



CPED STAFF REPORT

Prepared for the Heritage Preservation Commission
 HPC Agenda Item #1
 April 5, 2016
 BZH-29059

HERITAGE PRESERVATION APPLICATION SUMMARY

Property Location: 100 3rd Avenue Southeast
Project Name: Pillsbury “A” Mill Artist Lofts Sign Proposal
Prepared By: Aaron Hanauer, Senior City Planner, (612) 673-2494
Applicant: Owen Metz, Dominion, Inc
Project Contact: John Stark, BKV
Ward: 3
Neighborhood: Marcy Holmes
Request: Sign proposal
Required Applications:

Certificate of Appropriateness	To allow for multiple signs on the Pillsbury “A” Mill Complex
Historic Variance	To allow two freestanding signs on one zoning lot

HISTORIC PROPERTY INFORMATION

Current Name	Pillsbury “A” Mill Complex
Historic Name	Pillsbury “A” Mill Complex
Historic Address	300 2 nd Street SE and 100 3 rd Avenue SE
Original Construction Date	<ul style="list-style-type: none"> • Pillsbury “A” Mill (circa 1881) • Red Tile Elevator (circa 1910) • Cleaning House (circa 1917) • South Mill (circa 1917) • Warehouse I (circa 1917) • Warehouse II (circa 1919)
Original Architect	Pillsbury “A” Mill: Leroy Buffington
Historic Use	Industrial
Current Use	Residential
Proposed Use	Residential

Date Application Deemed Complete	March 9, 2016	Date Extension Letter Sent	N/A
End of 60-Day Decision Period	May 8, 2016	End of 120-Day Decision Period	N/A

CLASSIFICATION

Local Historic District	St. Anthony Falls
Period of Significance	1848-1941
Criteria of Significance	<i>Criteria 1:</i> The property is associated with significant events or with periods that exemplify broad patterns of cultural, political, economic or social history. <i>Criteria 4:</i> The property embodies the distinctive characteristics of an architectural or engineering type or style, or method of construction.
Date of Local Designation	1971
Date of National Register Listing	1971
Applicable Design Guidelines	<i>St. Anthony Falls Historic District Guidelines</i> <i>Secretary of Interior Standards for Treatment of Historic Properties</i>

SUMMARY

BACKGROUND.

The Pillsbury “A” Mill is a contributing building to the St. Anthony Falls Historic District (both local designation and National Register listing). The “A” Mill is also a National Historic Landmark (NHL); one of three in the City of Minneapolis. National Historic Landmark status means that the property is recognized as being significant to the history of the nation. The NHL nomination form summarizes the significance of the Pillsbury “A” Mill: “One of the giant flour mills that made Minneapolis the milling capital of the nation from 1880 until 1930 still stands. The Pillsbury “A” Mill was the largest, most advanced mill in the world at its completion in 1881. The “A” Mill was a masterpiece of industrial design, a standard from which all other mills of its time were measured.”

In the fall of 2010 the Pillsbury “A” Mill Complex went into foreclosure. In 2011, BNC Bank signed purchase agreements with two developers, Dominion and Doran Companies. Dominion, the applicant for the sign proposal, took ownership of the portions of the complex that included the seven historic buildings: Pillsbury “A” Mill, the Cleaning House, South Mill, Warehouse I, Red Tile Elevator, Machine Shop, and the White Concrete Elevators. Dominion sold off the Machine Shop to another developer and created a separate parcel for the White Concrete Elevators (400 2nd Street Southeast). The portion of the Pillsbury “A” Mill complex owned by Dominion is 3.3 acres and spans from 3rd Avenue Southeast to the west to 5th Avenue Southeast to the east, 2nd Street Southeast to the north and Main Street Southeast to the south. Dominion is nearing the completion of the rehabilitation project of the historic “A” Mill Buildings into 251 affordable artist loft live-work apartments and shared common space. In addition to renovating buildings, Dominion built a structured parking garage that fronts along 2nd Street Southeast.

As part of the 2012 heritage preservation approvals, a condition of approval was that the applicant shall submit a master sign plan that addresses alterations to historic signage as well as any new proposed signs for review by the HPC in a public hearing. It was determined that a master sign plan was not required for this project given that a master sign plan is typically required for a multiple tenant building and Dominion’s portion of the Pillsbury “A” Mill will be one use (i.e. live-work apartments). The applicant completed the renovation of the historic signage (i.e. the Pillsbury’s Best Flour sign) at the end of 2015.

APPLICANT’S PROPOSAL.

Dominium is proposing a sign package for the portion of the Pillsbury “A” Mill Complex that they own. There would be a total of 11 signs with a combined square footage of 102 square feet.

