parking area and an adjacent street. A six-foot screen is required between the parking area and the residential uses to the south. The applicant is proposing a six-foot tall decorative aluminum fence along the entire length of the south property line, which would sit atop a retaining wall. The combination of the change in topography between the parking area and the public street, the landscape materials in the required yard, and the fence would create an effective screen between the parking area and adjacent residential uses to the south.
- The corners of the surface parking area contain landscaping.
- The parking area contains 37 vehicle parking spaces and is subject to the requirement that no parking space be located more than 50 feet from an on-site deciduous tree. The development does not meet this requirement and requires alternative compliance.
- Surface parking areas are required to have no less than one tree per each 25 linear feet of parking or loading area frontage. This requirement applies to the south parking lot frontage, which would be required to have five canopy trees and three are provided. Alternative compliance is requested for the linear tree requirement.

Table 2. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	37,966 sq. ft.
Building footprint	--	15,457 sq. ft.
Remaining Lot Area	--	22,509 sq. ft.
Landscaping Required	4,502 sq. ft.	7,138 sq. ft.
Canopy Trees (1: 500 sq. ft.)	10 trees	3 trees
Shrubs (1: 100 sq. ft.)	46 shrubs	156 shrubs

Additional Standards – Meets requirements

- The parking area will be defined by six-inch continuous concrete curbing. The applicant will be required to submit plans for approval by Public Works prior to receiving building permits to ensure that the site complies with the City’s stormwater management standards.
- The proposed building would not block views of important elements of the city, and would be located and arranged to minimize shadowing on public spaces and adjacent properties and to minimize the generation of wind currents at ground level.
- The site plan complies with crime prevention design elements as the primary building entrance is located adjacent to the front property line and there are windows where people can see in and

out along all levels of the building. The applicant has not provided a lighting plan, but this will be required prior to the issuance of building permits.

- There are no existing buildings on the site and the site is not located within an historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

A hotel is a *permitted* use in the C3A District.

Off-street Parking and Loading – Requires variance(s)

- The applicant’s proposed off-street parking plan is in compliance with the off-street parking minimum and maximum requirement for vehicles (see **Table 3** below). The minimum vehicle parking requirement for a hotel is one space per three guest rooms, plus parking equal to 10 percent of the capacity of persons for affiliated uses such as dining or meeting rooms. The maximum vehicle parking is one space per guest room plus parking equal to 10 percent of the capacity of persons for affiliated uses such as dining and meeting rooms. As the site is within the PO overlay district, the minimum and maximum parking requirement is reduced by 25 percent.
- The proposed hotel project would have 117 guest rooms, which would require a minimum of 43 spaces – 39 for the hotel rooms and 4 for the affiliated uses. The PO reduction brings the minimum requirement down to 33 spaces. The maximum number of off-street parking spaces allowed for a 117-guest room hotel is 121 off-street parking spaces, which includes the affiliated uses. The PO reduction brings the maximum down to 91 spaces.
- The applicant is proposing 37 off-street vehicle parking spaces, which is within the parking requirement for the site. The applicant is proposing 25 standard parking spaces, two accessible spaces, ten compact spaces, and one large loading space.
- Per Table 541-3, a hotel use does not have a bicycle parking requirement. However, the applicant is proposing to provide bike parking for eight bikes in the public right-of-way, approximately 20 feet from the principal hotel entrance.
- The applicant’s proposal does not meet the Minneapolis zoning code’s loading requirements and is seeking a variance. Their proposal is evaluated in the variance section above.

Table 3. Vehicle Parking Requirements Per Use (Chapter 541)

	Minimum Parking Requirement	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Applicable Reductions	Total Maximum Requirement	Proposed
Hotel	43	10 (PO Overlay 25% reduction)	33	121	30 (PO Overlay 25% reduction)	91	37

Table 4. Bicycle Parking and Loading Requirements (Chapter 541)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
Hotel	--	--	--	8	2 large	1 large

Building Bulk and Height – Requires variance(s)

- There is no minimum lot area requirement for a hotel in the C3A zoning district.
- The gross floor area of the five-story building is 75,398 square feet. The applicant is not requesting a variance of the maximum floor area ratio requirement.

- The applicant is requesting a conditional use permit to allow for an increase in height from 4 stories/56 feet to 5 stories/64 feet, 8 inches.

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	37,966 sq. ft. / 0.87 acres
Gross Floor Area (GFA)	--	75,398 sq. ft.
Maximum Floor Area Ratio (GFA/Lot Area)	2.7	2.0
Maximum Building Height	4 stories or 56 feet, whichever is less	5 stories/64 feet, 8 inches

Residential Lot Requirements – Not applicable

- The proposed development is a nonresidential use and is not subject to residential lot requirements.

Yard Requirements – Requires variance(s)

- In general, uses in commercial districts are not subject to minimum yard requirements. However, zoning lots that are adjacent to residential or office residence uses or districts are subject to a setback of 5 feet plus 2 feet for every floor above the first floor – in other words, $5+2x$, where x = the number of floors above the first floor. In this case, the proposed hotel would be adjacent to the OR2 High Density Office Residence District to the west, and would contain hotel room windows facing the east property line. Since the proposed building has a total of four stories above the first floor, $x=4$, and $5+2x = 13$. The required setback along the west and east property lines is 13 feet. The proposed building would meet this setback on the east side but would require a variance on the west side, in order to reduce the setback from 13 feet to 7 feet, 8 inches.
- The subject site is located in the PO overlay district, which requires that buildings be within eight feet of any front property lines. The proposed building would be adjacent to University Avenue SE but would be located more than 64 feet from the front property line along Williams Avenue SE. Therefore, the front yard requirement along the south property line requires a variance, as detailed in the previous section. The property is not adjacent to any residential uses or districts and therefore there are no required building setbacks. The site must comply with required landscaped yards.

Table 7. Minimum Yard Requirements

	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front (North)	0 ft.	8 ft. maximum in PO district	No less than 8 ft.	6 in.
Front (South)	0 ft.	8 ft. maximum in PO district	No less than 8 ft.	64 ft.-9 in.
Interior Side (West)	13 ft.	--	13 ft. minimum	7 ft.-8 in.
Interior Side (East)	13 ft.	--	13 ft. minimum	33 ft.

Signs – Requires variance(s)

- Signs are subject to Chapter [543](#) of the Zoning Code.
- In the C3A zoning district, buildings are allowed to have 1.5 square feet of signage for each linear foot of the primary building wall if there is no freestanding sign on the same zoning lot.

The primary building wall along University Avenue SE is 129 feet long, so the north wall facing University is allowed 193.5 square feet of total sign area. The applicant is proposing 167.5 square feet of signage on the wall facing University Avenue between the attached sign and projecting sign.

- A variance is required for the proposed area of the projecting sign on University Avenue SE. The zoning code permits projecting signs in the C3A district to have a maximum of 48 square feet in area and the applicant is proposing a projecting sign of 87.5 square feet in area. This request requires a variance, which has been evaluated earlier in this report.
- According to the applicant, both signs would be internally lit with LED to meet the lighting requirements in Chapter 543.
- A projecting sign may not extend outward from the building more than four feet. The proposed projecting sign extends 3.5 feet from the building, which meets the zoning code requirements.

Table 8. Signage Summary

	Number Allowed Per Zoning Lot	Number	Maximum Area Per Sign	Proposed Area	Maximum Allowed Height	Proposed Height
Projecting (on University)	No limit within size allocation	1	48 sq. ft.	87.5 sq. ft.	No limit	50 ft. 8 in.
Attached (above canopy, facing University)	No limit within size allocation	1	180 sq. ft.	80 sq. ft.	No limit	14 ft. 3 in.
Total		2		167.5		

Dumpster Screening – Meets requirements

- There will be trash and recycling rooms located within the building on the first floor.

Screening of Mechanical Equipment – Meets requirements with Conditions of Approval

- All mechanical equipment is subject to the screening requirements of Chapter 535 and district requirements.
- The rooftop mechanical equipment would be screened with a six-foot high metal louver fence on all four sides.
- There is a transformer and back-up generator located on the southeast side of the building between the walkway and parking lot. The applicant has indicated that there would be 1.5-foot tall perennials around the mechanical equipment in this location, but has not indicated the height of the transformer. Staff recommends requiring that the applicant label the height of the transformer and generator on the site plan and that the applicant shall provide a year-round screen for this equipment.

Lighting – Meets requirements

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code, including:

535.590. Lighting. (a) *In general.* No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property by any person of normal sensitivities, or otherwise as to create a public nuisance.

(b) *Specific standards.* All uses shall comply with the following standards except as otherwise provided in this section:

- (1) Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.
- (2) Lighting fixtures shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use.
- (3) Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.
- (4) Lighting shall not create a hazard for vehicular or pedestrian traffic.
- (5) Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.

Impervious Surface Area – *Not applicable*

- The C3A zoning district does not have a maximum impervious surface requirement.

Specific Development Standards – *Meets requirements*

- The applicant's proposal meets the specific development standards for hotels in Chapter 536. Chapter 536 requires that hotels outside of downtown districts provide a minimum of 50 guest sleeping rooms. The applicant is proposing 117 guest-sleeping rooms.

PO Pedestrian Oriented Overlay District Standards – *Requires variance(s)*

- The proposal requires three variances of the PO Pedestrian Oriented Overlay District standards, as described in detail in the previous sections. The proposal is otherwise in compliance with the PO district standards.

UA University Area Overlay District Standards – *Not applicable*

- The University Area (UA) Overlay District standards are not applicable for the proposed commercial recreation use. The UA overlay requirements pertain to residential development.

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth.*

The Minneapolis Plan for Sustainable Growth identifies the site as Mixed Use on the future land use map. The proposed development is consistent with the principles and policies outlined in the comprehensive plan, as described in finding #1 of the Rezoning analysis. As conditioned, the development supports the following urban design principles and policies in the comprehensive plan:

Urban Design Policy 10.9: Support urban design standards that emphasize traditional urban form with pedestrian scale design features at the street level in mixed-use and transit-oriented development.

- 10.9.2 Promote building and site design that delineates between public and private spaces.
- 10.9.4 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

Urban Design Policy 10.10: Support urban design standards that emphasize a traditional urban form in commercial areas.

- 10.10.1 Enhance the city's commercial districts by encouraging appropriate building forms and designs, historic preservation objectives, site plans that enhance the pedestrian environment, and by maintaining high quality four season public spaces and infrastructure.
- 10.10.2 Identify commercial areas in the city that reflect, or used to reflect, traditional urban form and develop appropriate standards and preservation or restoration objectives for these areas.
- 10.10.3 Enhance pedestrian and transit-oriented commercial districts with street furniture, street plantings, plazas, water features, public art and improved transit and pedestrian and bicycle amenities.
- 10.10.4 Orient new buildings to the street to foster safe and successful commercial nodes and corridors.
- 10.10.6 Require storefront window transparency to assure both natural surveillance and an inviting pedestrian experience.

Urban Design Policy 10.11: Seek new commercial development that is attractive, functional and adds value to the physical environment.

- 10.11.1 Require the location of new commercial development (office, research and development, and related light manufacturing) to take advantage of locational amenities and coexist with neighbors in mixed-use environments.
- 10.11.2 Ensure that new commercial developments maximize compatibility with surrounding neighborhoods.
- 10.11.4 Maximize the year round potential for public transit, biking, and walking in new developments.

Urban Design Policy 10.15: Wherever possible, restore and maintain the traditional street and sidewalk grid as part of new developments.

- 10.15.3 Reduce street widths for safe and convenient pedestrian crossing by adding medians, boulevards, or bump-outs.
- 10.15.4 Improve access management and way-finding to and from all streets, sidewalks, and other pedestrian connections.

Urban Design Policy 10.16: Design streets and sidewalks to ensure safety, pedestrian comfort and aesthetic appeal.

- 10.16.2 Provide streetscape amenities, including street furniture, trees, and landscaping, that buffer pedestrians from auto traffic, parking areas, and winter elements.

- 10.16.3 Integrate placement of street furniture and fixtures, including landscaping and lighting, to serve a function and not obstruct pedestrian pathways and pedestrian flows.
- 10.16.4 Employ pedestrian-friendly features along streets, including street trees and landscaped boulevards that add interest and beauty while also managing storm water, appropriate lane widths, raised intersections, and high-visibility crosswalks.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

- 10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.
- 10.18.2 Parking lots should maintain the existing street face in developed areas and establish them in undeveloped areas through the use of fencing, walls, landscaping or a combination thereof along property lines.
- 10.18.4 Provide walkways within parking lots in order to guide pedestrians through the site.
- 10.18.6 The ground floor of parking structures should be designed with active uses along the street walls except where frontage is needed to provide for vehicular and pedestrian access.
- 10.18.17 Minimize the width of ingress and egress lanes along the public right of way in order to provide safe pedestrian access across large driveways.

Urban Design Policy 10.19: Landscaping is encouraged in order to complement the scale of the site and its surroundings, enhance the built environment, create and define public and private spaces, buffer and screen, incorporate crime prevention principles, and provide shade, aesthetic appeal, and environmental benefits.

- 10.19.1 In general, larger, well-placed, contiguous planting areas that create and define public and private spaces shall be preferred to smaller, disconnected areas.
- 10.19.2 Plant and tree types should complement the surrounding area and should include a variety of species throughout the site that include seasonal interest. Species should be indigenous or proven adaptable to the local climate and should not be invasive on native species.
- 10.19.7 Boulevard landscaping and improvements, in accordance with applicable city policies, are encouraged.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The proposed project is consistent with the land use and development guidance outlined in the *Stadium Village University Avenue Station Area Plan (2012)*. Page 127 provides policy guidance for the Prospect Park Station Area:

- Support the redevelopment of this area with high density residential mixed use, with retail primarily fronting on University Avenue
- Encourage a mix of uses that complements those in the Stadium Village commercial core and expands upon the options available.
- Continue to foster development of arts related businesses and destinations around the station area, as well as other destination-type facilities such as museums, libraries, and conference facilities.

The hotel use would support and be consistent with the uses within the Stadium Village commercial core. The proposed site and landscaping plan would allow for a wide public sidewalk with landscaping and pedestrian amenities to promote green infrastructure and enhanced pedestrian connections along the University Avenue corridor, as consistent with the plan's recommendations for public realm improvements. Finally, the hotel use would add to the mix of uses that is called for in the plan in this location.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- The first floor of the building is adjacent to the front lot line on University Avenue SE, but more than 46 feet from the front lot line on Williams Avenue SE, which requires alternative compliance as well as a variance. Staff recommends granting alternative compliance for the front yard setback between the building and Williams Avenue SE. It would not be practical to construct the building within eight feet of the south property line, which is approximately ten feet above the natural grade of the side, so the building would face a retaining wall.
- The area between the building and curb on University Avenue SE contains a 26-foot-wide public walkway and landscaping. The area between the building and front lot line on Williams Avenue SE contains a parking and loading area. The lack of amenities provided between the building and south property line requires alternative compliance. If the Planning Commission grants alternative compliance and the variance for the front building setback along Williams Avenue SE, it would be practical to also grant alternative compliance for this standard. Staff finds that the grade change between the site and the adjacent public street make it difficult to provide amenities between the building and front lot line in this location.
- The on-site parking serving the site is not entirely located to the rear or interior of the site, within the building, or entirely below grade, as a portion of the parking area faces the front property line along Williams Avenue SE. The parking area serving the site is a surface parking lot which occupies approximately 60 percent of the site on its east and south sides, which has frontage on Williams Avenue SE. The location of the parking lot requires alternative compliance. Staff finds that it would be practical to grant alternative compliance for the location of the parking given that the applicant has minimized the visual impact of the surface parking area from University Avenue SE as well as Williams Avenue SE, and as such has met the intent of the ordinance.

- Forty percent of the walls on the ground floor of non-residential uses facing a public street or sidewalk are required to be clear or lightly tinted windows as measured between two and ten feet above the adjacent grade, and located no more than four feet above the adjacent grade. The minimum window requirement applies to the building facades facing University Avenue SE (north) and Williams Avenue SE (south). The east elevation facing the on-site parking is subject to a 30 percent minimum window requirement. As shown in **Table I**, the north and east elevations meet or exceed their respective minimum window requirements, and all elevations exceed the ten percent requirement above the first floor. However, the south elevation facing Williams Avenue SE contains 10 percent windows, which requires alternative compliance from the 30 percent requirement. In addition, the south elevation's first floor does not meet the 40 percent minimum requirement for the PO district and requires a variance, as described earlier in the report. As an alternative, the applicant is proposing a 16-foot long green wall of plantings on this side of the building to offset the impact of the lack of windows. Staff finds that it would be practical to grant alternative compliance for the minimum window requirement on the ground floor facing Williams Avenue SE, as the building would not be visible from ground-level on the public street on Williams Avenue, and the applicant has exceeded the minimum window requirement on all other floors and sides of the building.
- The zoning code requires that the site contain at least one canopy tree per 500 square feet of required green space and at least 1 shrub for each 100 square feet of required green space. The tree requirement for this site is 10 and the shrub requirement is 46. The applicant is providing a total of three new canopy trees and 156 shrubs on-site, as well as a variety of perennials. The applicant is also proposing six new canopy trees and other landscape materials in the right-of-way along University Avenue SE. However the applicant is also proposing to remove several Honey Locust and Elm trees that are currently located along the south property line. As an alternative, the applicant is proposing to install six canopy trees and additional landscaping materials in the adjacent right-of-way. Staff finds that it would practical to grant alternative compliance for the overall canopy tree requirement, provided that the applicant provides no fewer than two additional canopy trees on-site and no less than 177 square feet of additional landscaping. Staff recommends that the City Planning Commission require that the area that is striped adjacent to the angled parking area shall be landscaped, and parking space directly to the north of the generator and transformer shall replaced with a 7 foot by 18 foot tree island.
- The parking area contains 37 vehicle parking spaces and is subject to the requirement that no parking space be located more than 50 feet from an on-site deciduous tree. The development does not meet this requirement and requires alternative compliance. Staff finds that it would be practical to require compliance with this standard. To comply with the standard, staff recommends that the applicant install an on-site canopy tree in the landscaped area along the east side of the property, and another canopy tree in a landscaped island directly to the northeast of the generator and transformer.
- Surface parking areas are required to have no less than one tree per each 25 linear feet of parking or loading area frontage. This requirement applies to the south parking lot frontage, which would be required to have five canopy trees and three are provided. Alternative compliance is requested for the linear tree requirement. Staff finds that it would be practical to grant alternative compliance for this standard, as the grade change and lack of a landscaped yard on the Williams Avenue SE frontage would make it difficult to add additional canopy trees in this location.

FOR REZONINGS ONLY**ZONING PLATE NUMBER. 22**

LEGAL DESCRIPTION. That part of Block 1, Oakhurst, described as follows: Beginning at the Southwesterly corner of Lot 16, Block 1, said Addition, thence Southeasterly along the Southwesterly lines of Lots 16, 15 and 14, Block 1, said Addition a distance of 120 feet, thence Northeasterly parallel with the Northwesterly line of said Block 1, a distance of 105 feet to the Northeasterly line of said Block 1, thence Southeasterly along the Northeasterly line of said Block 1 a distance of 186.3 feet; thence Southeasterly making an angle of 105 degrees, 06 minutes to the right from said last described line a distance of 277.05 feet to the Southwesterly line of said Block 1, said last described point being 97.6 feet Northwesterly measured along the Southwesterly line of said Block 1 from the most Southerly corner thereof, thence Northwesterly, Northerly and Northeasterly along the Southwesterly, Westerly and Northwesterly lines of Block to the point of beginning, except that part platted as the Travel Company Addition. The Northwesterly 1 foot of the following described tract of land, said 1 foot being measured at right angles to the Northwesterly line of said tract of land; that part of Block 1 in Oakhurst and of Lot 27 in Auditor's Subdivision No. 21, Hennepin Country, Minnesota, Described as follows; Commencing at a point in the Southwesterly line of University Avenue S.E. at a point in the Southwesterly line of University Avenue S.E., as laid out and opened in the City of Minneapolis, distant 56.4 feet Northwesterly from the intersection of said Southwesterly line of University Avenue with the Southeasterly line of Lot 27, in Auditor's Subdivision No.21, Hennepin County, Minnesota, thence Southwesterly at right angles to said University Avenue, 150 feet, said point being the Southeasterly or most Southerly corner of that certain tract of land conveyed to Katherine Huber by deed in Book 1104 of Deeds, page 207; thence Northwesterly making an angle of 92 degrees 37 minutes to the right from said last described course, along the Southwesterly line of said Huber Tract, 94.57 feet more or less, to a point 2 feet 8 inches Southeasterly along the Southwesterly line of said Huber Tract from the Northwesterly line of aforesaid Lot 27, said point being the actual point of beginning for the tract of land to be described, thence, continuing Northwesterly along the Southwesterly line of said Huber Tract to a point 2-1/2 feet Southeasterly from the Northwesterly line of said Lot 27, thence Southwesterly parallel with the Northwesterly line of Lot 27, a distance of 56.7 feet to a point in the Northeasterly line of that certain tract of land conveyed to John Bassford by Deed in Book 841 of Deeds, page 550, thence Southwesterly a distance of 126.5 feet to a point in the Northeasterly line of Williams Avenue, as now laid out and opened, distant 5.7 feet Southeasterly along the Northeasterly line of said Avenue from the Northwesterly line of said Lot 27, thence Northwesterly along said Northeasterly line 5.7 feet to Northwesterly line of Lot 27, thence continuing Northwesterly along the line dividing Block 1 of Oakhurst from said Williams Avenue a distance of 97.6 feet, thence Northeasterly 277.05 feet, more or less, to a point in the Northeasterly line of said Block 1, distant 306.3 feet Southeasterly form the Northwesterly corner of said Block, said last described course forming an interior angle of 105 degrees 6 minutes with the Northeasterly line of said Block 1, thence Southeasterly along the Northeasterly line of said Block 1, a distance of 104.09 feet to the Southeasterly or most Easterly corner of said Block 1, thence Southwesterly a distance of 151 feet to the tactual pint of beginning, according to the recorded plat thereof, and situate in Hennepin County, Minnesota.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Rezoning:

The Department of Community Planning and Economic Development recommends that the City Planning Commission and City Council adopt the above findings and **approve** the rezoning petition to change the zoning classification at the property located at 2812 University Avenue Southeast from the C2 Neighborhood Corridor Commercial District to the C3A Community Activity Center District.

Recommendation of the Department of Community Planning and Economic Development for the Conditional Use Permit:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use permit to increase the maximum height of a building from 4 stories/56 feet to 5 stories/64 feet, 8 inches in the C3A Community Activity Center District at the property located at 2812 University Avenue Southeast, subject to the following conditions:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the minimum interior side yard requirement adjacent to the west property line from 13 feet to 7 feet, 8 inches at the property located at 2812 University Avenue Southeast.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the minimum required number of off-street loading spaces from 2 large loading spaces to 1 at the property located at 2812 University Avenue Southeast.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to increase the maximum allowed front building setback on Williams Ave SE from 8 feet to 46 feet or more along the south property line in the PO Pedestrian Oriented Overlay District at the property located at 2812 University Avenue Southeast subject to the following conditions:

- I. The building shall be located as shown on the site plan.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to increase the maximum allowed parking lot frontage from 60 feet to approximately 112 feet along Williams Ave SE in the PO Pedestrian Oriented Overlay District at the property located at 2812 University Avenue Southeast.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the minimum window requirement below 40 percent along Williams Avenue SE in the PO Pedestrian Oriented Overlay District at the property located at 2812 University Avenue Southeast.

1. The applicant shall increase the proportion of windows on the ground floor facing Williams Avenue SE to the extent practical.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **deny** the application for a variance to increase the maximum area of a projecting sign from 48 square feet to 87.5 square feet at the property located at 2812 University Avenue Southeast, subject to the following conditions:

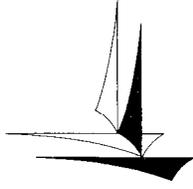
Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow a new, five-story hotel with 117 rooms at the properties located at the property located at 2812 University Avenue Southeast, subject to the following conditions:

1. Approval of the final site, elevation, landscaping, and lighting plans by CPED staff.
2. All site improvements shall be completed by November 14, 2016, unless extended by the zoning administrator, or the permit may be revoked for non-compliance.
3. All signs are expected to comply with Chapter 541 of the zoning code. All signage requires a separate permit from CPED.
4. The applicant shall label the proposed mechanical equipment and screening materials to demonstrate compliance with the screening requirements of Chapter 535 of the zoning code.
5. The applicant shall provide no less two additional canopy tress on-site, for a total of five, and no less than 177 square feet of additional landscaped area.

ATTACHMENTS

1. PDR report
2. Written description and findings submitted by applicant
3. Rezoning matrix
4. Zoning map
5. Survey
6. Plans
7. Building elevations
8. Renderings
9. Shadow study
10. Photos
11. Public comments



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **DONALD ZART**
(612) 673-2726
don.zart@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001236
Applicant:	PROSPECT PARK PROPERTIES 2929 UNIVERSITY AVE SE, PO BOX 14536 MINNEAPOLIS, MN 55414
Site Address:	2812 UNIVERSITY AVE SE
Date Submitted:	28-AUG-2014
Date Reviewed:	29-AUG-2014

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Proposed 5 story, 117 room hotel building.

Review Findings (by Discipline)

Sidewalk

- The grade of the public sidewalk shall not be depressed at the drive approach (reference the appropriate details on Sheet C4.0 of the plans).
- Note to the Applicant: Any currently defective sidewalks or other concrete infrastructure within the public right of way, or any sidewalk or other concrete infrastructure damaged during construction, must be removed and replaced.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

❑ Zoning - Planning

- The following land use applications have been identified for this proposal:
- Petition to rezone the properties of 2812 University Avenue Southeast from C2 to C3A.
 - Conditional use permit to increase the maximum height of a building from 4 stories/56 feet to 5 stories/64 feet, 8 inches.
 - Variance to reduce the minimum interior side yard requirement adjacent to the west property line from 13 feet to 7 feet, 8 inches.
 - Variance to reduce the minimum required number of off-street loading spaces from 2 large loading spaces to zero.
 - Variance to increase the maximum allowed front building setback on Williams Ave SE from 8 feet to 46 feet or more along the south property line in the PO Pedestrian Oriented Overlay District.
 - Variance to increase the maximum allowed parking lot frontage from 60 feet to approximately 112 feet along Williams Ave SE in the PO Pedestrian Oriented Overlay District.
 - Variance to reduce the minimum window requirement from 40 percent to 6 percent on the first floor along Williams Ave SE in the PO Pedestrian Oriented Overlay District.
 - Variance to increase the maximum height of a projecting sign from 14 feet to 55 feet and to increase the maximum area of a projecting sign from 48 square feet to 140 square feet.
 - Variance to increase the maximum allowed sign area on a primary building wall from approximately 150 square feet to 220 square feet.
 - Site plan review, including alternative compliance for the 7 foot landscaped yard adjacent to Williams Avenue and windows facing Williams.
- Staff has the following preliminary comments and may include these as recommended conditions of approval:
 - Staff would much prefer that some or all of the off-street parking be provided below-grade or in an above-grade parking structure. This could also help to offset the number of variances required.
 - Additional bicycle parking is encouraged.
- Please clarify the following items:
 - Please indicate how the rooftop mechanical equipment will be screened.
 - Please provide the percentage of materials used on each elevation, including glass.
 - Is there additional information available regarding traffic circulation or potential shared parking arrangements?
- A land use application has been submitted but has not yet been scheduled for a public hearing before the City Planning Commission.

❑ Addressing

- The proposed address will remain 2812 University Ave SE.

❑ Water

- All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing connections not in use shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department, call (612) 673-2451 for more information.
- The water service connections to Williams Ave. should be designed to avoid bends into the proposed building; rather it is recommended to run water service lines straight from the main into the proposed building to the meter location. Please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

❑ Business Licensing

- Contact Becky Anger (612)673-2690 to go over the requirements for a Health Plan Review for any food related uses.

❑ Parks - Forestry

- Contact Craig Pinkalla (cpinkalla@minneapolisparcs.org), Telephone (612)-499-9233 regarding removal or protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance.
- The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance. There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project, the Hampton Inn & Suites, the calculated dedication fee is as follows:
- Hotel Use @ 75,398 Sq Ft = \$11,800
- 5% of 11,800 (Administrative Fee) = \$ 590
- Total = \$ 12,390
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Don Zart at (612)673-2726.

❑ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.

❑ Fire Safety

- Provide required automatic fire suppression system throughout building
- Provide required automatic fire alarm system throughout building
- Fire department connection must be located on the address side of building and within 150 feet of a fire hydrant
- Provide and maintain fire department apparatus access at all times

❑ Historical Preservation Committee

- There is not a preservation flag on the property and a wrecking permit was already issued for the site.

❑ Street Design

- It is not clear from the Demolition Plan if the existing driveway apron accessing the site from University Ave. S.E. is to be removed or protected; the demolition plans shall clearly indicate the Applicants intent.
- All proposed driveway aprons shall be shown graphically correct on all plan sheets (including architectural and landscaping plans); refer to Minneapolis Standard driveway details on Sheet C4.0 of the plans. Proposed driveway aprons shown on the Civil Plans shall reference the appropriate details on Sheet C4.0 of the plans.
- Paul Miller to check with street alignment along University

□ Traffic and Parking

- Remove all notes and striping markings related on street parking from all plan sheets.
- The nature of the proposed development is such that traffic impacts will be an issue; please contact Allen Klugman at (612) 673-2743 to discuss the requirements of a Travel Demand Management Plan (TDMP).
- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all truck type vehicles that will be using the parking entrance areas.
- Please contact Bill Prince at (612) 673-3901 regarding existing and proposed street lighting. All street lighting (existing and proposed) shall be shown clearly on the site plan. Proposed landscaping shall not interfere with the location of existing or proposed street lighting.
- Prior to site plan approval, the Applicant shall contact Bill Prince at (612) 673-3901 to determine street lighting requirements. Note: If decorative street lighting exists on the proposed site it must be preserved or replaced at existing levels. Street lighting will be strongly encouraged in areas immediately adjacent to existing lighting systems, in high density areas such as Uptown and the University of Minnesota, and along major pedestrian corridors and business nodes as identified in the Minneapolis Street Lighting Policy.
- Note to the Applicant: Please add the following notes to the site plan:
- Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
- An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
- Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
- All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
- Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

□ Environmental Health

- City records indicate that the site had 4 underground storage tanks (UST) on site that were removed in 1990, one (1) 12,000 gallon gasoline and three (3) - 550 gallon waste oil. No petroleum release was reported at the time of removal.
- If impacted soil is encountered during site activities work will need to stop and notification provided to the MN State Duty officer at (615) 649-5451. Approval for removal, disposal and/or reuse of impacted soils must be must occur from the MCPA and the City of Minneapolis prior to continuing excavation activities.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.

❑ Sewer Design**Stormwater Management:**

- Please identify the square footage of the area proposed to be disturbed with the project, and the existing and proposed impervious square footages within the disturbed area. If the land disturbing area associated with the project is over 1 acre, the project would be subject to the stormwater treatment requirements in Chapter 54 of the Minneapolis Code of Ordinances. This includes work on the adjacent property to the west. Given the size of the project, it is recommended that stormwater treatment practices be considered. There is a Stormwater Utility Fee credit that the property could be eligible for if stormwater treatment is provided.

Utility Connections:

- Please provide justification for the proposed size of the storm sewer service connection. The pipe should be sized accordingly for a 10-year event. An oversized connection would not be permitted.
- The proposed storm sewer service connection to the City main should be core-drilled and a saddle tee fitting installed, per City of Minneapolis Standard Supplemental Specifications. A new manhole is not permitted for the connection. Please revise the plans accordingly.
- All existing service connections to the property should be shown and noted on the plans as being removed or remaining in place. For service connection records contact (612) 673-2451.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

❑ Construction Code Services

- The proposed retaining wall terminates at the existing office to the east. Verify approval of adjacent property owner and structural implications to the existing building.
- Coordinate new concrete walks abutting existing office to the east. Verify approval of adjacent property owner.
- Contact the Met Council for a SAC determination. See this link for more information:
http://www.minneapolismn.gov/www/groups/public/@regservices/documents/webcontent/convert_281675.pdf

END OF REPORT

September 29, 2014

PROJECT DESCRIPTION

Owner / Applicant

Hampton Inn & Suites – University
2812 University Avenue SE
Minneapolis, Minnesota 55414

David Barnhart -ph 612-242-3442
Jeff Barnhart - ph 612-331-1728
4134 Xerxes Ave. N.
Minneapolis, Minnesota 55412

The property owner is proposing to construct a new five story, 117 room Hotel at 2812 University Avenue, SE. The property at 2812 University Avenue SE is currently zoned C2. Zoning district C2 does not allow for hotels, so the request is to rezone the parcel to C3A, which allows hotels. This property is located on the North side of the Prospect Park neighborhood on University Avenue SE. Just across the street to the Northeast is the new green line light rail Prospect Park Station stop on 29th Avenue SE, and to the West is the University of Minnesota.

There has been a variety of developments occurring along this new light rail line that opened in June 2014. The site is currently vacant due to a fire that destroyed the building in August of 2013. Neighboring both sides of this site are two story office buildings. On the back side of the site is Williams St. SE with two story multifamily residential buildings across the street. This part of the Prospect Park neighborhood is going through many transitions.

This project addresses all of the goals outlined by the University District Alliance Design Principles. A hotel is a 24 Hour/7 Days a week facility that provides a business that is under represented in the neighborhood. It provides an active use on the street within the University Avenue commercial corridor. It helps diversify the uses within the area. The size and height of this hotel provides greater density to the neighborhood. The location adjacent to the University and businesses amongst many bus lines, bike routes and the light rail line promotes a diversity of alternate modes of transportation along with a walkable neighborhood. This hotel will add to the vibrancy of the neighborhood.

The five story 75,398 sq. ft. Building is proposed to be a wood framed structure. The building is clad with brick at the first two stories and three stories of stucco, with five stories of brick at the entrance on University Avenue. There are many windows around the entire building, and large storefront windows along the front, including some two story windows at the entrance. The architecture of the building blends well with the existing neighborhood.

The site is 37,966 sq. ft. The building has a 15,457 sq. ft. footprint. There are 37 surface parking spaces that are behind the 'L' shaped building. The entrance to the parking lot utilizes the existing University Avenue curb cut. The parking is hidden from view from University Avenue through the 'L' shaped building plan. The parking is hidden from view from the neighborhood on the south due to the fact that there is approximately a ten foot elevation change from Williams Avenue SE to the surface of the parking lot. The remainder of the site is heavily landscaped with trees, shrubs, and perennials.

Project Requests:

1. Petition to rezone the property at 2812 University Avenue SE from the C2 Neighborhood Corridor Commercial District to the C3A Community Activity Center District.
2. Conditional use Permit to increase the maximum height of a building from 4 stories or 56 feet to 5 stories, 64 feet – 8 inches.
3. Variance to reduce the minimum interior side yard setback adjacent to the west property line from the required 13 feet to 7 feet – 8 inches.
4. Variance to increase the maximum allowed area for a projecting sign from 48 square feet to 87.5 square feet. Total signage allowed on street frontage is (129 ft x 1.5) 193 sq. ft. and proposed is 167.5 sq. ft.
5. Variance to increase the maximum allowed front set back of the southwest building frontage along Williams Ave. SE from of 8 feet to 46 feet - 9 inches to 64 feet- 9 inches in the PO Pedestrian Orientated Overlay District. Williams Ave SE on the south side of the property is at a different angle than University Ave SE on the north side of the property. The front of the building is on University Ave. SE and complies to the front building setback requirements.
6. Variance to increase the maximum allowed parking lot frontage along Williams Ave SE from 60 feet to approximately 112 feet in the PO Pedestrian Orientated Overlay District. The parking lot is 7 to 11 feet below the grade of the sidewalk.
7. Variance to reduce the minimum required off street large loading spaces (12' x 50') from two spaces to one space.
8. Variance to reduce the minimum window requirement below 40 percent along Williams Ave. SE in the PO pedestrian Overlay District.
9. Site Plan Review for a new five story hotel building totaling 75,398 square feet and a 37 space surface parking lot.
 - A. Requesting alternative compliance to the required 7 foot yard requirement between a property line abutting a street and a surface parking lot.
 - B. Requesting alternative compliance to the required 40 percent glass on the first floor elevation of a building that faces a public right of way or street.

September 29th, 2014

2812 University Avenue SE
Minneapolis, MN
Prospect Park Station South
Proposed Hotel

RE: PROJECT FINDINGS

CONDITIONAL USE PERMIT: Request to increase the maximum allowed height of a building in the C3A, Community Activity, Center District, from 4 Stories or 56 feet to 5 stories, 64 feet, 8 inches.

- 1. The Conditional Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

Increasing the permitted height to 5 stories, 64 feet, 8 inches will not be detrimental to or endanger the public health safety, comfort or general welfare of the public realm. The building will conform to all applicable building and life safety codes. The project is within one of the cities commercial corridors that are guided for more density.

- 2. The Conditional Use will not be injurious to the use and enjoyment of other property in the vicinity and will impede the normal or orderly development and improvement of surrounding property for uses permitted in the district.**

The subject site is located in a transit corridor that the city has guided for redevelopment and greater density. Increasing the height of the proposed building will not be injurious to the use and enjoyment of other property in the vicinity nor should it impede future development. The corridor is guided as a growth activity center. The build is located within a mixed uses area; businesses and multi-residential areas like this area of University Avenue. The neighbors to the South of the project, across Williams Ave. SE. are multifamily residential units, set back from the street and are approximately 15 feet above the grade of the proposed project. This development promotes development of the surrounding properties, as it is currently home of a vacant piece of land.

- 3. Adequate utilities, access roads, drainage, necessary facilities or other measures have been or will provided.**

The request will not affect utilities, access or drainage. The site served by existing infrastructure and will be accessed from University Ave. SE at the same point that the former business had access Improvements will actually improve the drainage of the site by providing more permeable surface and collecting off storm water on site.

4. Adequate measures have been or will be provided to minimize traffic congestion in the public streets.

The increased height would not have an effect on congestion in the streets. There are 117 hotel guestrooms and 37 parking spaces are proposed. A hotel use has been guests that travel to the city that do not have their own private transportation. The location of this hotel across the street from a light rail line access to many bus routes, and bike trails provides many alternative modes of transportation. It is also located within walking distance of the University and its many athletic venues.

5. The Conditional Use is consistent with the applicable policies of the comprehensive plan.

The comprehensive plan guides this portion of University Ave. as a growth center or activity center. Such centers promote high density and a mixture of uses. The hotel development will bring a use that is under-represented in the area, and provide a service that is needed. The site is also located across the street from the Prospect Park light rail station. The site redevelopment to a hotel use is a supportive use that will take advantage of the light rail line, bus lines, and bike corridors within the existing transportation corridor.

6. The Conditional Use shall in all other respects conform to the applicable regulations of the district in which it is located.

With approval of the conditional use permit, variances and site plan review this development would be in conformance with the applicable regulations of the zoning code and the C3A zoning district.

ADDITIONAL STANDARDS TO INCREASE MAXIMUM HEIGHT:

1. Access to light and air of surrounding properties

The increase in height should have little effect to the light and air of the surrounding properties. The North and South property lines abut street right-of-ways, University Ave. SE to the North and Williams Ave. SE to the South. Properties to the East and West are two story buildings with blank walls void of windows facing the proposed project. The building is set back from the east and west property lines.

2. Shadowing of residential properties, significant public spaces, or existing solar energy systems.

The only residential property adjacent to this site is located across Williams Avenue SE to the South of the project. There will be no shadows cast on any residential properties or significant public spaces or existing solar energy systems.

3. The Scale and Character of Surrounding Uses.

The scale and character of the buildings as well as the architectural styles of the surrounding properties in this area are varies. There is a nine story office building directly across University Ave. SE, two story office buildings to the east and west and two story multi-family buildings to the South. The area is currently experiencing a fair amount of redevelopment that is under construction or in the planning stages. Those projects are ranging in the 4 to 12 story height. The area is guided as a growth or activity center that supports this sort of density and height.