There are two signs proposed at the main entrance of the complex along Main Street Southeast: a 33-square foot projecting sign that reads “A Mill Artist Lofts” and a 1-square foot canopy sign that reads “315”. Both signs would be attached to Warehouse 1. The applicant is also proposing a 16-square foot monument sign along 3rd Avenue Southeast near the Pillsbury “A” Mill and the rail corridor that reads “A Mill Artist Lofts”.

There are four signs proposed on or near Warehouse 2: two 4-square foot wall signs that read “400” in individual numbers; one of these wall signs would be attached to the 2nd Street Southeast elevation and the other sign would be attached to the 5th Avenue Southeast/privatized street elevation. In addition, a 16-square foot monument sign is proposed along the private road that reads “A Mill Artist Lofts”, and a canopy sign that reads “400” would be placed above the new entrance to Warehouse No. 2.

Finally, there are four auxiliary signs that are proposed to be attached to the new parking garage structure within the rail corridor. The parking structure has two entrance and exit points. Two signs would read “enter” (each sign would be approximately 2 square feet), one sign would read “upper garage” and the other sign would read “lower garage”. The “upper garage” and “lower garage” signs would be approximately 11 square feet each.

The applicant’s proposal meets all zoning code requirements with the exception of the requirement that only one freestanding sign is allowed per zoning lot (Table 543-2-Specific Standards for Commercial Districts). The applicant is proposing two monument signs, which are considered freestanding signs. Therefore, the applicant has applied for a historic variance to allow for both freestanding signs.

RELATED APPROVALS.

Planning Case #	Application	Description	Action
BZH-27214	Certificate of Appropriateness	Rehabilitation of the historic buildings	Approved
BZH-28102	Certificate of Appropriateness	Rehabilitation of the historic Pillsbury’s Best Flour signs	Approved
BZH-27407	Certificate of Appropriateness	Coordinated site plan	Approved

PUBLIC COMMENTS. No public comments have been received as of the publication of the staff report. Any correspondence received prior to the public meeting will be forwarded on to the Heritage Preservation Commission for consideration.

ANALYSIS

CERTIFICATE OF APPROPRIATENESS

The Department of Community Planning and Economic Development has analyzed the application to allow signage with the Pillsbury “A” Mill Complex based on the following findings:

1. *The alteration is compatible with the designation of the landmark or historic district, including the period and criteria of significance.*

The proposed signs are compatible with the designation of the historic district, including the period and criteria of significance. The District's period of significance is from 1848-1941. The St. Anthony Falls Historic District is significant for its architecture, commerce, industry and transportation. The historic district was the location of many of Minneapolis' flour mills that contributed to making Minneapolis the milling capital of the nation from 1880 until 1930. When the Pillsbury "A" Mill was built in 1881 it was the most advanced mill in the world. The proposed signage for the complex respects the significance of the "A" Mill Complex and is sympathetic to the St. Anthony Falls Historic District.

2. *The alteration will ensure the continued integrity of the landmark or historic district.*

Both the City of Minneapolis' Heritage Preservation Regulations and the National Register of Historic Places identify integrity as the authenticity of historic properties and recognize seven aspects that define a property's integrity: location, design, setting, materials, workmanship, feeling and association. Based upon the evidence provided below, the proposed signage is compatible with and would ensure continued integrity of the historic district.

Location: The applicant is not proposing to change the location of the building with the submitted applications thus the project would not impair the landmark's integrity of location.

Design: Design is the combination of elements that create the form, plan, space, structure, and style of a property. The additional signage and the placement of the signage would not impact the Pillsbury "A" Mill Complex building or site design.

Setting: Setting is the physical environment of a historic property. In addition, to the buildings of the district being historically significant, the rail spur is considered a contributing resource to the St. Anthony Falls Historic District. The proposed signage will not adversely impact the rail corridor as the placement of the signs near the rail corridor will not impact the corridor view shed or historic elements.

Materials: Materials are the physical elements that were combined during a particular period of time and in a particular pattern or configuration to form a historic property. The applicant's proposal would not have a negative impact on the building's original material. With the exception of the two "enter" signs that will be applied to the surface of the new parking garage, all signs will be faced with metal (CorTen steel and aluminum). These metal materials are compatible with the materials of the historically significant buildings and site features. In addition, the signs will not have an adverse impact on the historic buildings. Only three signs are proposed to be attached to the historic building walls and the applicant calls out that these signs will be attached through mortar joints.

Workmanship: Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. As previously mentioned, the applicant's proposed signage would not adversely impact the building's masonry walls nor hide important architectural features.