4. Preservation of views of landmark buildings, significant space or water bodies.

There are no landmark buildings, significant spaces or water bodies, near the development site that would be affected by the height of the proposed building.

VARIANCE: **1. To reduce the required west interior side yard setback from 13 feet to 7 feet 8 inches.**

Findings as required by the Minneapolis Zoning Code for the Variance.

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.**

Buildings in the C3A district have a minimum interior side yard of 5-2X (where X is the number of stories above the first floor). A 5-story building is proposed therefore the required interior side yard setback for the proposed building is 13 feet adjacent to the west lot line.

Practical difficulties exist in complying with the ordinance. Due to the configuration of the site being somewhat triangular, and the desire to screen the parking. The parking is being screened by the 'C' shaped building footprint, while the height of the building is responsible, in part, for the degree of the variance requested, the proposed height and density is consistent with that is called for in the comprehensive plan and for a site adjacent to a growth and activity center, and transit supportive redevelopment within the corridor. In addition, eliminating the setback variance would make it difficult to provide the adequate amount of parking on this irregular shaped site.

- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.**

Yard controls are established to provide orderly development and use of land and to minimize conflict between adjacent land uses. The request to allow a reduced setback along the west lot lines is reasonable and is in keeping with the spirit and intent of the ordinance and comprehensive plan the proposed building will not diminish light air or open space to the

adjacent property. As stated previously the building to the west has no windows on the east side of the building facing the proposed project. The comprehensive plan guides the area as a growth and activity center and calls for a mixture of uses and higher density. The hotel proposal fulfills many aspects of the comprehensive plan for this area.

- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.**

Granting the variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other properties in the vicinity. The reduced set back will actually increase the density and activity in the area. It will actually be beneficial for the adjoining business uses in the area by providing more people to the commercial district.

Granting the variance will also not be detrimental to the health, safety or welfare of the general public of those utilizing the property or nearby properties. Allowing the hotel use to cover more of the site along the street corridor will allow more eyes on the street 24 hours a day.

VARIANCE: 1. Variance to increase the maximum allowed parking lot frontage along Williams Ave. SE from 60 feet to approximately 112 feet in the PO pedestrian orientated overlay district.

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.**

Practical difficulties exist in complying with the ordinance the lot is located on shallow depth lot considering it is between two streets on the north and south side of the lot. The north side fronting University Ave. SE has only the drive (22feet) fronting the street. The site also has a great elevation change from front (University Ave. SE) to the back (Williams Ave. SE). This elevation change allows the surface parking lot being 7 to 11 feet below the sidewalk of Williams Ave. SE. The lower elevation allows for most vehicles not even to be seen from across Williams Ave. SE. In addition there will be a 24 inches high decorative fence with trees, shrubs and perennials in front of it along the sidewalk on Williams Ave. SE. The topography, fencing and planting will virtually hide the view of the entire parking lot. This parking lot does not have any entrances on to Williams Ave. SE. The superior design amenities make the parking lot virtually none existent from view from Williams Ave. SE, and fits into the context of the multifamily residential district.

- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.**

Parking lot frontages are limited to reduce the visual clutter along the streetscape of commercial corridors. With the elevation change from Williams Ave. SE being 7 to 11 feet higher than the parking lot surface, and the addition of a 42" high decorative fence and plantings up on the Williams Ave. SE frontage the parking lot and parked cars are virtually non-existent from view from Williams Ave. SE. Also with the design of the lot not accessing Williams Ave. SE the entire site plan design recognize the difference in character of the Williams Ave. SE versus University Ave. SE.

- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.**

Granting the variance will not alter the essential character of the locality or be injurious to the use or enjoyment of the property in the vicinity. It will not be detrimental to the health, safety or welfare of the general public or of those utilizing the property or nearby properties. The landscaping and the elevation change and the open air parking lot will actually provide a nice view and open air buffer between the street and actual building, keeping in more character of the existing residential nature of Williams Ave. SE

VARIANCE: 1. The increase the maximum setback of the Southwest building frontage along Williams Ave SE from 8 feet to 46 feet – 9 inches to 64 feet – 9 inches in the PO Pedestrian Orientated Overlay District.

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone**

The site is bordered by University Ave. SE on the North and Williams Ave. SE on the south. The depth of the lot is actually less than a regular depth city block. The site has an elevation change from 7 to 12 feet from front to back. The north side or the front of the site, fronts the busy commercial corridor of University Ave. SE. The south side or the back of the site, fronts the quiet residential street of Williams Ave. SE. Williams Ave. SE has a mixture of multifamily buildings, and single family homes. Directly across the street from the site are two story 8-plexes with large lawns surrounding them. The character and zoning of the two streets is completely different. Therefore it is not in character or appropriate to have the building elevation fronting Williams Ave. SE right on the street frontage. It would not conform to the residential setbacks along the street.

The 7 to 12 feet elevation change from the first floor level to Williams Ave SE also makes it difficult for the building to front both streets. The shape, elevation change, and neighboring zoning districts of this site make it impractical to address both street frontages on the front and back.

- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.**

Street setbacks are primarily used to control front uses of the main entrance of the building on a commercial street or in downtown or business districts to establish a street frontage. In this instance the main growth center or commercial corridor is along University Ave. SE, while the back of the lot on Williams Ave. SE is more residential in character with single family and medium density multiple family dwelling units. The building is sited on this transitional site between the two zoning districts to create the proper street frontage that the comprehensive plan. The character and transition between the site and its fronting streets is within the spirit of the zoning ordinance and the small area plan. The Stadium Village University Avenue Station Area Plan acknowledges that the distance between commercial frontage (University Ave.) and residential neighborhood (Williams Ave.) is very shallow. The plan emphasized that any commercial uses developed on these parcels should not have a presence on these side streets (Williams Ave.), but rather should front on and be accessed via University Ave. SE. The building respects its neighbors on each side by addressing them for what they are; a commercial corridor on University Ave SE, and a residential neighborhood on Williams Ave SE.

- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.**

Granting the variance will not alter the character of the locality, it will actually respect and enhance the neighborhood, the commercial activity will be kept along University Ave SE. The screened parking below street level, decorative fence and landscaping will enhance the residential character.

Keeping the building setback from Williams Ave. SE and keeping the commercial activity off the street will maintain and enhance the character of the residential neighborhood. The maintained sidewalk and landscaping will improve the experience and walkability of the neighborhood.

VARIANCE: 1. To reduce the minimum required number of off-street loading spaces from two large loading spaces to one large loading space.

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone**

The site is small and narrow so that having two large spaces is impractical. Even the maneuvering of two large trucks would be impossible on the site without access to the neighboring site. It would be impractical to provide for two large loading spaces for this type of hotel. This is a limited service hotel; it does not have a restaurant, bar or any large banquet rooms. The limited service hotel only serves a complimentary breakfast buffet where all items are pre-packed or heated in a microwave oven. Realistically this hotel is going to be serviced by food service box trucks, garbage trucks, UPS and FedEx delivery trucks. The use of land would be better served if it was dedicated to parking or green space rather than trying to accommodate for two large loading spaces. The site plan accommodates one large loading space.

- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.**

On site loading zone space allocations are established to ensure that required delivery service can occur on site rather than in the public street; often in a traffic lane. The frequency, type and type of delivery trucks that will serve this business does not require two large loading zones. Deliveries to this loading zone will occur only 2 to 3 times daily Monday through Friday and will take up less than an hour per day. These deliveries are including trash pick-up. ON the other hand the business has guests and employees 24 hours a day, 365 days a year.

- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.**

Providing only one large loading zone would not be injurious or detrimental to the health, safety or welfare of the general public or of those utilizing the property of nearby properties. One large loading zone on site is sufficient enough to ensure that unloading will be safely performed and not be required to occur in the public street.

VARIANCE: 1. To increase the maximum area of projecting sign from 48 sq. ft. to 87.5 square feet.

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.**

The practical difficulty in not increasing the sign is in the distance from the light rail / bus stops and the length of the hotel's name. A hotel is used by visitors usually unfamiliar with the area. By providing this hotel use in close proximity to a light rail stop and other alternate modes of transportation we are encouraging the customers to use such modes. The visitor must be able to locate these types of business easily from their point of departure from the light rail or bus stops in order for them to use alternate modes of transportation. This hotel is a national name hotel that is very long; Hampton Inn & Suites. Signage must be appropriately sized to be valid at all. It is important for this type of national business outlet to be a part the cities business community; they strengthen and provide vitality to the commercial corridor.

- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.**

The addition of a hotel in an activity center / commercial corridor is in keeping with the comprehensive plan. Providing a nationally recognized hotel brand in the area adds to the validity of the commercial corridor. Providing appropriate size signage for people to see from alternative modes of transportation only makes it easier and more convenient and will encourage visitors to choose this type of transportation. The larger projecting sign together with the canopy signage as proposed is less square footage than allowed. This proposal will help limit and minimize any perceived sign clutter which is in keeping with the intent of the ordinance.

- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.**

The increased size will not alter the essential character of the locality. It will add to creating vibrancy in the commercial corridor. The simple elegant design of the individually lit letter helps develop a character for the emerging and developing commercial corridor. The proposed variance will not be detrimental to the health, safety or welfare of the general public or of those utilizing the property or nearby properties. It will enhance the neighborhoods appearance, through the thoughtful proportions and design that fits with the architecture of the building.

- 4. The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.**

The increased size of the projecting sign will not increase the sign clutter in the area. Total proposed sq. footage of signage for the Front/University Ave SE side is less than what is allowed by code. The purpose of the projecting sign is to provide easy recognition for the business from the light rail line train station to the north east of the site. This will encourage users to recognize and realize that mass transit, the light rail line is an easy alternative to travel to the hotel. The projecting sign is consistent with a commercial corridor. The design, vertical in nature is consistent with the window patterns of the front faced. This sign is not only supported by the neighborhood group but was actually suggested by that group. The increased size is also required due to the fact that the business has a long name requiring the sign to be larger just to be able to read it.

- 5. The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.**

The larger sign relates in size and shape to the front elevation of the building. The long verticality of the sign relates to the window pattern of the three top floors stack windows within the darker stucco material. The individually lit letters and clean simple shapes relates to the simple forms of the building and rhythm of the front elevation. The dark red color of the letters will be complimentary to the dark black stucco and light brick. The individual letters are simple but elegant and relates to the stately elevation of the building.

VARIANCE: 1. To reduce the minimum window requirement below 40 percent along Williams Ave. SE in the PO Pedestrian Orientated Overlay District.

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.**

The sites depth is shallow and narrow resulting in a very tight site with two street frontages. Per the small area plan these blocks within this district should address the commercial / University Ave. Street versus the residential / Williams Ave. Street. The 1st also slopes up from University Ave. to Williams Ave. To make the side buildable, level, and accessible the south side of the lot along Williams Ave. S.E. will have a seven to nine foot retaining wall, which makes the first floor of the building virtually not visible from the street.

- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.**

The total South wall elevation is only 52 feet long. There are three service doors totaling 11 feet, and a glass building entrance totaling 5 feet. The building is being set back greater than 4 feet from the property line. This side of the building will still be very active for deliveries and guest access to the parking lot. Also proposed as an alternative for the glass is 16 feet of green wall plantings. The pedestrian street orientation of this site and building is towards University Ave. With the grade change, proposed site landscaping and green wall this short wall is almost unnoticeable from the pedestrian experience along Williams Ave SE.

- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.**

The character of this area will be enhanced by the planned retaining wall, decorative fence, landscaping, and green wall plantings. The guest entrance on the south side of the building will enhance the activity on the Williams Ave. side of the building. Reducing the glass, but constructing all the enhancements listed above will not be detrimental to the health, safety, or welfare of the general public or those utilizing the property of nearby properties.

	C2	C3A
	Neighborhood Corridor Commercial District	Community Activity Center District
FAR		
Base FAR Maximum	1.70	2.70
20% bonus for enclosed, underground or structured parking	0.34	0.54
20% bonus for 50% ground floor commercial	0.34	0.54
20% bonus for 20% affordable units	0.34	0.54
Total possible FAR	2.72	4.32
Required lot area per dwelling unit (sq. ft.)	700	400
Possible DU Bonuses:		
20% bonus for enclosed, underground or structured parking	Y	Y
20% bonus for 50% ground floor commercial	Y	Y
20% bonus for 20% affordable units	Y	Y
Base building height maximum (in stories)	4	4
Maximum size of retail store (sq. ft.)	30,000	8,000
Maximum Lot Coverage	n/a	n/a
Maximum Impervious Surface Coverage	n/a	n/a
Yard Requirements		
Front	0	0
Interior side or rear ¹	5+2X ²	5+2X ²
Corner Side	0	0
Drive-through permitted?	Y	N

Notes:

1 - (2X) is added for uses that are not SFDs, 2FDs, or CRFs serving 1-6 persons

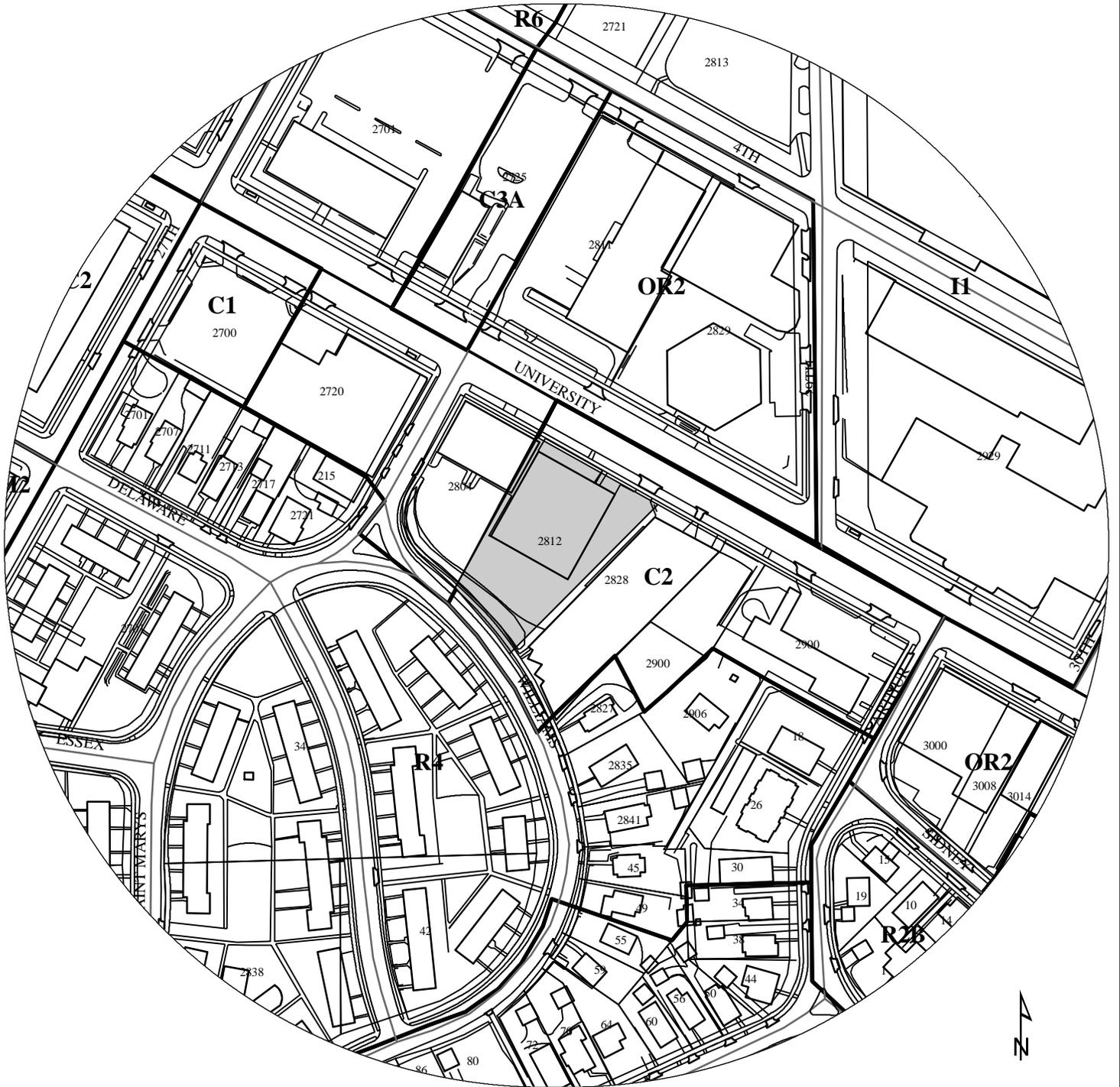
2 - For residential uses and hotels

Daniel Pellinen

2nd

NAME OF APPLICANT

WARD



200 100 0 200 400

PROPERTY ADDRESS

2812 University Ave SE

FILE NUMBER

BZZ-6763



Prospect Park Station Hotel

2812 University Avenue South East
Minneapolis, Minnesota 55414

ABBREVIATIONS

ABV	-ABOVE	EXH	-EXHAUST	MAT	-MATERIAL	ROW	-RIGHT OF WAY
ACC	-ACCESSIBLE	EXIST	-EXISTING	MH	-MANHOLE	RM	-ROOM
AFF	-ABOVE FINISHED FLOOR	EJ	-EXPANSION JOINT	MFR	-MANUFACTURE	RO	-ROUGH OPENING
ARCH	-ARCHITECT	EXP	-EXPANSION	MAS	-MASONRY	R+S	-ROD AND SHELF
ALUM	-ALUMINUM	EF	-EXHAUST FAN	MO	-MASONRY OPENING	SHTG	-SHEATHING
APPROX	-APPROXIMATE	ELEC PNL	-ELECTRICAL PANEL	MTL	-METAL	SHR	-SHOWER
BPL	-BEARING PLATE	EWC	-ELECTRIC WATER COOLER	MISC	-MISCELLANEOUS	SIM	-SIMILAR
BM	-BENCH MARK	EXT	-EXTERIOR	NIC	-NOT IN CONTRACT	SC	-SOLID CORE
BLKG	-BLOCKING	FFE	-FINISHED FLOOR ELEVATION	NTS	-NOT TO SCALE	SPEC	-SPECIFICATIONS
BOT	-BOTTOM	FPL	-FIREPLACE	NO	-NUMBER	SQ	-SQUARE
BOW	-BOTTOM OF WALL	FD	-FLOOR DRAIN	OC	-ON CENTER	S STL	-STAINLESS STEEL
CIP	-CAST-IN-PLACE	FTG	-FOOTING	OPNG	-OPENING	SD	-STORM DRAIN
CB	-CATCH BASIN	FND	-FOUNDATION	OPP	-OPPOSITE	STRUCT	-STRUCTURAL
CLG	-CEILING	FH	-FIRE HYDRANT	OPH	-OPPOSITE HAND	SYM	-SYMMETRY (ICAL)
CT	-CERAMIC TILE	GA	-GAGE, GAUGE	OD	-OUTSIDE DIAMETER	THK	-THICKNESS
CLR	-CLEAR (ANCE)	GALV	-GALVANIZED	OH	-OVERHEAD	TOC	-TOP OF CONCRETE
CONC	-CONCRETE	GC	-GENERAL CONTRACTOR	OHD	-OVERHEAD DOOR	TOS	-TOP OF SLAB
CMU	-CONCRETE MASONRY UNIT	GB	-GRAB BAR	PAR	-PARALLEL	TOW	-TOP OF WALL
CONST	-CONSTRUCTION	HDW	-HARDWARE	PART	-PARTITION	T	-TREAD
CONT	-CONTINUE (OUS)	HVAC	-HEATING / VENTILATION / AIR CONDITIONING	PVMT	-PAVEMENT	TYP	-TYPICAL
CRS	-COURSE			P LAM	-PLASTIC LAMINATE	TOF	-TOP OF FOOTING
CJ	-CONTROL JOINT	HT	-HEIGHT	PL	-PLATE	UNF	-UNFINISHED
DTL	-DETAIL	HC	-HANDICAP	PT	-PRESSURE TREATED	UR	-URINAL
DIA	-DIAMETER	HM	-HOLLOW METAL	PVC	-POLYVINYL CHLORIDE	UNO	-UNLESS NOTED OTHERWISE
DIM	-DIMENSION	HOR	-HORIZONTAL	PSF	-POUNDS PER SQUARE FOOT	VERT	-VERTICAL
DR	-DOOR	HB	-HOSE BIBB	PSI	-POUNDS PER SQUARE INCH	VTR	-VENT THRU ROOF
DS	-DOWNSPOUT	INCL	-INCLUDE	PC	-PRECAST	WD	-WOOD
DWG	-DRAWING	ID	-INSIDE DIAMETER	PL	-PROPERTY LINE	WC	-WATER CLOSET
DF	-DRINKING FOUNTAIN	INSUL	-INSULATION	PP	-POWER POLE	WH	-WATER HEATER
ELECT	-ELECTRIC (AL)	INT	-INTERIOR	QT	-QUARRY TILE	WP	-WATERPROOFING
EL	-ELEVATION	INV	-INVERT	R	-RADIUS	WR	-WATER RESISTANT
EQ	-EQUAL	JST	-JOIST	RA	-RETURN AIR	WWF	-WELDED WIRE FABRIC
		LAM	-LAMINATE	RD	-ROOF DRAIN	W	-WIDTH, WIDE
		LAV	-LAVATORY	REF	-REFERENCE	YH	-YARD HYDRANT
		LH	-LEFT HAND	RF	-ROCK FACE	YD	-YARD DRAIN
		LT	-LIGHT	RH	-RIGHT HAND	YI	-YARD INLET

PROJECT TEAM

DEVELOPER:

MINNEAPOLIS HOTEL VENTURES, LLC.
P.O. BOX 14536 (612) 242-3442
MINNEAPOLIS, MN 55414

JEFF BARNHART jeff@prospectparkproperties.com

HOTEL OPERATOR:

KAEDING MANAGEMENT GROUP
7900 INTERNATIONAL DRIVE #155 (952) 229-4433
BLOOMINGTON, MINNESOTA 55425

CARL KAEDING carl_kaeding@msn.com

ARCHITECT:

TUSHIE MONTGOMERY ARCHITECTS
7645 LYNDALE AVENUE SOUTH, #100 (612) 861-9636
MINNEAPOLIS, MINNESOTA 55423 FAX (612) 861-9632

DAN PELLIN danp@tmarchitects.com

INTERIOR DESIGN:

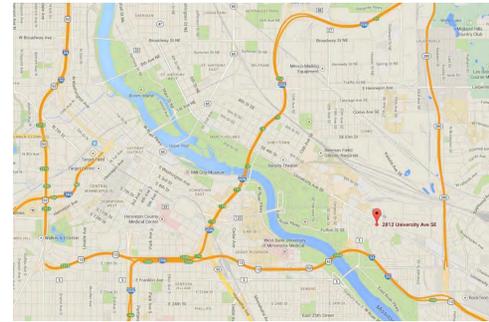
TUSHIE MONTGOMERY ARCHITECTS
7645 LYNDALE AVENUE SOUTH, #100 (612) 861-9636
MINNEAPOLIS, MINNESOTA 55423 FAX (612) 861-9632

SOPHIA LEVIN sophial@tmarchitects.com

CIVIL ENGINEER:

CIVIL SITE GROUP, INC.
4931 W. 35TH ST, SUITE 200 (763)213-3944
ST. LOUIS PARK, MN 55416
MATT PAVEK, P.E. mpavek@civilsitegroup.com

SITE LOCATION



GENERAL NOTES

ALL NECESSARY AND/OR REQUIRED TESTS, INSPECTIONS SHOP DRAWING REVIEWS AND DRAWING INTERPRETATIONS, REQUIRED BY THE GENERAL CONDITIONS, SHALL BE EXECUTED BY A REGISTERED ARCHITECT AND/OR BY A REGISTERED ENGINEER; IF NOT, THE ARCHITECT OF RECORD AND/OR THE ENGINEER OF RECORD SHALL BE HELD HARMLESS FOR THAT PORTION OF THE WORK IMPROPERLY EXECUTED. THE INSPECTION ARCHITECT AND/OR ENGINEER SHALL BECOME RESPONSIBLE FOR THOSE INSPECTIONS, DECISIONS AND/OR DOCUMENT INTERPRETATIONS MADE AS THEY RELATE TO THE CONTRACT DOCUMENTS AND THEIR INTENT.

- DIMENSIONS GIVEN FOR MASONRY ON ARCHITECTURAL DRAWINGS, ARE NOMINAL UNLESS OTHERWISE NOTED.
- SCALED MEASUREMENTS OF DRAWINGS SHALL NOT BE ALLOWED.
- DIMENSION FOR STUD WALLS ARE TO FACE OF STUD AND DIMENSIONS FOR MASONRY WALLS ARE TO FACE OF BLOCK, UNLESS STATED OTHERWISE.
- ALL CONSTRUCTION SHALL MEET ALL APPLICABLE CODES AND MOST STRINGENT SHALL APPLY.

PROJECT INFO.

BUILDING AREA (Gross SF)	
	25078 SF
SECOND FLOOR	15121 SF
THIRD FLOOR	14876 SF
FOURTH FLOOR	14972 SF
FIFTH FLOOR	14972 SF
GRAND TOTAL	85019 SF

UNIT MIX BY TYPE		
DOUBLE QUEEN	48	41%
DOUBLE QUEEN ACCESSIBLE	1	1%
DOUBLE QUEEN ACCESSIBLE SENSORY	1	1%
DOUBLE QUEEN SENSORY	4	3%
KING	26	22%
KING SENSORY	3	3%
KING SOFA	2	2%
KING SOFA ACCESSIBLE	2	2%
KING SOFA SENSORY	2	2%
KING STUDIO	7	6%
KING STUDIO ACCESSIBLE	3	3%
KING STUDIO SENSORY	2	2%
SHOTGUN SUITE	14	12%
SHOTGUN SUITE SENSORY	2	2%
GRAND TOTAL	117	100%

DRAWING INDEX

CS COVER SHEET
SURVEY EXISTING CONDITIONS

CIVIL

C1.0 REMOVALS PLAN
C2.0 GRADING PLAN
C3.0 UTILITY PLAN
C4.0 DETAILS

ARCHITECTURAL

1.1 PROJECT DESCRIPTION
1.2 SITE PLAN
1.3 CONTEXT SITE PLAN
1.4 EXISTING CONTEXT IMAGES
1.5 SITE SECTIONS
1.6 SHADOW STUDY
1.7 LANDSCAPE PLAN
1.7A STREETScape LANDSCAPE PLAN
1.8 FIRST FLOOR PLAN
1.9 SECOND FLOOR PLAN
1.10 THIRD FLOOR PLAN
1.11 FOURTH FLOOR PLAN
1.12 FIFTH FLOOR PLAN
1.13 ROOF PLAN
1.14 BUILDING ELEVATIONS
1.15 BUILDING ELEVATIONS
1.16 REVIT PERSPECTIVES
1.17 TRAIN STATION PERSPECTIVE
1.18 TRAIN STATION PERSPECTIVE
1.19 UNIVERSITY AVE SE PERSPECTIVE



TUSHIE MONTGOMERY ARCHITECTS
7645 LYNDALE AVENUE SOUTH, #100
MINNEAPOLIS, MINNESOTA 55423-4084
612.861.9636 FAX: 612.861.9632
WWW.TMARCHITECTS.COM

Prospect Park Station Hotel
2812 University Ave SE-
Minneapolis, Minnesota 55414

PREPARED FOR:

MINNEAPOLIS HOTEL VENTURES

ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE, ARE HEREBY SPECIFICALLY RESERVED. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: Daniel L. Pellin
SIGNATURE:
DATE: 08/27/14 LICENSE #: 22906

Revisions & Addendums
PDR SUBMITTAL 08/25/14
PLANNING COMMISSION 09/05/14
SUBMITTAL

-PRELIMINARY-
NOT FOR
CONSTRUCTION

213091A

COVER SHEET

- CS -

ZONING SUMMARY:

	REQUIRED OR ALLOWED BY ORDINANCE	PROPOSED BY PLAN OR VARIANCE
ZONING (PLATE 22):	C2 NIEGHBOR HOOD CORRIDOR	C3A COMMUNITY ACTIVITY CENTER
OVERLAY DISTRICTS:	PEDESTRIAN ORIENTED, UNIVERSITY AREA	PEDESTRIAN ORIENTED, UNIVERSITY AREA
HISTORIC DISTRICT:	NONE	NONE
FAR ALLOWED:	MAX 2.7	2.0
SITE AREA:	37,966 S.F.	37,966 S.F.
PROPOSED BUILDING 5 STORIES HOTEL:		75,398 S.F.
MINIMUM SETBACKS		
FRONT - (NORTHEAST / UNIVERSITY AVE SE):	MAX 8'	6"
SIDE - (NORTHWEST):	13'	VARIANCE FOR 7'-8"
SIDE - (SOUTHEAST):	MIN. 13'	41' 1"
REAR - (SOUTHEAST / STREET)	MAX. 8'	VARIANCE FOR 46' - 9"
PARKING REQUIREMENTS		
SURFACE SPACES:	33 SPACES	38 SPACES
LOADING SPACES (LARGE LOADING (12' X50'))	2 REQUIRED	VARIANCE FOR 1
BICYCLE PARKING TOTAL	NONE	8 SPACES
OUTDOOR SPACES:		
MAX. HEIGHT :	4 STORIES - 56FT	5 STORIES - 64'-8" (CONDITIONAL USE PERMIT)

PARKING DATA:

	VEHICLE SURFACE PARKING PROPOSED	BIKE PARKING PROPOSED
STANDARD	25	TOTAL 8
COMPACT	10	
ACCESSIBLE	2	
TOTAL	37	

PROJECT DESCRIPTION

The property owner is proposing to construct a new five story, 117 room Hotel at 2812 University Avenue, SE. The property at 2812 University Avenue SE is currently zoned C2. Zoning district C2 does not allow for hotels, so the request is to rezone the parcel to C3A, which allows hotels. This property is located on the North side of the Prospect Park neighborhood on University Avenue SE. Just across the street to the Northeast is the new green line light rail Prospect Park Station stop on 29th Avenue SE, and to the West is the University of Minnesota. There has been a variety of developments occurring along this new light rail line that opened in June 2014. The site is currently vacant due to a fire that destroyed the building in August of 2013. Neighboring both sides of this site are two story office buildings. On the back side of the site is Williams St. SE with two story multifamily residential buildings across the street. This part of the Prospect Park neighborhood is going through many transitions.

This project addresses all of the goals outlined by the University District Alliance Design Principles. A hotel is a 24 Hour/7 Days a week facility that provides a business that is under represented in the neighborhood. It provides an active use on the street within the University Avenue commercial corridor. It helps diversify the uses within the area. The size and height of this hotel provides greater density to the neighborhood. The location adjacent to the University and businesses amongst many bus lines, bike routes and the light rail line promotes a diversity of alternate modes of transportation along with a walkable neighborhood. This hotel will add to the vibrancy of the neighborhood.

The five story 75,398 sq. ft. Building is proposed to be a wood framed structure. The building is clad with brick at the first two stories and three stories of stucco, with five stories of brick at the entrance on University Avenue. There are many windows around the entire building, and large storefront windows along the front, including some two story windows at the entrance. The architecture of the building blends well with the existing neighborhood.

The site is 37,966 sq. ft. The building has a 15,457 sq. ft. footprint. There are 37 surface parking spaces that are behind the 'L' shaped building. The entrance to the parking lot utilizes the existing University Avenue curb cut. The parking is hidden from view from University Avenue through the 'L' shaped building plan. The parking is hidden from view from the neighborhood on the south due to the fact that there is approximately a ten foot elevation change from Williams Avenue SE to the surface of the parking lot. The remainder of the site is heavily landscaped with trees, shrubs, and perennials.

Project Requests:

1. Petition to rezone the property at 2812 University Avenue SE from the C2 Neighborhood Corridor Commercial District to the C3A Community Activity Center District.
2. Conditional use Permit to increase the maximum height of a building from 4 stories or 56 feet to 5 stories, 64 feet – 8 inches.
3. Variance to reduce the minimum interior side yard setback adjacent to the west property line from the required 13 feet to 7 feet – 8 inches.
4. Variance to increase the maximum allowed area for a projecting sign from 48 square feet to 87.5 square feet. Total signage allowed on street frontage is (129 ft x 1.5) 193 sq. ft. and proposed is 167.5 sq. ft.
5. Variance to increase the maximum allowed front set back of the southwest building frontage along Williams Ave. SE from of 8 feet to 46 feet - 9 inches to 64 feet- 9 inches in the PO Pedestrian Orientated Overlay District. Williams Ave SE on the south side of the property is at a different angle than University Ave SE on the north side of the property. The front of the building is on University Ave. SE and complies to the front building setback requirements.
6. Variance to increase the maximum allowed parking lot frontage along Williams Ave SE from 60 feet to approximately 112 feet in the PO Pedestrian Orientated Overlay District. The parking lot is 7 to 11 feet below the grade of the sidewalk.
7. Variance to reduce the minimum required off street large loading spaces (12' x 50') from two spaces to one space.
8. Variance to reduce the minimum window requirement below 40 percent along Williams Ave. SE in the PO pedestrian Overlay District.
9. Site Plan Review for a new five story hotel building totaling 75,398 square feet and a 37 space surface parking lot.
 - A. Requesting alternative compliance to the required 7 foot yard requirement between a property line abutting a street and a surface parking lot.
 - B. Requesting alternative compliance to the required 40 percent glass on the first floor elevation of a building that faces a public right of way or street.



Prospect Park Station Hotel
2812 University Ave SE
Minneapolis, Minnesota 55414

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PRINT NAME: Daniel L. Petinen
SIGNATURE:
DATE: 08/27/14 LICENSE #: 22906

Revisions & Addendums	
PDR SUBMITTAL	08/25/14
PLANNING COMMISSION SUBMITTAL	09/05/14

-PRELIMINARY- NOT FOR CONSTRUCTION

213091A

PROJECT DESCRIPTION

| . |

BOUNDARY & TOPOGRAPHIC SURVEY

PROPERTY ADDRESS: #2800 & #2812 UNIVERSITY AVE. S.E., MINNEAPOLIS, MN
 ~for~ PROSPECT PARK PROPERTIES



- LEGEND**
- DENOTES IRON MONUMENT FOUND
 - DENOTES SIGN
 - ⊕ DENOTES UTILITY POLE
 - ⊙ DENOTES STREET LIGHT
 - ⊞ DENOTES TELEPHONE BOX
 - ⊚ DENOTES SANITARY SEWER MANHOLE
 - ⊛ DENOTES STORM SEWER MANHOLE
 - ⊜ DENOTES CATCH BASIN
 - ⊝ DENOTES GATE VALVE
 - ⊞ DENOTES FIRE HYDRANT
 - ⊚ DENOTES EXISTING CONTOUR
 - DENOTES OVERHEAD WIRE
 - DENOTES WATERMAIN
 - DENOTES SANITARY SEWER
 - DENOTES STORM SEWER
 - DENOTES EXISTING FENCE
 - x1011.2 DENOTES EXISTING ELEVATION.
 - DENOTES CONCRETE
 - DENOTES BITUMINOUS
 - ⊞ DENOTES GAS METER/BOX
 - ⊚ DENOTES MISCELLANEOUS MANHOLE
 - ⊛ DENOTES WATER MANHOLE
 - ⊞ DENOTES TELEPHONE MANHOLE

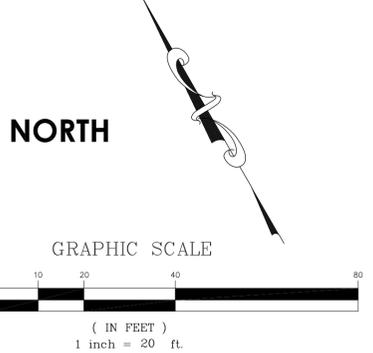
NOTES

- FIELD SURVEY COMPLETED AUGUST 11TH, 2014.
- GOPHER STATE ONE CALL CONTACTED PER TICKET NO. 142162471 & 142162462. DOESN'T APPEAR ALL UTILITIES ON SITES LOCATED. SURVEY SUBJECT TO REVISION.
- This survey was prepared without the benefit of titlework. Easement, appurtenances and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a title insurance commitment or attorneys title opinion.

BENCHMARK

BASIS FOR ELEVATION: NAVD 88 (VIA REAL TIME GPS MEASUREMENTS UTILIZING MINNESOTA DEPARTMENT OF TRANSPORTATION VRS NETWORK)

BASIS FOR BEARINGS: NAD83 (1996) (VIA REAL TIME GPS MEASUREMENTS UTILIZING MINNESOTA DEPARTMENT OF TRANSPORTATION VRS NETWORK).



LEGAL DESCRIPTION

#2812 University Ave S.E. (P.I.D. #30-029-23-13-0053) (

Lots 5, 12, 13 and the southeasterly 30 feet of Lots 6 and 14 also that part of Lots 3, 4, 10 and 11 lying northwesterly of a line distant 1 foot southeasterly measured at right angles from the following described line running from a point in University Avenue distant 306.3 feet southeasterly from the northerly corner of Block 1 to a point in the southerly line of Block 1 distant 97.6 feet northwesterly from the most southerly corner of Block 1, all in OAKHURST, according to the recorded plat thereof, Hennepin County, Minnesota.

(37,966± SQ.FT. - 0.87 ACRES) (SUBJECT TO REVISION UPON REVIEW OF TITLEWORK!)

and

#2800 University Ave S.E. (P.I.D. #30-029-23-13-0052)

Lot 1, Block 1, THE TRAVEL COMPANY ADDITION, Hennepin County, Minnesota.