Feeling: Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. The applicant's proposed signage is in keeping with the historic character of the building, the project site, and the historic district. The proposed signage is properly placed not to hide important historic materials/details and the amount of signage is minimal compared to the site as a whole. The applicant is proposing to add approximately 102 square feet of signage on a site that is 3.3 acres in size.

Association: Association is the direct link between an important historic event or person and a historic property. The proposed signage would not have an adverse impact on the industrial significance of the subject building, site, nor the historic district.

3. *The alteration is consistent with the applicable design guidelines adopted by the commission.*

The *St. Anthony Falls Historic District Design Guidelines* were adopted in 2012 and the *Design Guidelines for On-Premise Signs and Awnings* were adopted in 2003. The district and general sign guidelines provide guidance for new signs. The applicable guidelines are analyzed below:

ST. ANTHONY FALLS DESIGN GUIDELINES

Signs

Intent

Preserve historic signs. Efficiently use signage for identification and way finding that do not create false sense of security or sign clutter.

7.15 Historic signs should be maintained and preserved.

7.16 Fake historic signs are not appropriate.

7.17 New rooftop signage is not appropriate.

7.18 Identification, interpretive and wayfinding signage are encouraged.

7.19 Contemporary designs that do not create a false sense of history are appropriate.

Staff Comment: The proposal is in compliance with the *St. Anthony Falls Historic District Design Guidelines*. The proposed signage is respectable to the building, site, and historic district without creating a false sense of history. In addition, the proposed signage would help more clearly identify the entrance points for pedestrians and vehicles within the Pillsbury “A” Mill Complex.

DESIGN GUIDELINES FOR ON-PREMISE SIGNS AND AWNINGS

Requirement

The *Minneapolis Heritage Preservation Commission Design Guidelines for On-Premise Signs and Awnings* provides guidance for new signs on buildings within a historic district. The following guidelines are applicable to this proposal.

I. In General

a. Sign message: All signs, except window signs, real estate signs, project information signs, auxiliary signs, temporary signs and portable signs are limited to the name and address of the establishment.

c. Number of signs: Each principal building entrance that faces a public street, or each ground floor principal use, whichever is less, is allowed two signs. A corner lot with a principal entrance on each street is allowed two signs per street frontage. The two signs may be a combination of one wall sign, one projecting sign, one ground sign, one banner, and awning signage. However, a property may not have both a projecting sign and a ground sign. Only one of the signs should be illuminated, except that banners and awning signs should never be illuminated. Awning signs are limited to ground floor awnings and are subject to the specific guidelines for awnings and awning signs. Parking lot signs are subject to the specific guidelines for signs accessory to parking lots.

d. Location of building signs: Wherever possible, signs should be placed in traditional sign locations including the storefront sign band area. Signs should not obscure or damage architectural

features including windows, doors, pilasters, columns and historic signs. Building signs should be located only on the primary façade of the building adjacent to the street and should be no higher than fourteen (14) feet, except as otherwise provided in the specific guidelines for wall signs.

e. Color: Sign colors and materials should be compatible with the colors of the building and its surroundings. Day-glo, light reflecting or fluorescent colors or materials are not allowed.

f. Installation: Sign installation should have a minimal impact on the building and to the extent practical allow the building to be returned to its original condition if the sign is removed. Existing signboards and sign frames should be reused to limit drilling new holes into masonry. Projecting signs should be attached to a permanent mounting plate. Awnings should be attached to window or door frames and should never damage masonry.

g. Illumination: Signs may be illuminated externally, internally, or by neon. Plastic face covers should not be placed on illuminated signs. All illuminated building signs should connect to a permanent mounting plate located near the entrance. Electrical conduit should be installed through the permanent mounting plate. Not more than one brick should be damaged by the installation of the permanent mounting plate. Electrical conduit and any lighting fixture should be attached to the sign and not the building wall.

3. Sign Types Not Allowed

g. Canopy signs

4. Guidelines for Specific Types of Signs

a. Wall Signs:

i. Location. Wall signs should be located between the first and second floor and should not be higher than fourteen (14) feet, except where the historic sign band is higher. Wall signs should

ii. Size. Wall signs should be no more than two (2) feet high and thirty-two (32) square feet in area and should not extend outward from the building more than eight (8) inches.

iii. Materials. Wall signs may be constructed of wood, metal, painted fiberglass or painted plastic.