(25,158± SQ.FT. - 0.58 ACRES)

08/22/14, revised areas

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Eric R. Vickaryous
 ERIC R. VICKARYOUS
 Date: August 12th, 2014 Reg. No. 44125

Prospect Park Station Hotel
 2812 University Ave SE
 Minneapolis, Minnesota 55414

PREPARED FOR:
MINNEAPOLIS HOTEL VENTURES

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 PRINT NAME: Gary Tushie
 SIGNATURE: *[Signature]*
 DATE: 08/27/14 LICENSE #: 15146

Revisions & Addendums
 PDR SUBMITTAL 08/25/14
 PLANNING COMMISSION 09/05/14
 SUBMITTAL

-PRELIMINARY- NOT FOR CONSTRUCTION

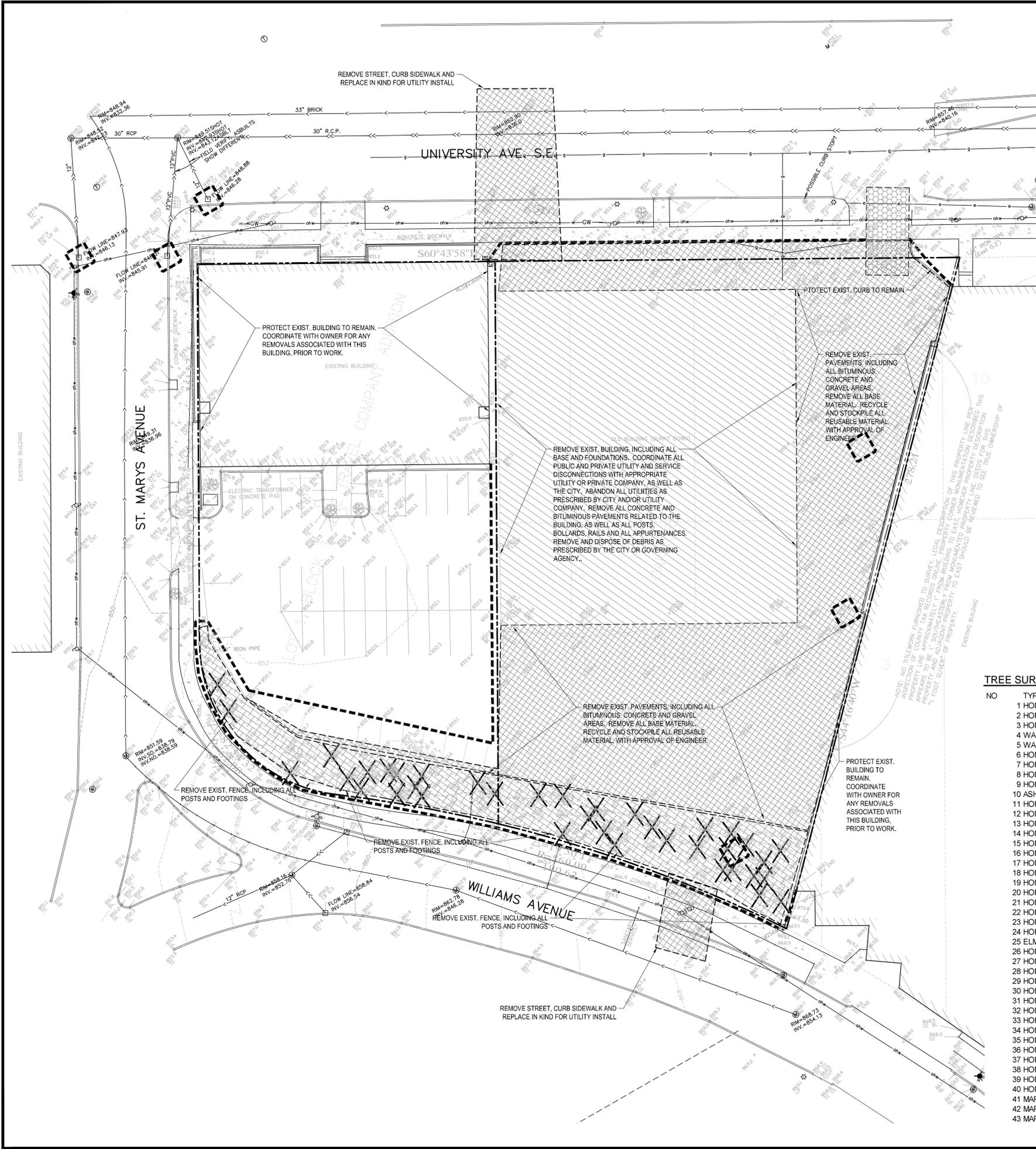
213091A
SITE PLAN
 1.2



SITE DEVELOPMENT SUMMARY (2812 UNIVERSITY)

TOTAL SITE AREA - 37,966 SF (0.87 ACRES)
 TOTAL BUILDING FOOTPRINT - 15,457 SF
 TOTAL IMPERVIOUS AREA - 30,923 SF (81.4%)
 TOTAL NON-BUILDING SITE AREA - 22,509 SF
 TOTAL IMPERVIOUS NON-BUILDING SITE AREA - 15,466 SF (68.7%)





REMOVALS EROSION CONTROL NOTES:

PROJECT NARRATIVE:
 PROJECT IS A REDEVELOPMENT OF AN EXISTING RESIDENTIAL SITES, INCLUDING THE CONSTRUCTION OF A NEW HOTEL, PARKING FACILITY AND CURB CUTS.
CONSTRUCTION REMOVALS SEQUENCING IS PLANNED AS FOLLOWS:

1. INSTALL SILT FENCE/CONSTRUCTION FENCE AROUND SITE, & INLET PROTECTION IN AND AROUND CATCH BASINS WHERE SITE RUNOFF IS FLOWING.
2. REMOVE EXISTING DEBRIS
3. PREP AND TRANSITION TO NEW CONSTRUCTION ACTIVITIES

REMOVALS DISTURBANCE LENGTH OF TIME:
 THE REMOVALS TIMING FOR THIS PROJECT IS EXPECTED TO LAST 10 DAYS UNTIL THE START OF NEW CONSTRUCTION.
TEMPORARY AND PERMANENT STABILIZATION:
 SITE WILL BE ENTIRELY HARD-SCAPED AND STABILIZED WITH THOSE ELEMENTS. SEE EROSION CONTROL PLAN (SHEET C2.0) FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN AFTER DEMOLITION AND REMOVALS ARE COMPLETE.

City of Minneapolis Standard Erosion Control Notes

City of Minneapolis Standard Erosion and Sediment Control Notes for Plans
 These notes may be used as performance standards or requirements for projects not meeting the threshold for a formal plan.

1. Contractor must call a construction start 48 hours prior to any land disturbances 612-673-3867. Failure to do so may result in fines, the revocation of permit and a stop work order being issued.
2. Install perimeter erosion control at the locations shown on the plans prior to the commencement of any land disturbance or construction activities.
3. Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone using a geo-textile fabric beneath the aggregate to prevent migration of soil into the rock from below.
4. Remove all silt and sediment tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs and may be ordered by Minneapolis inspectors at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
5. Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a routine basis such that the devices are fully functional for the next rain event. Sediment deposited in and/or plugging drainage systems is the responsibility of the contractor. Hay bales or filter fabric wrapped gates are not allowed for inlet protection.
6. Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarp, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage gutter line and shall be covered if left more than 24 hours.
7. Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or clogged erosion control devices immediately.
8. Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 72 hours. Use seed and mulch, erosion control matting, and/or sodding and mowing in green space areas. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization with permanent vegetation establishment. Final stabilization for purposes of this removal is 70% established cover over disturbed area.
9. Ready mixed concrete and concrete batch/mix plants are prohibited within the public right of way. All concrete related production, cleaning and mixing activities shall be done in the designated concrete manufacturing locations as shown in the erosion control plan. Under no circumstance may washout water drain onto the public right of way or into any public or private storm drain conveyance.
10. Changes to approved erosion control plan must be approved by the erosion control inspector prior to implementation. Contractor to provide installation and details for all proposed alternate type devices.
11. If de-watering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approval prior to discharge of any water from the site. If the discharge from the de-watering or pumping process is turbid or contains sediment laden water, it must be treated through the use of sediment traps, vegetative filter strips, or other sediment reducing measures such that the discharge is not visibly different from the receiving water. Additional erosion control measures may be required at the discharge point to prevent scour erosion. The contractor shall provide a de-watering/pumping plan to the Erosion Control Inspector prior to initiating de-watering activities.

PREPARED BY: THE CITY OF MINNEAPOLIS PUBLIC WORKS SURFACE WATER AND SEWER. WWW.CITYOFMINNEAPOLIS.ORG/DEPARTMENT/PSW
 JANUARY 7, 2011

REMOVALS LEGEND:

- 932 --- EX. 1' CONTOUR ELEVATION INTERVAL
- [Symbol] COMBINATION BIO-ROLL, CHAIN LINK CONSTRUCTION FENCE
- [Symbol] STABILIZED CONSTRUCTION ENTRANCE
- [Symbol] REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BITUMINOUS, CONC., AND GRAVEL PAVTS.
- [Symbol] REMOVAL OF STRUCTURE INCLUDING ALL FOOTINGS AND FOUNDATIONS.
- [Symbol] REMOVE VEG. INCLUDING ALL STUMPS & ROOTS
- [Symbol] INLET PROTECTION - AT ALL EXIST. INLETS
- [Symbol] TREE PROTECTION

TREE SURVEY & REMOVALS SCHEDULE

NO	TYPE	SIZE	COMMENT	REMOVAL
1	HONEYLOCUST	10		REMOVE
2	HONEYLOCUST	10		REMOVE
3	HONEYLOCUST	12	QUAD TRUNK	REMOVE
4	WALNUT	12		REMOVE
5	WALNUT	10		REMOVE
6	HONEYLOCUST		DEAD	REMOVE
7	HONEYLOCUST	16		REMOVE
8	HONEYLOCUST	12		REMOVE
9	HONEYLOCUST	12		REMOVE
10	ASH	7		REMOVE
11	HONEYLOCUST	12		REMOVE
12	HONEYLOCUST	13		REMOVE
13	HONEYLOCUST	14		REMOVE
14	HONEYLOCUST	14		REMOVE
15	HONEYLOCUST	16	DBL TRUNK	REMOVE
16	HONEYLOCUST	13		REMOVE
17	HONEYLOCUST	14		REMOVE
18	HONEYLOCUST	14		REMOVE
19	HONEYLOCUST	10		REMOVE
20	HONEYLOCUST	7		REMOVE
21	HONEYLOCUST	14		REMOVE
22	HONEYLOCUST	18		REMOVE
23	HONEYLOCUST	10		REMOVE
24	HONEYLOCUST	16		REMOVE
25	ELM	8		REMOVE
26	HONEYLOCUST	8	DBL TRUNK	REMOVE
27	HONEYLOCUST	7		REMOVE
28	HONEYLOCUST	7		REMOVE
29	HONEYLOCUST	10		REMOVE
30	HONEYLOCUST	7		REMOVE
31	HONEYLOCUST	10		REMOVE
32	HONEYLOCUST	10		REMOVE
33	HONEYLOCUST	7		REMOVE
34	HONEYLOCUST	9		REMOVE
35	HONEYLOCUST	8		REMOVE
36	HONEYLOCUST	7		REMOVE
37	HONEYLOCUST	8		REMOVE
38	HONEYLOCUST	11		REMOVE
39	HONEYLOCUST	13		REMOVE
40	HONEYLOCUST	13		REMOVE
41	MAPLE	5		REMOVE
42	MAPLE	8		REMOVE
43	MAPLE	13		REMOVE
				PROTECT/TRIM

OWNER, DEVELOPER, CONTRACTOR SIGNED STATEMENT

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN, SIGNED BY PARTIES BELOW:

OWNER: _____
 DEVELOPER: _____
 CONTRACTOR: _____

OWNER INFORMATION

OWNER: OPM DEVELOPMENT
 2919 KNOX AVE SOUTH
 SUITE 200
 MINNEAPOLIS, MN 55408

GOPHER STATE ONE CALL
 WWW.GOPHERSTATEONECALL.ORG
 (800) 252-1166 TOLL FREE
 (651) 454-0002 LOCAL

REVISION SUMMARY
 DATE DESCRIPTION

REMOVALS PLAN.
C1.0

CivilSite GROUP
 4931 W. 35TH ST., SUITE 200
 ST. LOUIS PARK, MN 55416
 CivilSiteGroup.com
 Matt Pavlek 763-213-9844 Pat Sarver 952-955-2093

TUSHIE MONTGOMERY ARCHITECTS
 7645 LYNDALE AVENUE SOUTH, #100
 MINNEAPOLIS, MINNESOTA 55423-4034
 612.861.9636 FAX: 612.861.9632
 WWW.TMIARCHITECTS.COM

PROSPECT PARK HOTEL
 2800 UNIVERSITY AVE. S.E., MINNEAPOLIS, MINNESOTA
 2929 UNIVERSITY AVE. S.E., MINNEAPOLIS, MINNESOTA

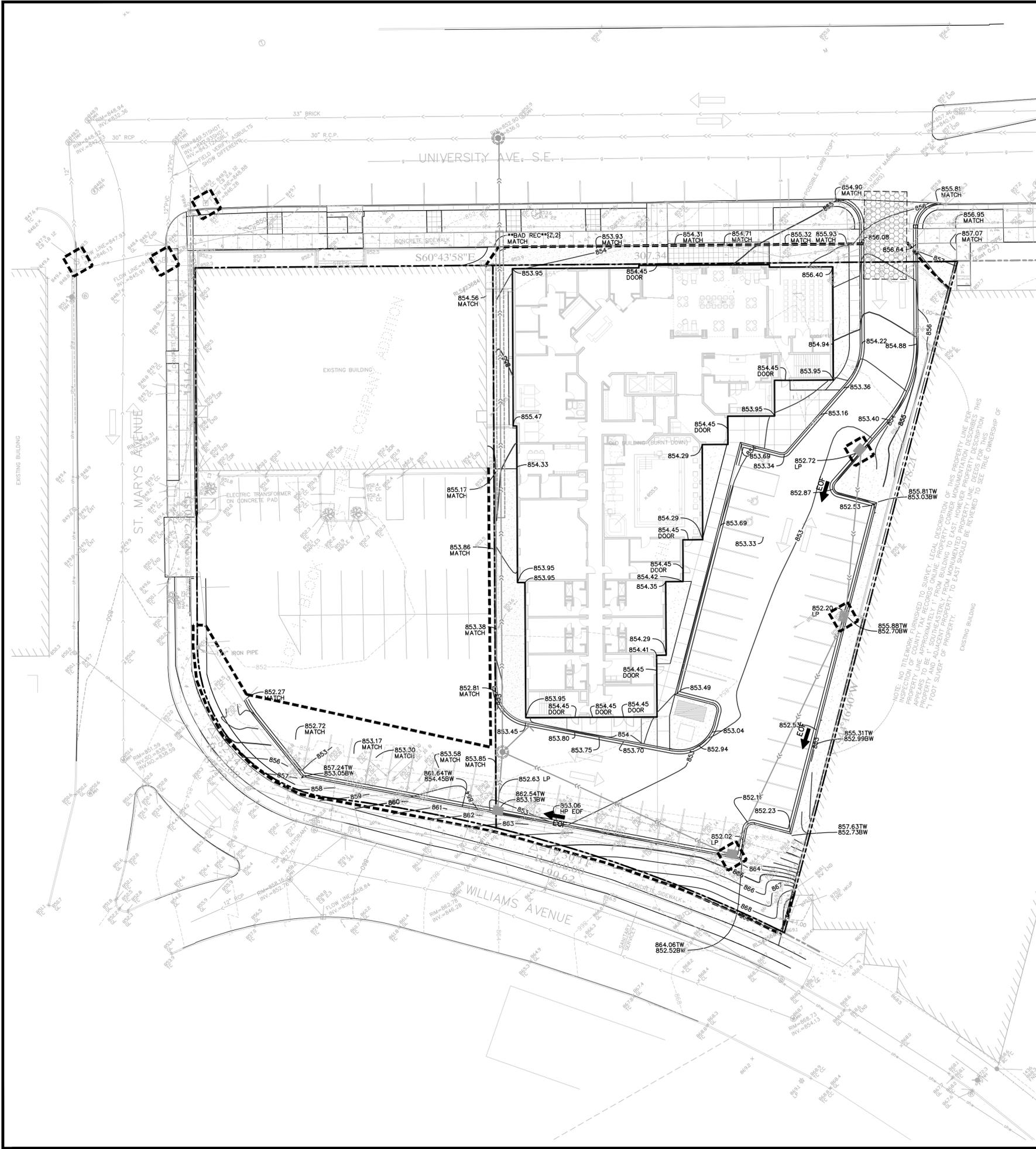
PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 Matthew R. Pavlek
 DATE: 8/25/14 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY
 DATE DESCRIPTION
 8/25/14 PDR SUBMITTAL

REVISION SUMMARY
 DATE DESCRIPTION

REMOVALS PLAN.
C1.0
 © COPYRIGHT 2013 CIVIL SITE GROUP INC.



- GRADING NOTES:**
- SEE SITE PLAN FOR HORIZONTAL LAYOUT.
 - CONTRACTOR SHALL REFER TO RECOMMENDATIONS IN THE GEOTECHNICAL REPORT FOR ANY ADDITIONAL SITE PREPARATION INFORMATION, SOIL CORRECTION, TYPE OF BACKFILL, OR REQUIREMENTS.
 - EXCAVATION AND EMBANKMENT ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS.
 - GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
 - THE CONTRACTOR SHALL SCHEDULE SITE WORK TO MINIMIZE THE DISTURBED AREA AT ANY GIVEN TIME.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOP-SOIL AND SEEDING ACTIVITIES.
 - EXCESS FILL MATERIAL SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR OFF-SITE.
 - PROPOSED SPOT GRADES ARE FLOWLINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
 - GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
 - PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
 - CONTRACTOR SHALL STRIP STOCKPILE, AND RE-SREAD SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM 4" COMPACTED DEPTH TO DISTURBED AREAS TO BE SEED OR SOODED.
 - CONCRETE WASHOUT PROCEDURES SHALL BE COMPLETED OFF-SITE.

NON STORM WATER DISCHARGES:

1. THERE ARE NO KNOWN NON-STORM WATER DISCHARGES ON THE EXISTING SITE AND NONE ARE PROPOSED AS PART OF THIS DEVELOPMENT.

City of Minneapolis Standard Erosion Control Notes

City of Minneapolis Standard Erosion and Sediment Control Notes for Plans
These notes may be used as performance standards or requirements for projects not meeting the threshold for a formal plan.

- Contractor must call a construction start 48 hours prior to any land disturbance 612-673-3867. Failure to do so may result in fines, the revocation of permit and a stop work order being issued.
- Install perimeter erosion control at the location shown on the plan prior to the commencement of any land disturbance or construction activities.
- During beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone using a geo-textile fabric beneath the aggregate to prevent migration of soil into the rock from below.
- Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs and may be ordered by Minneapolis inspectors at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
- Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a routine basis such that the devices are fully functional for the next rain event. Sediment deposited in and/or plugging drainage systems is the responsibility of the contractor. Hay bales or fiber fabric wrapped grates are not allowed for inlet protection.
- Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing soil barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage gutter line and shall be covered if left more than 24 hours.
- Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or eroded erosion control devices immediately.
- Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seed and mulch, erosion control matting, and/or sodding and staking in green space areas. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices when the site has undergone final stabilization with permanent vegetation establishment. Final stabilization for purposes of this removal is 70% established cover over disturbed area.
- Ready mixed concrete and concrete batch plants are prohibited within the public right of way. All concrete related production, cleaning and mixing activities shall be done in the designated concrete mixing/production locations as shown in the grading control plan. Under no circumstances may washout water drain onto the public right of way or into any public or private storm sewer.
- Changes to approved erosion control plan must be approved by the erosion control inspector prior to implementation. Contractor to provide installation and details for all proposed alternate type devices.
- If dewatering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approvals prior to discharge of any water from the site. If the discharge from the dewatering or pumping process is turbid or contains sediment laden water, it must be treated through the use of sediment traps, vegetative filter strips, or other sediment reducing measures such that the discharge is not visibly different from the receiving water. Additional erosion control measures may be required at the discharge point to prevent silt erosion. The contractor shall provide a dewatering/pumping plan to the Erosion Control Inspector prior to initiating dewatering activities.

Prepared by The City of Minneapolis Public Works Service Water and Sewer Department
 January 7, 2011

GROUNDWATER INFORMATION:

PER GEOTECHNICAL REPORT TBD

THE BORINGS & GROUNDWATER ARE AS FOLLOWS:
 TBD

ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION PER PEER REPORT DATED TBD
 PROPOSED FOOTING DRAIN TILE INVERT ELEVATION = TBD

GROUNDWATER STATEMENT:

THIS PROJECT DOES NOT PROPOSE ANY PERMANENT GROUNDWATER DISCHARGE TO THE STORM WATER SYSTEM.