iv. Installation. Wall signs should be attached to the building through the mortar joints. If illuminated, a wall sign should be placed adjacent to or over a permanent mounting plate for electrification. Electrical conduit and lighting fixtures should be attached to the top of the wall sign, and should not be attached to the building. Wall signs should not be painted directly on the surface of the building, except as part of the maintenance or restoration of an existing historic sign.

b. Projecting Signs:

i. Location. Projecting signs should be located near a building entrance and should not be higher than fourteen (14) feet. Projecting signs should not conceal architectural features or obstruct openings, and should not be suspended from the soffit.

ii. Size. Projecting signs should be no more than twelve (12) square feet in area and should not project more than four (4) feet from the building. The thickness of a projecting sign should not exceed eight (8) inches.

iii. Materials. Projecting signs may be constructed of wood, metal, painted fiberglass or painted plastic.

iv. Installation. Projecting signs should always use a single permanent mounting plate.

c. *Ground Signs | Monument Signs:*

i. Location. Ground signs should not obscure the significant architectural detail of adjacent buildings.

ii. Size. Ground signs should be no more than thirty-two (32) square feet in area and should not be higher than eight (8) feet.

iii. Materials. Ground signs should be constructed of materials similar to those found on the existing building or compatible with the existing building. Acceptable materials include brick, stone, stucco, metal or wood.

j. *Auxiliary Signs*

i. Location. If attached to a building other than a parking attendant building, an auxiliary sign should be a window sign.

ii. Size. Freestanding auxiliary signs should be no more than four (4) square feet in area and four (4) feet in height.

iii. Number. One freestanding auxiliary sign is allowed per street frontage or per parking lot street entrance and will not be counted toward the number of signs allowed.

iv. Illumination. Auxiliary signs should not be illuminated.

Staff Comment: The proposed sign package is not in compliance with the following guidelines in the *Minneapolis Heritage Preservation Design Guidelines for On-Premise Signs and Awnings*: However, CPED is supportive of allowing flexibility from these guidelines.

- 1a. Number of signs: The proposed signage does not meet two of these sign requirements. 1.) The applicant is not in compliance with the requirement that “each principal building entrance that faces a public street is allowed two signs. A corner lot with a principal entrance on the street is allowed two signs per street frontage.” Warehouse II would have one sign along 2nd Street Southeast and three signs along the private road (a wall sign, canopy sign, and monument sign). CPED is supportive of the applicant’s proposal for signage on or near Warehouse II. The signage is minimal in size, will not create irreversible damage to the building, and is placed in locations that are sympathetic to the historic building, the project site and the historic district. In addition, the proposed signage will help navigate people to the main entrance of Warehouse II. 2.) The applicant is also not in compliance with the requirement that “a property may not have a projecting sign and a ground sign.” The applicant is proposing one projecting sign and two ground signs with the subject property. CPED is supportive of this proposal given the larger than usual size of the lot (3.3 acres), the distribution of the projecting and ground signs, and the limited signage proposed for a large site.
- 1b. Location of building signs: The proposed signage does not meet the general location of building sign requirements in two situations. 1.) The projecting sign on Warehouse I does not meet the maximum 14-foot height allowance. The projecting sign would be approximately 36 feet in height (measured from grade to the top of the sign). CPED is supportive of the applicant’s proposed height of the projecting sign given the large size of

- the buildings, the presence of canopies on the Pillsbury “A” Mill and Warehouse I would severely limit the visibility of a projecting sign placed lower on the building, and the sign will be used to demarcate the building’s main entrance. 2.) The wall sign on Warehouse I also does not meet the 14-foot height allowance. The wall sign would be approximately 16 feet in height (measured from grade to the top of the sign). CPED is also supportive of the applicant’s request for an increase in height from 14 feet to 16 feet for the canopy sign on Warehouse I given the grade change from Main Street to the front entrance, the applicant’s goal of limiting signage attached to the historic building (the covered entrance was added to Warehouse I as part of the recent renovation), and the minimal size of the sign (1.3 square feet).
- 3. Sign Types Not Allowed: The applicant is proposing two canopy signs; one on the Warehouse I canopy and one on the Warehouse II canopy. The *Minneapolis Heritage Preservation Design Guidelines for On-Premise Signs and Awnings* states that canopy signs are not an allowed sign type. CPED is supportive of the applicant’s proposal for the following reasons: they will be attached to new building canopies, they are minimal in size, and constructed of a metal material that will complement the historic buildings.
 - 4b. Projecting signs: As noted above, the projecting sign exceeds the height requirement. The projecting sign also exceeds the 12-square foot size requirement. CPED is supportive of the applicant’s proposal of having a 33-square foot projecting sign attached to Warehouse I given the size of the Pillsbury “A” Mill buildings, the height of the metal canopies on the Pillsbury “A” Mill and Warehouse I, and the applicant’s proposed sign placement near the main building entrance.
 - 4. Auxiliary signs: All four auxiliary signs are proposed to be attached to the newly constructed parking garage, which does not comply with the location requirement that “if attached to a building other than a parking attendant building, an auxiliary sign should be a window sign.” CPED is supportive of the applicant’s proposal as the parking garage is new construction, the signs are minimal in size (2 square feet and 11 square feet), and the signs will not have an adverse impact on the historic buildings in the area nor the historic district.
4. *The alteration is consistent with the applicable recommendations contained in The Secretary of the Interior’s Standards for the Treatment of Historic Properties.*

The applicant is proposing an additional sign within the Pillsbury “A” Mill Complex. Staff finds that the proposal meets the following *Secretary of the Interior’s Standards for the Treatment of Historic Properties*.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

6. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
7. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
5. *The alteration is consistent with the spirit and intent of the preservation ordinance, the applicable policies of the comprehensive plan, and the applicable preservation policies in small area plans adopted by the city council.*

The proposed sign would conform to the preservation ordinance and applicable preservation policies of the comprehensive plan:

Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture.

- 8.1.1 Protect historic resources from modifications that are not sensitive to their historic significance.

Heritage Preservation Policy 8.10: Promote the benefits of preservation as an economic development tool and a method to achieve greater environmental sustainability and city vitality.

- 8.10.5 Prioritize the reuse of the city's historic buildings as a strategy for sustainable development.
- 8.10.7 Use planning tools, such as transfer of development rights and historic variances, as well as economic incentives, such as tax increment financing and tax abatements, to retain historic structures while compensating for the loss of development potential.

HISTORIC VARIANCE

The Department of Community Planning and Economic Development has analyzed the application to increase the number of freestanding signs from one to two in the C3A, Community Activity Center District based on the following [findings](#):

1. *The variance is compatible with the preservation of the property and with other properties in the area.*

The applicant is proposing to install two freestanding signs on the same zoning lot. The subject property is zoned C3A, Community Activity Center District. Per Table 543-2 Specific Standards for Signs in the Commercial Districts, only one freestanding sign is allowed per zoning lot in the C3A zoning district.

Approving the historic variance to allow two freestanding signs on one zoning lot is compatible with the preservation of the property and with other properties in the area. It is a unique condition to have a lot that is 3.3 acres in size and spans two city blocks. The proposed signage will effectively orient people through the Pillsbury "A" Mill Complex while also reducing the number of signs that are attached to historic buildings (only 3 of the 11 signs are proposed to be attached to historic building walls). The proposed freestanding signs will be approximately 860 feet away from each other and will not contribute to sign clutter on the site or in the area. The signs will hopefully lead to a successful reuse of this contributing building in the St. Anthony Falls Historic District and

National Historic Landmark. The base of the sign will only be one inch tall. Therefore, the zoning code requirement that landscaping and decorative materials screen the base of the freestanding signs is not applicable in this instance (Section 543.360-Freestanding Signs).

2. *The variance is necessary to alleviate practical difficulties due to special conditions or circumstances unique to the property and not created by the applicant.*

The historic variance is necessary to alleviate practical difficulties due to special conditions and circumstances unique to the property and were not created by the applicant. The subject property is unique in terms of size and configuration. It is 3.3 acres and spans two full city blocks. The applicant's proposal to have a freestanding sign on opposite ends of the complex is sensitive to the Pillsbury "A" Mill Complex and the historic character of the St. Anthony Fall's Historic District.

Furthermore, the two proposed freestanding signs are well below the zoning code allowance in terms of square footage. Combined the two freestanding signs will be 32 square feet. The zoning code allows up to 80 square feet of signage for a freestanding sign in the C3A zoning district.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Heritage Preservation Commission adopt staff findings for the applications by John Stark for the property located at 100 3rd Avenue Southeast in the St. Anthony Falls Historic District:

A. Certificate of Appropriateness.

Recommended motion: **Approve** the certificate of appropriateness to allow signage with the Pillsbury "A" Mill Complex that does not comply with all Minneapolis Heritage Preservation Commission's *Design Guidelines for On-Premise Signs and Awnings* (2003), subject to the following conditions:

1. By ordinance, approvals are valid for a period of two years from the date of the decision unless required permits are obtained and the action approved is substantially begun and proceeds in a continuous basis toward completion. Upon written request and for good cause, the planning director may grant up to a one year extension if the request is made in writing no later than April 5, 2018.
2. By ordinance, all approvals granted in this certificate of appropriateness shall remain in effect as long as all of the conditions and guarantees of such approvals are observed. Failure to comply with such conditions and guarantees shall constitute a violation of this Certificate of Appropriateness and may result in termination of the approval.
3. No illuminated signs are allowed to be backlit.