- GRADING PLAN LEGEND:**
- 891 EX. 1' CONTOUR ELEVATION INTERVAL
 - 819 1.0' CONTOUR ELEVATION INTERVAL
 - 891.0 SPOT GRADE ELEVATION (FLOW LINE UNLESS OTHERWISE NOTED)
 - 891.0 G SPOT GRADE ELEVATION GUTTER
 - 891.0 BC SPOT GRADE ELEVATION BACK OF CURB (TOP OF CURB)
 - 891.0 BS/TS SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS
 - T.O. TIP OUT (T.O.) CURB AND GUTTER WHERE APPLICABLE-TAPER GUTTERS TO DRAIN AS SHOWN
 - EXISTING AND PROPOSED DRAINAGE ARROWS

- EROSION CONTROL LEGEND:**
- COMBINATION BIO-ROLL, CHAIN LINK CONSTRUCTION FENCE
 - INLET PROTECTION CURB INLET FILTER
 - TREE PROTECTION

OWNER, DEVELOPER, CONTRACTOR SIGNED STATEMENT

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN, SIGNED BY PARTIES BELOW:

OWNER: _____
 DEVELOPER: _____
 CONTRACTOR: _____

GOPHER STATE ONE CALL
 WWW.GOPHERSTATEONECALL.ORG
 (800) 252-1166 TOLL FREE
 (651) 454-0002 LOCAL

C2.0

1" = 20'-0"

10'-0" 0 20'-0"

CivilSite GROUP
 4811 W. 35TH ST., SUITE 200
 ST. LOUIS PARK, MN 55416
 CivilSiteGroup.com
 Matt Pavlek 763-213-3844 Pat Sarver 952-950-2003

TUSHIE MONTGOMERY ARCHITECTS
 7645 LYNDALE AVENUE SOUTH, #100
 MINNEAPOLIS, MINNESOTA 55423-4034
 612.861.9636 FAX: 612.861.9632
 WWW.TMARCHITECTS.COM

PROSPECT PARK HOTEL
 2800 UNIVERSITY AVE. S.E., MINNEAPOLIS, MINNESOTA
 2929 UNIVERSITY AVE. S.E., MINNEAPOLIS, MINNESOTA

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavlek
 DATE: 8/25/14 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

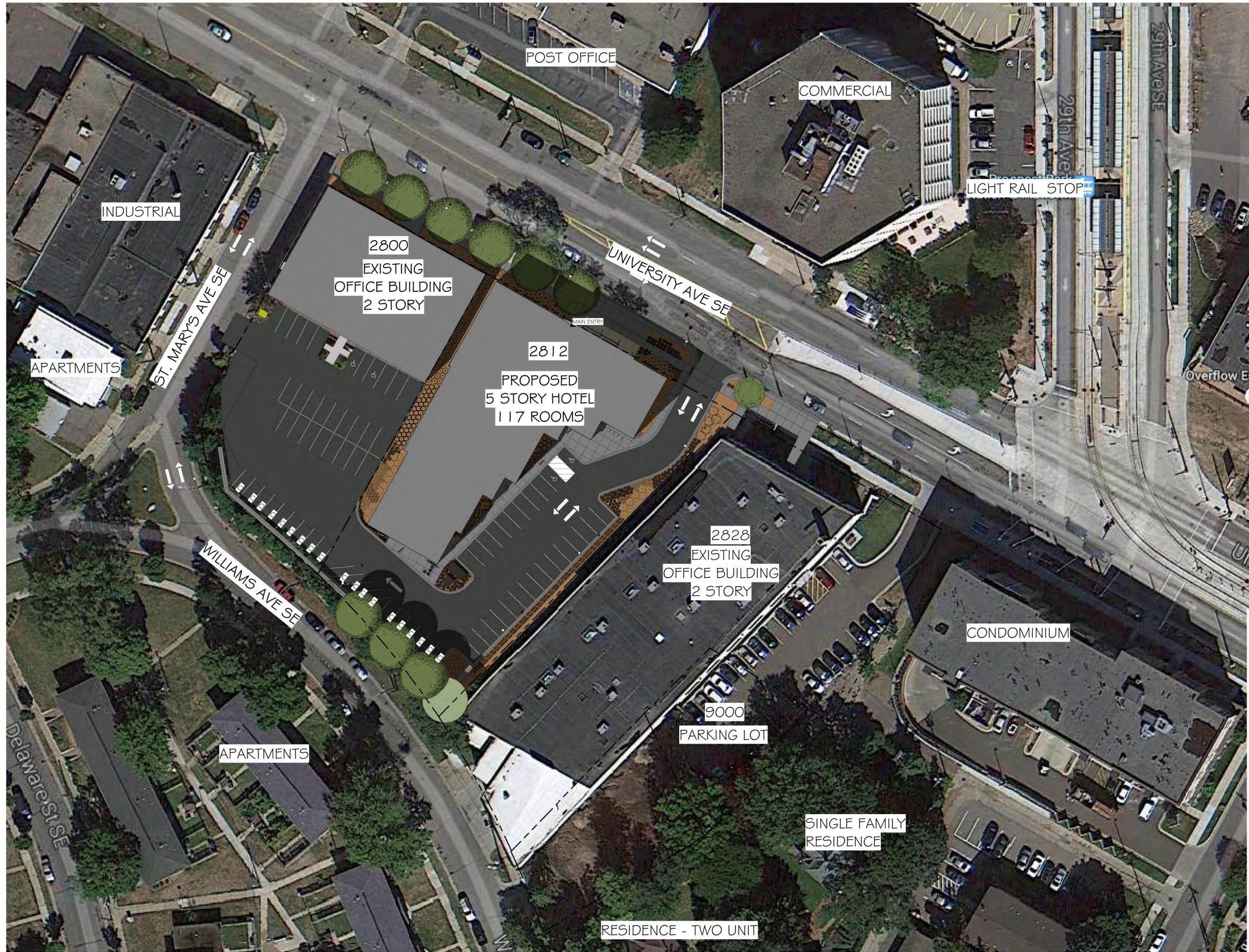
DATE	DESCRIPTION
8/25/14	PDR SUBMITTAL

REVISION SUMMARY

DATE	DESCRIPTION
------	-------------

GRADING PLAN.

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 2812 University Ave SE-
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PREPARED FOR:
MINNEAPOLIS HOTEL VENTURES

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 PRINT NAME: Daniel L. Pettinen
 SIGNATURE:
 DATE: 08/27/14 LICENSE #: 22906

Revisions & Addendums	
PDR SUBMITTAL	08/25/14
PLANNING COMMISSION SUBMITTAL	09/05/14

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CONTEXT SITE PLAN

1.3



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 PRINT NAME: Gary E. Feilinen
 SIGNATURE:
 DATE: 08/27/14 LICENSE #: 28906

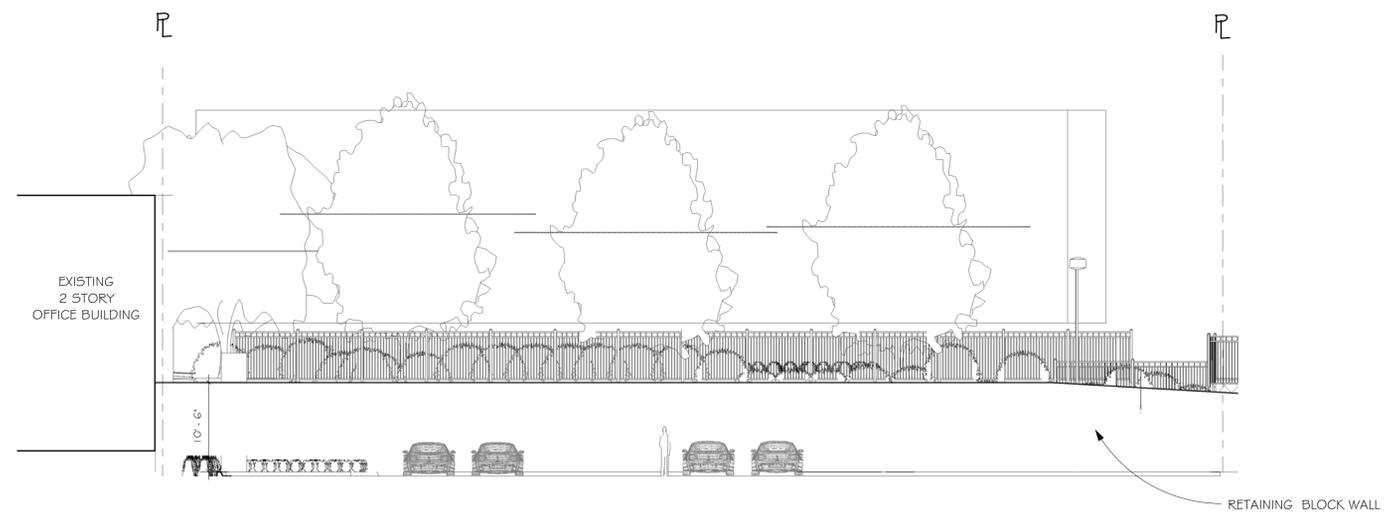
Revisions & Addendums	
PDR SUBMITTAL	08/25/14
PLANNING COMMISSION SUBMITTAL	09/05/14

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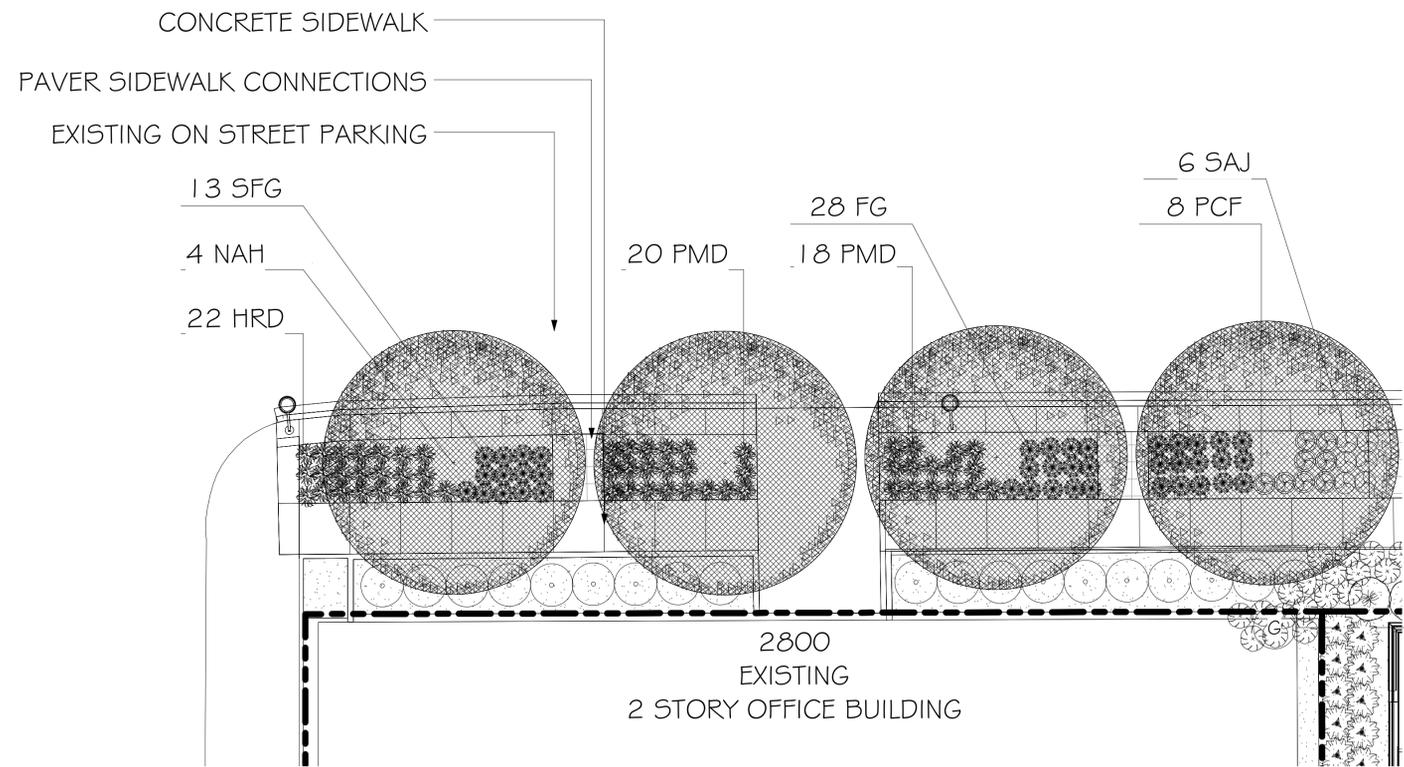
SITE SECTIONS

1.5



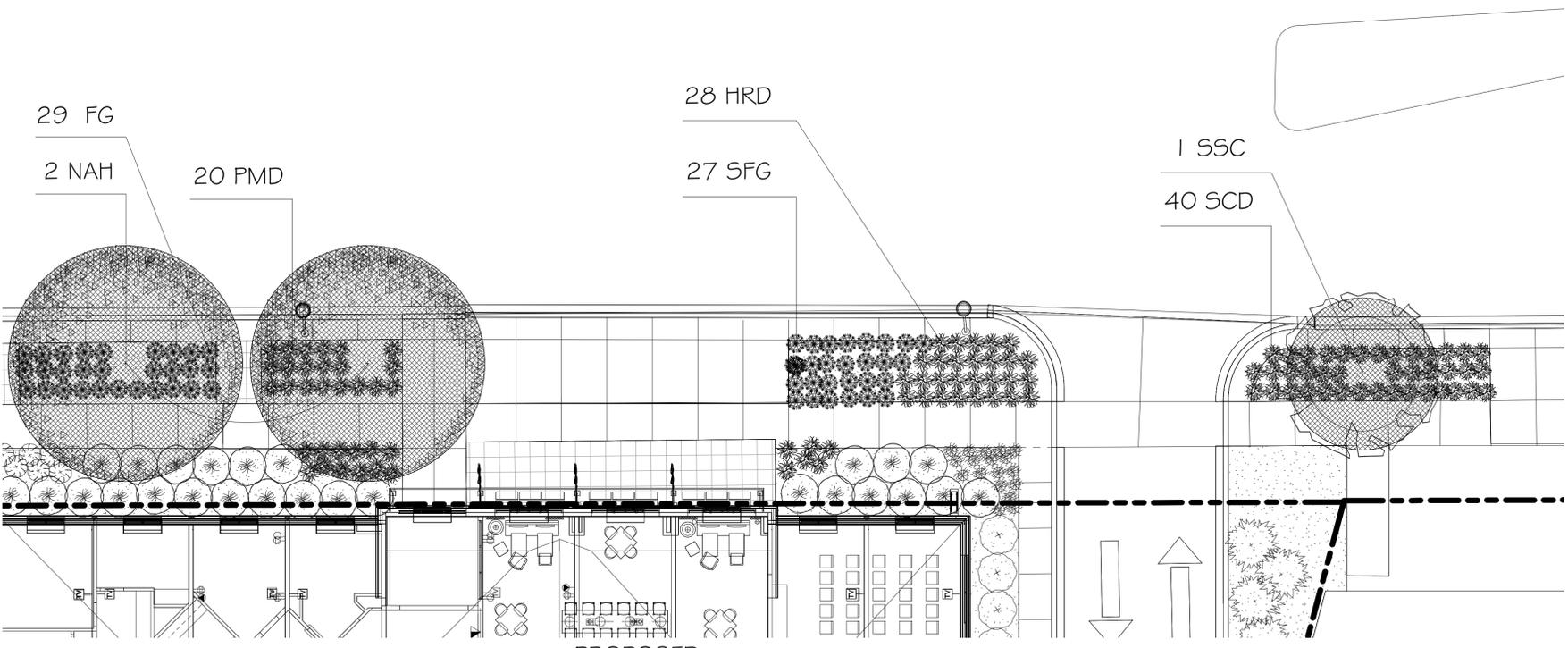
1 SITE SECTION
 SCALE 3/32" = 1'-0"

2 RETAINING WALL ELEVATION AT WILLIAMS AVE SE
 SCALE 1" = 10'-0"



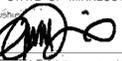
Planting Schedule - Phase 1			
Common Name	Count	Botanical Name	Size
1. Deciduous Tree			
Northern Acclaim Honeylocust(NAH)	9	Gleditsia triacanthos var. inermis 'Harve'	3" Caliper Ball and Burlap
Spring Snow Crabapple(SSC)	1	Malus 'Spring Snow'	2" Caliper Ball and Burlap
2. Evergreen Tree			
Colorado Blue Spruce(CBS)	1	Picea pungens	8' Tall Ball and Burlap
3. Shrub			
Annabelle Hydrangea(AHD)	27	Hydrangea arborescens 'Annabelle'	#5 Container
Arctic Blue Willow(ABW)	8	Salix purpurea 'nana'	#5 Container
Dwarf Korean Lilac(DKL)	12	Syringa meyeri 'Palibin'	#5 Container
Goldflame Spirea(GFS)	50	Spiraea x bumalda 'Goldflame'	#5 Container
Jackmanni Clematis(JC)	12	Clematis x jackmanii	#3 Container
Tiger Eyes Sumac(TES)	5	Rhus typhina 'Baltiger'	#5 Container
Tor Spirea(TSP)	15	Spiraea betulifolia 'Tor'	#5 Container
4. Perennial			
Autumn Joy Sedum(SAJ)	16	Sedum x 'Autumn Joy'	#1 Container
Black-Eyed Susan(BES)	14	Rudbeckia 'Goldstrum'	#1 Container
Earth Angel Hosta(EAH)	56	Hosta 'Earth Angel'	#1 Container
Happy Returns Daylily(HRD)	120	Hemerocallis 'Happy Returns'	#1 Container
Karl Foerster Feather Reed Grass(FRG)	197	Calamagrostis x acutiflora 'Karl Foerster'	#1 Container
Miscanthus Flame Grass(FG)	57	Miscanthus sinensis 'Purpurascens'	#1 Container
Miscanthus Silver Feather Grass(SFG)	80	Miscanthus sinensis 'Silberfeder'	#1 Container
Nepeta Walkers Low(NWL)	42	Nepeta x faassenii 'Walker's Low'	#1 Container
Pardon Me Daylily(PMD)	148	Hemerocallis 'Pardon Me'	#1 Container
Purple Coneflower(PCF)	27	Echinacea purpurea	#1 Container
Russian Sage(RS)	5	Perovskia atriplicifolia	#1 Container
Salvia May Night(SMN)	46	Salvia x superba 'Mainnacht'	#1 Container
Spiderwort(SPW)	47	Tradescantia x 'Sweet Kate'	#1 Container
Strawberry Candy Daylily(SCD)	40	Hemerocallis 'Strawberry Candy'	#1 Container
5. Evergreen Shrub			
Mint Julep Juniper(MJJ)	28	Juniperus chinensis 'Montlep'	#5 Container
Shrub			
Goldflame Spirea(GFS)	19	Spiraea x bumalda 'Goldflame'	#5 Container

1 2800 UNIVERSITY AVE SE PLAN - ALTERNATE #1
SCALE 1" = 10'-0"



2 2812 UNIVERSITY AVE SE PLAN - PROPOSED
SCALE 1" = 10'-0"

PREPARED FOR:
**MINNEAPOLIS
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PRINT NAME: Gary Tushie
SIGNATURE: 
DATE: 08/27/14 LICENSE #: 15146

Revisions & Addendums
PDR SUBMITTAL 08/25/14
PLANNING COMMISSION 09/05/14
SUBMITTAL

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STREETSCAPE
LANDSCAPE PLAN

1.7A

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 PRINT NAME: Daniel L. Pettinen
 SIGNATURE:
 DATE: 08/27/14 LICENSE #: 22906

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FIRST FLOOR PLAN

1.8

1 FIRST FLOOR
 SCALE 1/8" = 1'-0"



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SECOND FLOOR PLAN

1.9



1 SECOND FLOOR
 NOT TO SCALE



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THIRD FLOOR PLAN

1.10



1 3rd Floor Plan
NOT TO SCALE



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FOURTH FLOOR PLAN

|||



4th FLOOR
NOT TO SCALE



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FIFTH FLOOR PLAN

1.12



5th FLOOR
 NOT TO SCALE



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 SIGNATURE:
 DATE: 08/27/14 LICENSE #: 22906

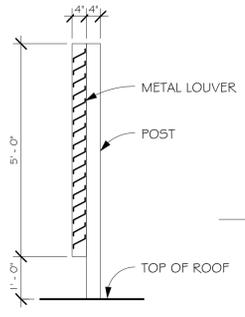
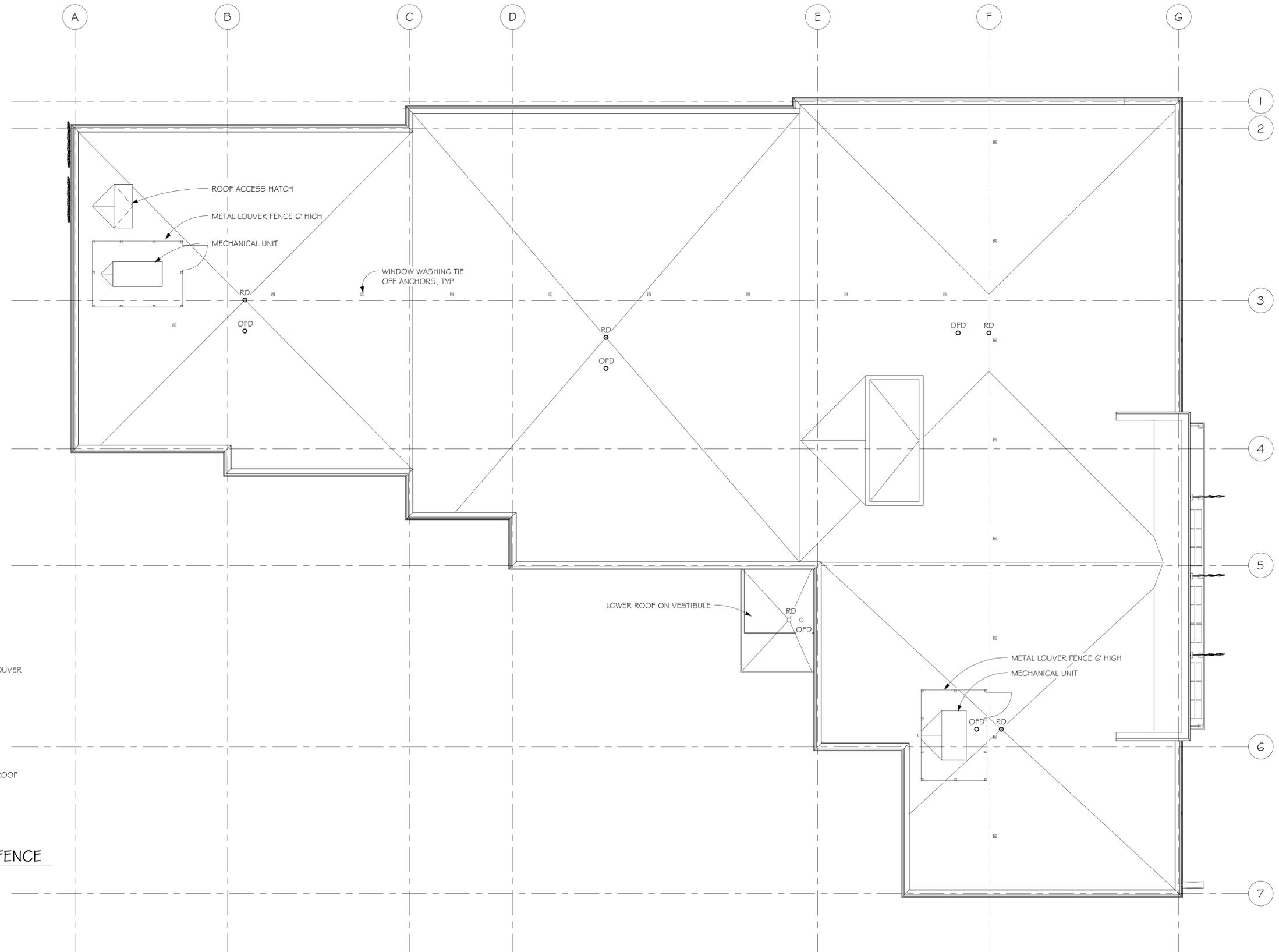
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ROOF PLAN

1.13



2 ROOF TOP SCREEN FENCE
 SCALE 1/2" = 1'-0"

1 ROOF
 NOT TO SCALE



EXTERIOR FINISH SCHEDULE

BRICK: #1	MANUFACTURER: SIOUX CITY BRICK
COLOR: WHITE PLAINS	
SIZE: UTILITY	
MORTAR: STANDARD GRAY	
STUCCO: #1	MANUFACTURER: SYNERGY STUCCO SYSTEM
TYPE: CEMENTITIOUS STUCCO	
COLOR: DARK BRONZE	
FINISH: MEDIUM	
WINDOWS:	MANUFACTURER: QUAKER
FINISH: COMPOSITE	
COLOR: DARK BRONZE	
WHITE	
STOREFRONT WINDOWS:	MANUFACTURER: KAWNEER
FINISH: ANODIZED ALUMINUM	
METAL LOUVERS:	MANUFACTURER: UNI-CLAD
FINISH: PRE-FINISHED DARK BRONZE	
METAL CORNICE:	MANUFACTURER: UNI-CLAD
FINISH: PRE-FINISHED DARK BRONZE	



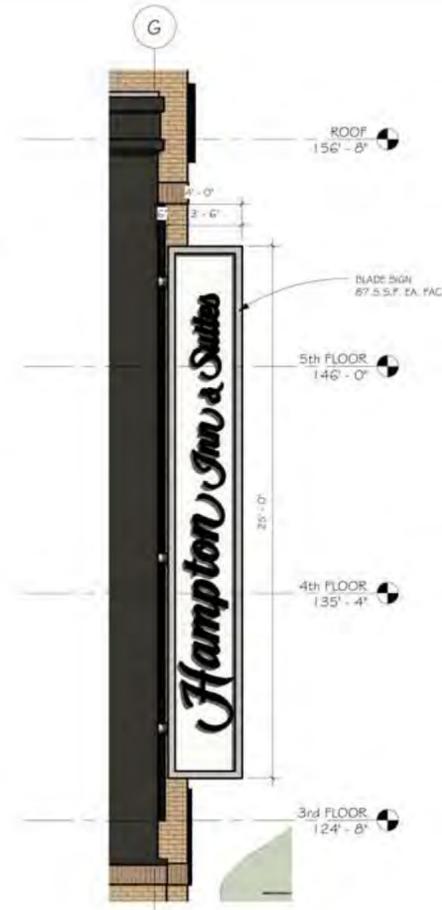
1 NORTHEAST ELEVATION
 SCALE 1/8" = 1'-0"

NORTHEAST ELEVATION

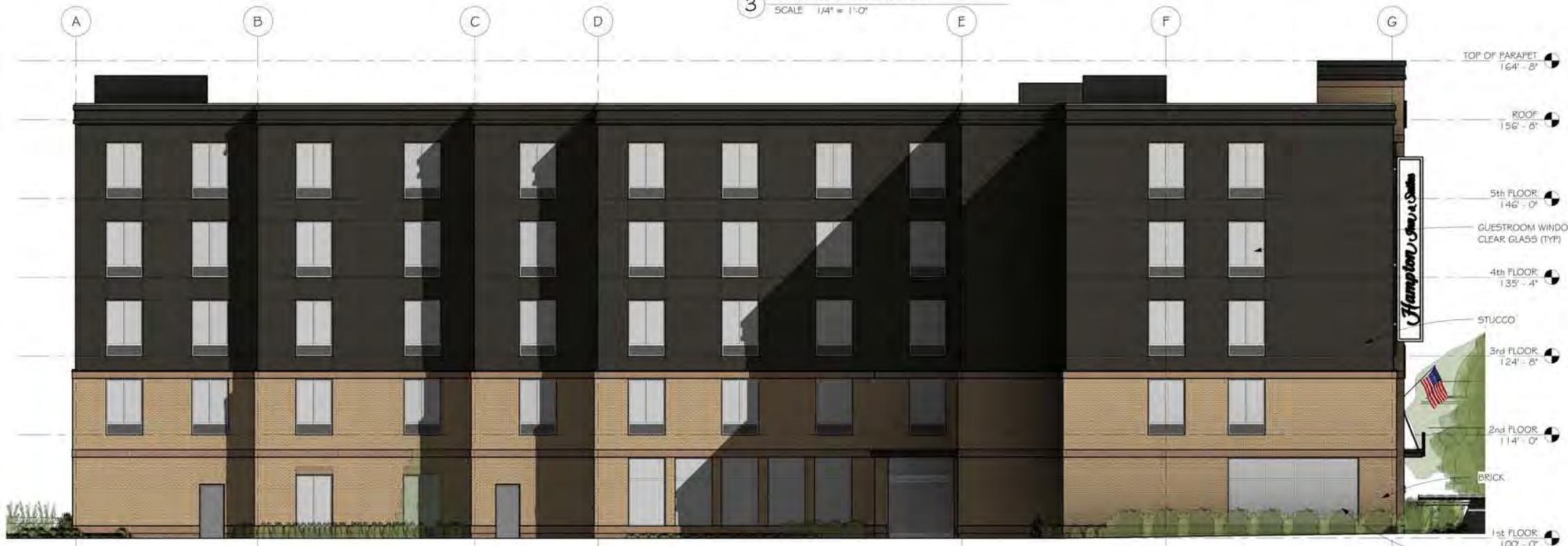
	FLOOR 1	%	FLOOR 2-5	TOTAL	%
BRICK	850 SF	47%	2,176 SF	3,026 SF	38%
GLASS	955 SF	53%	1,392 SF	2,347 SF	30%
METAL			444 SF	444 SF	6%
STUCCO			2,054 SF	2,054 SF	26%
	1,805 SF			7,871 SF	



3 CANOPY SIGNAGE
 SCALE 1/4" = 1'-0"



4 BLADE SIGN
 SCALE 1/4" = 1'-0"



2 SOUTHEAST ELEVATION
 SCALE 1/8" = 1'-0"

SOUTHEAST ELEVATION

	FLOOR 1	%	FLOOR 2-5	TOTAL	%
BRICK	1,902 SF	75%	1,266 SF	3,168 SF	30%
GLASS	571 SF	23%	1,364 SF	1,935 SF	18%
METAL	64 SF	2%	323 SF	387 SF	4%
STUCCO			5,235 SF	5,235 SF	48%
	2,537 SF			10,725 SF	

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PERCENTAGE OF WINDOWS FOR ELEVATIONS

LABEL	CODE REQUIRED	ELEVATED SQ. FT. OF AREA	REQUIRED SQ. FT. OF GLASS	PROPOSED FT. OF GLASS	%
NORTHEAST ELEVATION - UNIVERSITY AVE SE.	40%	1032	413	714	69%
SOUTHWEST ELEVATION A - WILLIAMS AVE SE. (CLOSEST ELEVATION TO STREET)	40%	423	169	29	07%
SOUTHWEST ELEVATION B - WILLIAMS AVE SE. (COMPLETE ELEVATION)	40%	1032	413	57	06%
SOUTHEAST ELEVATION (FACING PARKING AREA)	30%	1449	435	530	37%

*MEASURED FROM 2 FEET TO 10 FEET ABOVE FIRST FLOOR ELEVATION



1 SOUTHWEST ELEVATION
 SCALE 1/8" = 1'-0"

SOUTHWEST ELEVATION

	FLOOR 1	%	FLOOR 2-5	TOTAL	%
BRICK	1,550 SF	85%	888 SF	2,438 SF	32%
GLASS	147 SF	8%	744 SF	891 SF	12%
METAL	110 SF	7%	176 SF	286 SF	4%
STUCCO			3,957 SF	3,957 SF	52%
	1,807 SF			7,572 SF	



2 NORTHWEST ELEVATION
 SCALE 1/8" = 1'-0"

NORTHWEST ELEVATION

	FLOOR 1	%	FLOOR 2-5	TOTAL	%
BRICK	2,190 SF	82%	1,228 SF	3,418 SF	32%
GLASS	396 SF	15%	1,486 SF	1,882 SF	17%
METAL	80 SF	3%	352 SF	432 SF	4%
STUCCO			5,120 SF	5,120 SF	47%
	2,666 SF			10,852 SF	



4 BIRDSEYE VIEW OF BUILDING FROM CORNER ST. MARY'S AVE SE. & WILLIAMS AVE SE.
SCALE



1 VIEW OF BUILDING ON UNIVERSITY AVE SE.
SCALE



2 VIEW LOOKING SOUTH ON UNIVERSITY AVE SE.
SCALE



5 VIEW OF FRONT ENTRANCE FACADE ON UNIVERSITY AVE SE.
SCALE



3 VIEW OF BACK OF BUILDING FROM WILLIAMS AVE SE.
SCALE



VIEW LOOKING WEST FROM THE CORNER OF UNIVERISITY AVE S.E. AND 29TH AVE S.E.

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 PRINT NAME: Daniel L. Petinen
 SIGNATURE:

DATE: 08/27/14 LICENSE #: 22906

Revisions & Addendums	
PDR SUBMITTAL	08/25/14
PLANNING COMMISSION SUBMITTAL	09/05/14

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**TRAIN STATION
 PERSPECTIVE**

1.17



VIEW LOOKING WEST FROM ACROSS UNIVERSITY AVE S.E.

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**TRAIN STATION
PERSPECTIVE**

1.18



VIEW LOOKING SOUTH ACROSS UNIVERISITY AVE S.E.

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 PRINT NAME: Daniel L. Petlinen
 SIGNATURE:

DATE: 08/27/14 LICENSE #: 22906

Revisions & Addendums	
PDR SUBMITTAL	08/25/14
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UNIVERISITY AVE SE
 PERSPECTIVE

1.19

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2812 University Ave SE-
Minneapolis, Minnesota 55414

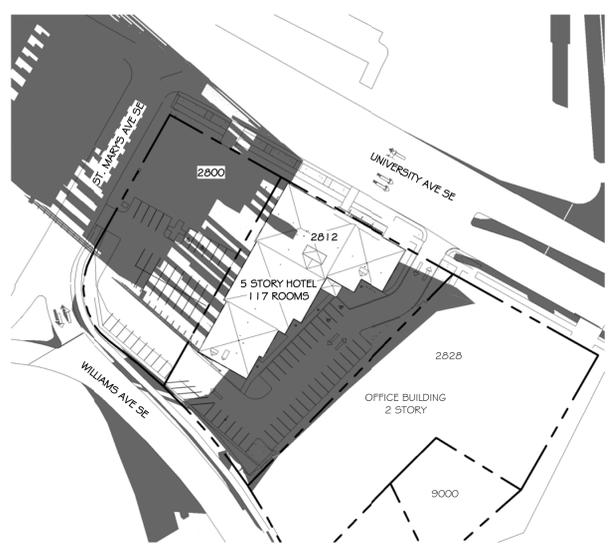
PREPARED FOR:
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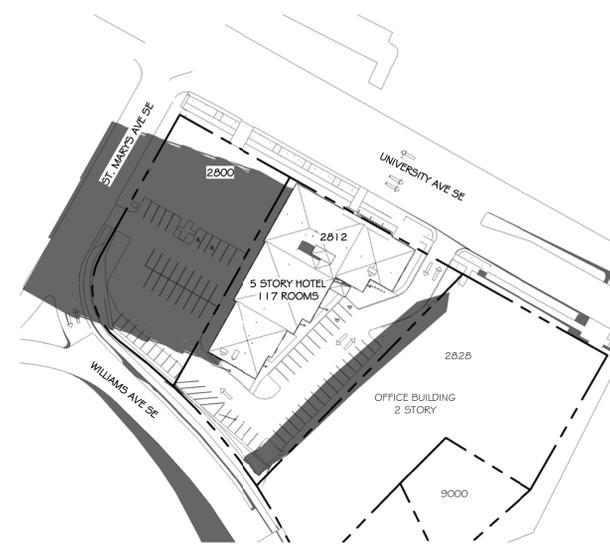
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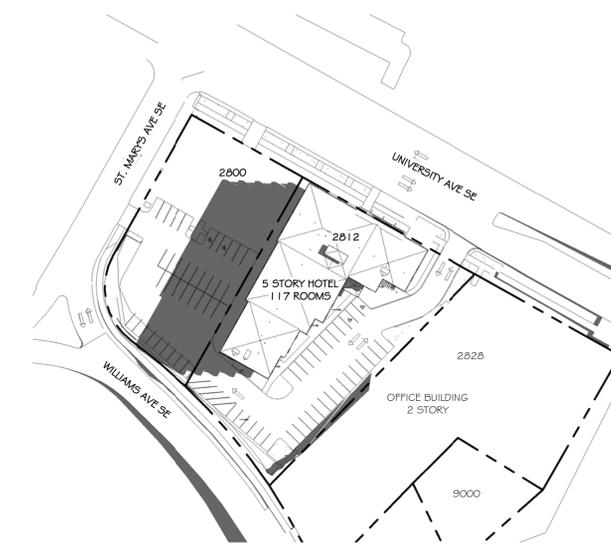
213091A
SHADOW STUDY
1.6



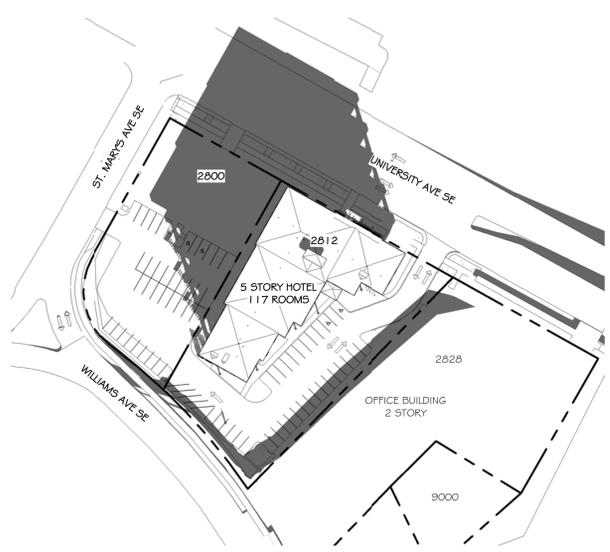
7 Shadow Study Winter 9am
SCALE 1" = 80'-0"



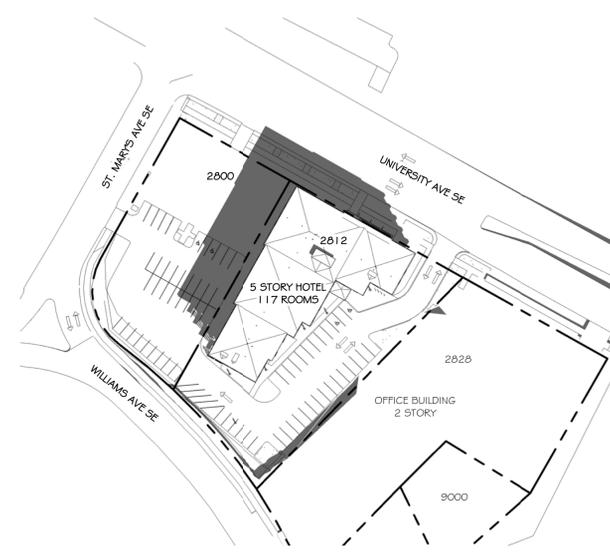
4 Shadow Study Spring 9am
SCALE 1" = 80'-0"



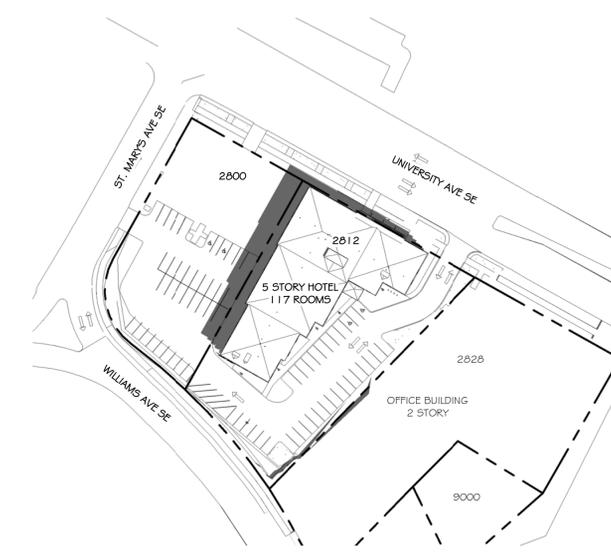
1 Shadow Study Summer 9am
SCALE 1" = 80'-0"



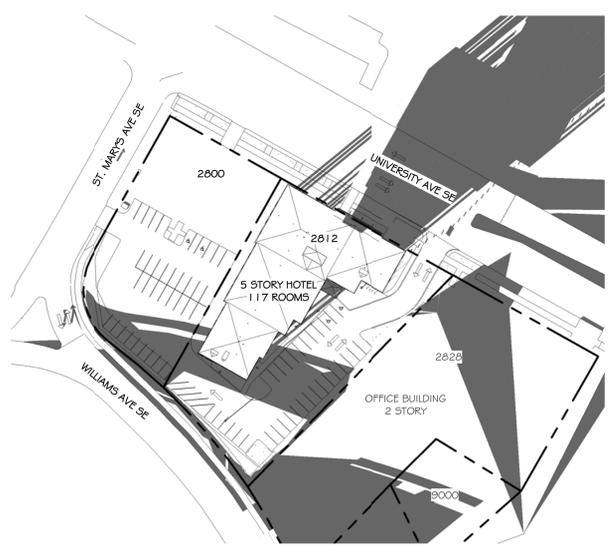
8 Shadow Study Winter 12pm
SCALE 1" = 80'-0"