B. Historic Variance.

Recommended motion: **Approve** the historic variance to allow two freestanding signs on one zoning lot.

ATTACHMENTS

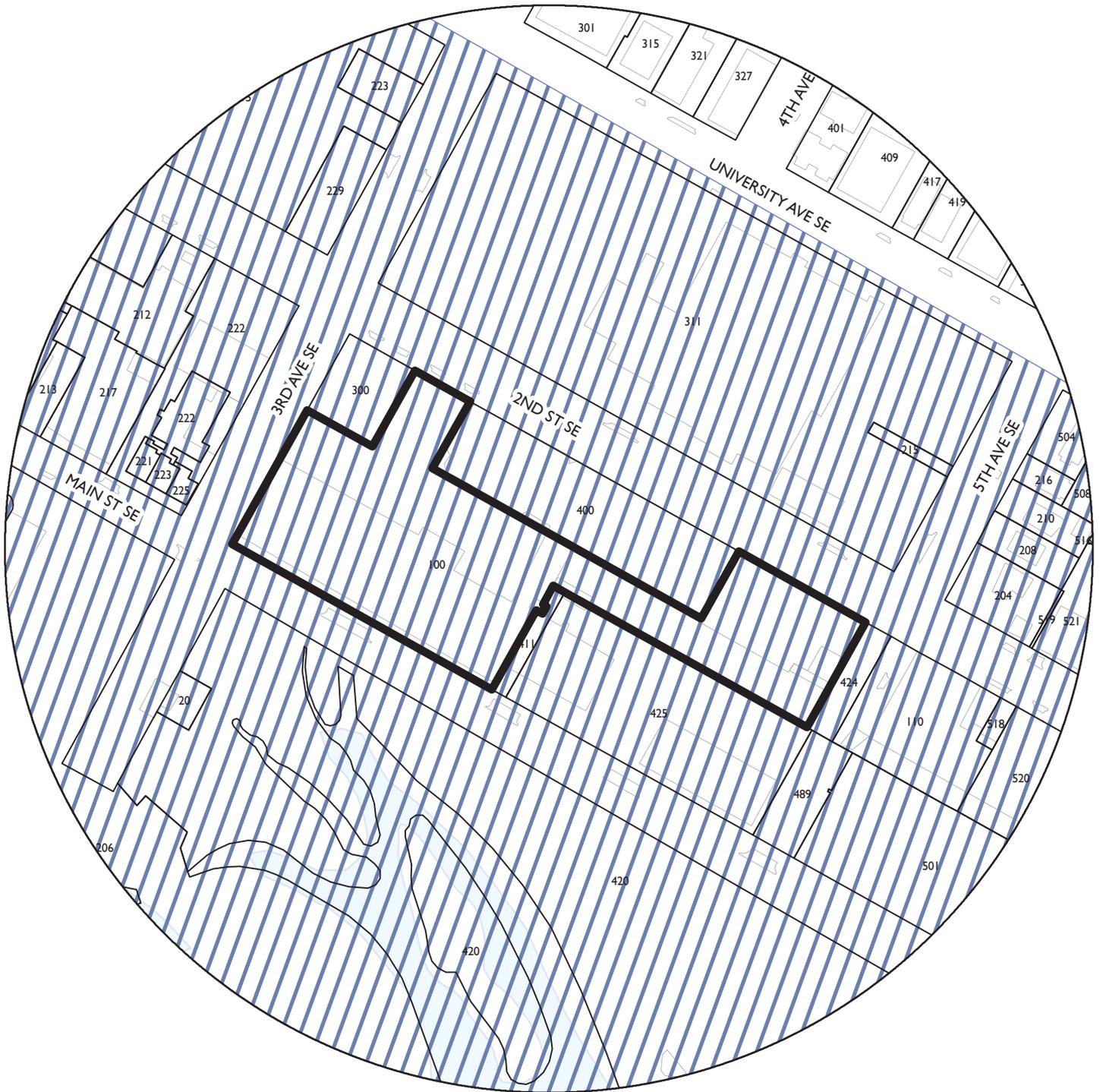
1. BZH Map
2. Written description and findings submitted by applicant
3. Proposed sign matrix
4. Site plan
5. Building elevation | sign details | images

Dominium, Inc

3rd

NAME OF APPLICANT

WARD

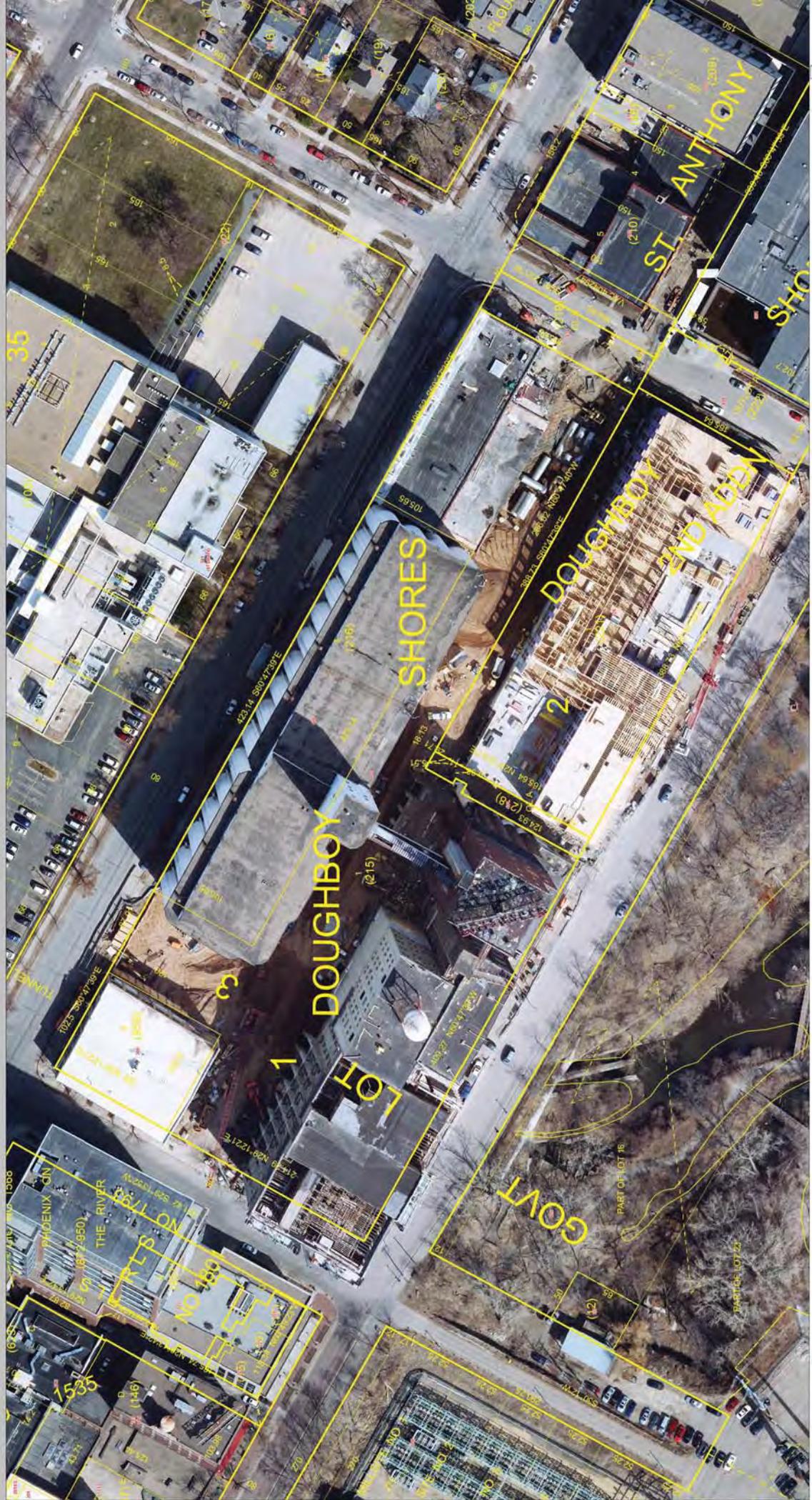


PROPERTY ADDRESS

100 3rd Avenue Southeast

FILE NUMBER

BZH-29059





Architecture
Interior Design
Landscape Architecture
Engineering

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March 7, 2016

Heritage Preservation Commission
Minneapolis, Minnesota

Re: Pillsbury A-Mill Artist Lofts - Exterior Signage

Dominium Development & Acquisition, LLC is nearing completion of the Pillsbury A-Mill site turning the once industrial buildings in 251 affordable Artist Lofts live work apartments and shared common spaces. The buildings include all of the historically contributing buildings, the A-Mill Complex (A-Mill, South Mill, Cleaning House, & Warehouse No. 1), the Warehouse No. 2, and the White Concrete Grain Silos. The White Concrete Grain Silos are being mothballed and will be retained in-place.