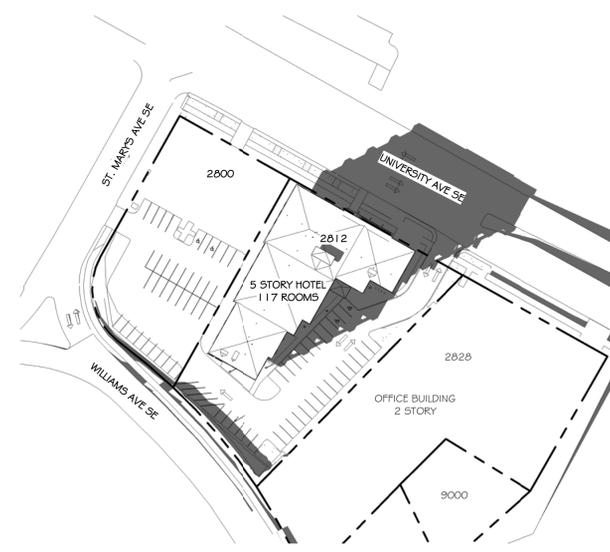
5 Shadow Study Spring 12pm
SCALE 1" = 80'-0"



2 Shadow Study Summer 12pm
SCALE 1" = 80'-0"



9 Shadow Study Winter 5pm
SCALE 1" = 80'-0"



6 Shadow Study Spring 5pm
SCALE 1" = 80'-0"



3 Shadow Study Summer 5pm
SCALE 1" = 80'-0"



4 EXISTING SITE FROM WILLIAMS AVE SE
SCALE 1/2" = 1'-0"



5 VIEW OF NEIGHBORS FROM WILLIAMS AVE SE
SCALE 1/2" = 1'-0"



6 PROSPECT PARK LIGHT RAIL STATION FROM 9TH AVE SE
SCALE 1/2" = 1'-0"



3 VIEW LOOKING WEST ON UNIVERSITY AVE SE
SCALE 1/2" = 1'-0"



2 VIEW LOOKING EAST ON UNIVERSITY AVE SE
SCALE 1/2" = 1'-0"



1 EXISTING CONTEXT IMAGE
SCALE 1/2" = 1'-0"

Prospect Park Station Hotel
2812 University Ave SE-
Minneapolis, Minnesota 55414

PREPARED FOR:
MINNEAPOLIS HOTEL VENTURES

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PRINT NAME: Daniel L. Petlinen
SIGNATURE:
DATE: 08/27/14 LICENSE #: 22906

Revisions & Addendums	
PDR SUBMITTAL	08/25/14
PLANNING COMMISSION SUBMITTAL	09/05/14

-PRELIMINARY- NOT FOR CONSTRUCTION

213091A
EXISTING CONTEXT IMAGES

September 25, 2014

Dear Mei-Ling Anderson and members of the Planning Commission,

We're writing in response to the Notice of a Public Hearing filed on behalf of Dave Barnhart and Jeff Barnhart for the property located at 2812 University Ave. SE.

We've owned a condominium in the MFlats building at 2900 University Ave. SE since 2008. It has been continuously occupied by our family members since then. At the time of purchase, we paid a premium price to own a unit on the 5th floor. Our windows face west and feature a view of downtown Minneapolis.

We're emphatically against the proposal of building a hotel so close to us. A hotel is a business that never closes. Other businesses in the area have normal operating hours. Who would ever find such a situation acceptable? The noise level will be increased with deliveries and guests arriving and departing all hours of the night and day. The sign size in the proposal is completely excessive. It will likely be lit very brightly all night and shine directly into the windows of bedrooms facing west. Traffic will be worse. Can anyone honestly say they would like to live close to a hotel? No. The quality of life for those who live in our building is going to be diminished. The value of our unit will seriously be compromised. The view will be of the hotel and not the skyline. The relative peace at night will be gone.

In doing research for more information about the proposal, we found an interesting quote from Jeff Barnhart about the light rail. He said, "What makes my business unique is the ambience of our café".

Now Mr. Barnhart wants to destroy the quality of life and ambience of our home. He can be upset when change affects his business interests, but it is apparently just fine to forever change the value and quality of our property. (We've enclosed a copy of the Daily Planet article for your information.)

Another point we raise is that if the application presented is approved, it certainly sets a new standard for the area. Will all new buildings be 5 stories and have extremely large projecting signs?

We completely understand change is inevitable, but we sincerely hope the committee will consider our concerns. Wealthy land owners are powerful. Please do not rubber stamp every single item the Barnhart's are asking for. There are just too many variances in their proposal. The rezoning is inappropriate. The sign is excessive. The maximum height of 5 stories is too high.

Thank you for taking the time to read our comments.

Thomas and Sharon Fontana
John Fontana

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Overflow Espresso Café owner: "The Central Corridor will kill us"

By Jeanette Fordyce, TC Daily Planet
September 01, 2011



Photo courtesy Overflow Café

"The Central Corridor will kill us in the short run. I'm thinking of shutting down my coffee shop during the construction," said Jeff Barnhart, property manager for Prospect Park Properties and Overflow Espresso Café in Minneapolis. The Central Corridor light rail project will take his corner property for a three-car station, according to Barnhart.

"What makes my business unique is the ambience of our café," said Barnhart. "Construction of a three-car station at the corner of our business will affect our pond and 28 car-parking spaces. I don't know if the daycare playground will be affected." The café is spacious and modern inside with large windows and a deck overlooking a large pond and fountain.

"I can apply for a forgivable loan from the Met Council, but I understand that I have to prove that my business is hurting," said Barnhart.

The coffee shop opened June 4, 2007 and in March of 2010 the café finally broke even financially. "Our business has been growing slowly since 2010, but this corner is

Pick of the Market dinner




September 21 | Prepared by chef Andrew Kraft

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PPERRIA

Prospect Park East River Road Improvement Association, Inc.

29 September, 2014

To: Ms. Mei-Ling C. Anderson
Planner, City of Minneapolis

From: Richard Brownlee
PPERRIA Zoning and Project Review Committee Chair

Re: Proposal by the Kaeding Management Group & Minneapolis Hotel Ventures LLC for a hotel at 2812 University Ave SE. Master Land Use Application #6763

Dear Ms. Anderson,

The purpose of this letter is to inform you and the Planning Commission of the PPERRIA Zoning and Project Review Committee's deliberations of the proposal by the Kaeding Management Group and Minneapolis Hotel Ventures LLC (the Developer) for a hotel at 2812 University Ave. SE. Although the committee has worked closely with the developer to help optimize this project, it should be noted that it does not address community expectations for additional diverse housing on this site that would have complemented the City's redevelopment of the Glendale Town-homes.

The Developer came before our committee, in July of this year, with a preliminary plan for a mid-range hotel that was intended to serve the University area, and located across from an LRT station. The committee discussed and commented on the project, then formed a sub-committee to meet with the developer on an as-needed basis. The developer then agreed to respond to the "UDA Development Principles" derived from the Principles adopted by the University District Alliance. The responses were largely positive and showed how the proposed project can be a benefit to the neighborhood. As noted however, the developers did not directly address the principle of Mixed Use Density or of providing for those who want to reside in the area.

This review process culminated with a memorandum of understanding (MOU) signed by representatives of the Developer and PPERRIA's Zoning and Project Review Committee. As a result, PPERRIA has agreed to the scope and purpose of the project, as described in the site plan, plans, elevations, perspectives, and narrative submitted to the City, and dated August 27th, 2014. PPERRIA also supports approval of the variances requested, as per the language in the MOU (A copy of which is attached).

In addition, the committee would like the Planning Commission to know of its views on the requested sign variance: We are of the opinion that larger-scale projecting signage is beneficial along this portion (west of the light-rail Green Line) of University Ave. The extraordinary width of the right-of-way (4 traffic lanes plus 2 parking or turn-lanes), and the swift, dense traffic movements of cars and trucks, make it difficult (and sometimes dangerous) for drivers attempting to find a particular business or address. Appropriately scaled projecting signage effectively addresses this concern. Furthermore, we feel the avenue could benefit aesthetically from a stronger definition and enlivening of its edges, which well-designed signage can contribute to. In short, we support this project's building identification signage, which is appropriately designed and sized for University Ave., and the variance it requires.

Sincerely yours,
Richard Brownlee,
PPERRIA Zoning and Project Review Committee Chair

Cc: Cam Gordon, Jeff Barnhart, Christina Larson, PPERRIA Zoning & Project Review Committee members,

Attachments:

-MEMORANDUM OF UNDERSTANDING, dated September 29th, 2014

MEMORANDUM OF UNDERSTANDING

DATE: September 29th, 2014

BETWEEN: Prospect Park East River Road Improvement Association (PPERRIA)

AND: The Kaeding Management Group & Minneapolis Hotel Ventures, LLC

RE: Proposed Prospect Park Station Hotel at 2812 University Ave.

The Kaeding Management Group and Minneapolis Hotel Ventures, LLC (the "Developer") is seeking approvals from the Minneapolis Planning Commission ("MPC") for the Proposed Prospect Park Station Hotel at 2812 University Ave. with 117 rooms, ground level reception and breakfast room, and on-grade parking (for 37 cars (the "Project"). As part of this process, the Developer has held discussions with the Zoning and Project Review Committee of the Prospect Park East River Road Improvement Association ("PPERRIA") over the past several months, resulting in a plan for the Project that was presented to the committee on August 12th, 2014, revised, submitted to the City, and dated August 27th, 2014 (the "Project Plan"). The Developer and PPERRIA believe these interactions have resulted in a better overall plan for this Project than was initially proposed—better both for the neighborhood and for the Developer. The intention of this MOU is to detail the commitments that the Developer is making to the neighborhood in order to secure PPERRIA support for the Project:

-The Project supports University District Alliance Principles, as detailed in the "Conformance to UDA Design Principles of Proposed Prospect Park Station Hotel at 2812 University Ave." document submitted by the Developer, and dated September 29th, 2014.

-PPERRIA supports the rezoning of the site from C2 to C3A. PPERRIA also supports consideration of the rezoning of the adjacent property, 2800 University Ave. SE from OR2 to C3A. If redevelopment of the 2800 site occurs in the future, the Developer agrees to make an earnest effort to find another hotel use, or expansion of the proposed Hampton Inn at 2812 University Ave., onto the 2800 University Ave. site.

-The Developer agrees the hotel shall make its lobby, breakfast room, and meeting rooms available for use by the public.

-PPERRIA supports the variance to allow parking lot frontage along Williams Ave SE to be approximately 112 feet, in lieu of the allowed maximum of 60'. The Developer agrees to screen the parking lot perimeter with a combination of evergreens and ornamental 'wrought-iron' fencing to minimize views of parking from Williams Ave. In addition, Developer agrees to baffled site lighting that shields direct view of light sources from Williams Ave., and to include provisions for vine-type landscaping at the base of any parking lot retaining walls.

-PPERRIA supports the variance to increase the maximum allowed area for a projecting sign in this zoning district from 48 SF to 87.5 SF. The Developer agrees that the sign will contain only the name of the hotel, it will have no blinking lights or moving features, and that the final design will be reviewed by PPERRIA. Developer also agrees to restricting total signage on the street frontage to less than 193 SF.

-PPERRIA supports a Conditional use Permit to increase the maximum height of the building from 4 stories or 56 feet to 5 stories, 64 feet – 8 inches. Developer agrees to clad the first 2 stories with light-colored brick masonry units, and to use a dark stucco finish on the upper 3 stories. Final selections of materials and colors will be reviewed by PPERRIA.

-PPERRIA supports the variance to allow less than 40% glass on the first floor elevation of the portions of the building facing south (Williams Ave). Developer has agreed to maximizing the glazing to the extent possible, given the functions within the building. Developer has also agreed to add windows at stairwells and corridors above the first floor, to address PPERRIA's concerns about security, and to add 160 SF of 'green wall' to increase the aesthetic appeal of the ground level from Williams Ave.

PPERRIA HAS NO COMMENTS ON THE THE FOLLOWING VARIANCE REQUESTS:

-Variance to reduce the side yard setback in the C3A Community Activity Center District from the required 13 feet to 7 feet – 8 inches.

-Variance to increase the maximum set back of the southwest building frontage along Williams Ave. SE from of 8 feet to 46 feet – 9 inches to 64 feet– 9 inches in the PO Pedestrian Orientated Overlay District. Williams Ave SE on the south side of the property is at a different angle than University Ave SE on the north side of the property.

-Variance to reduce the minimum required large loading spaces (12' x 50') from two spaces to one space.

-Requesting alternative compliance to the required 7 foot yard requirement between a property line abutting a street and a surface parking lot.

-Developer agrees to report to PPERRIA quarterly on status of the Project until final completion.

-Exterior building design is represented in the site plan, floor plans, elevations and renderings submitted to the City planning staff and dated August 27th, 2014. If substantial changes to Project plans, including exterior materials, are proposed, they should be reviewed with the PPERRIA Zoning and Project Review sub-committee in a timely manner, to allow a minimum of 10 working days for review and comment before changes are implemented. Notification and review shall include all commercial signage.

-Final Project plans to be reviewed and approved by Minneapolis CPED-Planning Division Staff.

-The General Contractor for the Project will be licensed, insured, bonded and experienced with the type of work to be performed. Subcontractors will be qualified and will be licensed, insured and/or bonded as required to obtain permits for the work to be performed. Contracts between the Developer and its contractors will include a provision that any permits required by the building code for work performed on the project site shall be obtained prior to commencement such work.

Signed,



The Kaeding Management Group



On behalf of PPERRIA' s
Zoning & Project Review Committee



Minneapolis Hotel Ventures, LLC

Attachments:

-”UDA Design Principles” document.

-“Conformance to UDA Design Principles of Proposed Prospect Park Station Hotel at 2812 University Ave.” document dated September 29th, 2014.

University District Alliance Design Principles

The Alliance is a partnership of communities, learning institutions, and the City of Minneapolis that works to make the area surrounding the University of Minnesota campus in Minneapolis one that:

- capitalizes on its exceptional resources;
- is vibrant, safe, healthy, and sustainable;
- is a preferred place for people of all ages to live, work, learn, do business, and visit.

These principles were adopted by the University District Alliance to provide a tool for neighbors and developers to build a better District.

Mixed-use and urban density *to accommodate all the people who want to work and live in the District*

Describe how the project helps the District achieve the following objectives. Use narrative, charts and maps.

- ++ + 0 - -- Provide a mix of uses for the diversity of people who live, work, learn, do business and visit in the district.
- ++ + 0 - -- Provide the density to support a walkable, transit-oriented urban place, with access to services and amenities.
- ++ + 0 - -- Contribute to the variety of unit types and rents to accommodate those who want to live in the District

Connections *to create a pedestrian friendly, transit-oriented community*

Describe how the project helps the District achieve the following objectives. Use narrative, maps and site plan.

- ++ + 0 - -- Create a walkable, bikeable district, with connectivity within the District and to the rest of the city and region.
- ++ + 0 - -- Support a high quality pedestrian network and public realm and a network of public transit.
- ++ + 0 - -- Reinforce neighborhood connectivity through the site plan, the architecture and the landscape design.

Public realm *enhanced and enlivened by the adjacent buildings*

Describe how the project helps the District achieve the following objectives. Use site plan, elevations, sections and sketches.

- ++ + 0 - -- Enhance the safety and friendliness of the street through the street-level design of the building.
- ++ + 0 - -- Enliven the street with active spaces and entry ways.
- ++ + 0 - -- Incorporate landscaping, appropriate to local conditions, that contributes to a healthy urban ecology

Urban context *where each building and public space contributes, in a neighborly way, to a sense of place*

Describe how the project helps the District achieve the following objectives. Use site plan, elevation, sections and sketches.

- ++ + 0 - -- Respect and reinforce the intrinsic character, scale, and architectural fabric of the individual neighborhoods.
- ++ + 0 - -- Reinforce the diversity of the district with infill that is bold, imaginative and uniquely appropriate to its context.
- ++ + 0 - -- Contribute to a sense of place by enhancing good qualities of adjacent properties and the broader neighborhood.

Architecture and landscape design *that respects adjacent conditions and strengthens neighborhood identity*

Describe how the project helps the District achieve the following objectives. Use elevations, sections, sketches and samples.

- ++ + 0 - -- Fit in with existing buildings and urban landscapes.
- ++ + 0 - -- Contribute to the visual vitality, richness and distinctiveness of the street and neighborhood.
- ++ + 0 - -- Use materials and methods that assure the building will be an enduring part of the public realm.

Sustainability *with durable, energy-efficient buildings designed for future reuse*

Describe how the project helps the District achieve the following objectives. Use LEEDS or other measure of sustainability

- ++ + 0 - -- Conserve energy and resources through orientation, massing, choice of materials and operating systems.
- ++ + 0 - -- Promote easy evolution, maintenance and repair over time.
- ++ + 0 - -- Protect existing ecosystems and habitat.

Minneapolis Hotel Ventures, LLC

PO BOX 14536

Minneapolis, MN 55414

TO: PPERRIA's Zoning & Project Review Committee

RE: Conformance to UDA Design Principles of Proposed Prospect Park Station Hotel at 2812 University Ave.

DATE: September 29th, 2014

Mixed – use and urban density

A 117 room hotel across from the Prospect Park Station on 29th Avenue provides a 24/7 presence. This encourages a local walkable and transit oriented urban destination. With a wide variety of room types, this hotel will serve all types of travelers. As a limited service hotel servicing 50,000 + guests a year, other local businesses will be direct beneficiaries of the increase in density and the new need for local goods and services.

Connections

This is a perfect location for a hotel because of its proximity to major public transit. The new LRT line connects this site to the University of Minnesota, downtown St. Paul, downtown Minneapolis, the airport and the Mall of America. With onsite bike racks, a wide public sidewalk and an open first floor design this hotel connects with the community. It also is a convenient destination for business travelers who are working with local businesses in the surrounding office buildings. Many business travelers can patronize this hotel without ever needing a rental car or a ride from a friend.

Public realm

Our glass curtain first floor bordering University Avenue displaying the hotel's breakfast room, reception and offices will be an eye catcher for those inside and outside of the hotel. This open design will engage those in the public right-of-way. The remainder of the front exterior will be a combination of brick, glass and stucco. This high quality finish will complement our proposed landscaping that will consist of a wide variety of perennials and annuals. As owners of the bordering properties we will coordinate a more diverse landscaping theme that will harmonize with all of our properties. Our proposed plan shows a stepped retaining wall with 'wrought iron' railings in the rear of the property. With the current grade change, this will visually connect Williams Avenue to University Avenue. This will enhance Williams Avenue and the view from the Glendale Townhomes. This is a huge amenity for those residents and the future of that development.

Urban context

As existing business owners we understand this area and the direction it is going. We want to control 2812 University because of its' proximity to our other sites. With control of this development we can insure that the design fits with the existing and the future developments in this area. The proposed glass and brick exterior sets the bar high for future developments and resonates well with the class of the existing neighborhood. The shared parking concept with our adjacent property illustrates our ability to adapt to the changing urban landscapes and complies with the new philosophies of walkability and the public realm. Also, this site's unique grade change allows the scale of our building to appear sympathetic to the Glendale Townhomes and its' residents to the south.

Architecture and landscape design

This hotel's design needs very few variances. This shows that we can have a successful project that doesn't destroy what the current zoning codes are trying to protect. We are able to satisfy the requested site plan and landscaping requirements with the proposed plans. The possibility of a phase 2 expansion helps us to build with the market and not to over speculate therefore not overbuild. This also helps us to more easily adapt to the changes in design and development to make phase 2 even better. The addition of a green wall in the rear of the building helps to soften the façade, which enhances the view for the Glendale Townhomes and its' residents.

Sustainability

As owners of the proposed development sustainability is key! We must build an efficient building. We will be after Xcel Energy rebates by using energy efficient lighting, quality windows and efficient heating and air conditioning units. This hotel will create 30+ full time jobs. This will help strengthen the local community and provide long term employment in the area. This strengthens and ultimately makes this area more sustainable.