Federal and state historic tax credits are being used to make the project feasible. The project has meet the Secretary of the Interior's Standards for Rehabilitation. Warehouse No. 2 has received Part 3 of the federal tax credit application approval. The entire project has had 22 Amendments to the Part 2 federal tax credit application. Currently only Amendment #22 is awaiting final approval from NPS. Amendment #22 includes exterior signage grouped with the hydroelectric power system. The only questions received to date deal with the hydroelectric system.

This Heritage Preservation Application is for the Pillsbury A-Mill Artist Lofts exterior signage (BZH-29059). The signage proposed uses materials found as new materials on the exterior of the historic buildings. Corten steel has been used to define new exterior main entries on the Pillsbury A-Mill, The Red Clay Tile building, and on Warehouse No. 2. Signage of this type, size, and location are found on numerous surround buildings in the St. Antony Falls historic district.

Summary of Project

Developer: Dominion Development & Acquisition

Architect: BKV Group

Historian: MacRostie Historic Advisors

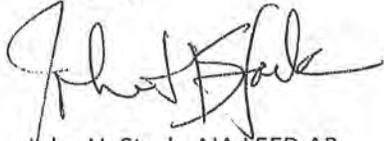
Designation status: Contributing property in the Saint Anthony Falls Historic District

Total building area: 181,570 gross square feet

Building Heights: A-Mill: 6 stories; South Mill: 5 stories; Cleaning House: 4 stories; Warehouse No. 1: 3 stories; Warehouse No. 2: 3 stories; the Machine Shop: 4 stories; White Concrete Grain Silos: 100 feet.

Historic District: Minneapolis Warehouse District—local and National Register designations

Sincerely,
BKV Group

A handwritten signature in black ink, appearing to read "John Stark", written in a cursive style.

John H. Stark, AIA LEED AP
Managing Architect

Pillsbury A-Mill Artist Lofts Signage Certificate of Appropriateness

Zoning C3A Community Activity Center District

Applicant is seeking approval from the HPC of Applicant's site signage (BZH-29059), which includes the Pillsbury A-Mill Complex (100 3rd Avenue Southeast) located between Main Street SE and 2nd Street SE from 6th Avenue SE to 3rd Avenue SE and the rail lines that run along the north side of Main Street SE from the former 5th Avenue to the A-Mill.

The Pillsbury "A" Mill complex is one of the most significant properties within the Saint Anthony Falls Historic District, which has both National Register and local landmark designations.

Summary:

Developer:	Dominium
Architect/Engineer:	BKV Group
Landscape Architect:	BKV Group
Historian:	MacRostie Historic Advisors
Designation Status:	Contributing resource in Saint Anthony Falls Historic District
Site:	4.812 acres (acreage of Dominium parcels)
Historic District:	Saint Anthony Falls Historic District – local and National Register designations

Project Description:

The intent of the site signage is to provide site identification with minimal impact on the historic character of the site.

Certificate of Appropriateness Findings per Section 599.350:

(a) General

(1) The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.

The proposed signage is simply designed and not too large or overpowering. The signage is being located where signage may have once occurred. The signage is new and is not trying to replicate history rather it is using materials found on site in a new fashion to assist in identify the buildings.

(2) The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.

The plan to add signage uses materials previously approved by SHPO and NPS for new building materials. Signage is being located in areas where existing signage once occurred or where signage historically would have been placed. Corten steel and clear aluminum are the materials chosen. Locations and designs for the signage have been submitted in Amendment #22 to SHPO/NPS and are currently under review by NPS. From the initial questions received back on Amendment #22 from SHPO/NPS not of them have been on the signage.

(3) The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.

The current signage intervention ensures the integrity of the landmark. The signage is being carefully attached to the building façade with anchors located within mortar joints and when required only one brick is being cored to provide power to the south projecting sign. Signage that can be placed on new

construction are being located there to maintain a high quality, and not disturbed the historic integrity of the existing structures.

(4) The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.

The current intervention ensures the integrity of the landmark. The signage is compatible in material and is design to be reversible per NPS standards. Anchorage into existing walls will only be done at mortar joints without damaging the masonry wall.

(5) The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.

The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features is avoided. No changes that create a false sense of historical development, have been undertaken. In designing the signage by using historic elements and materials in a thoughtful manner size and location – the ability for the public to interpret the history of this national landmark site will be much improved.

(Findings #6 - #14 NA)

(15) That the variance is compatible with the preservation of the property and with other properties in the area, and that the variance is necessary to alleviate practical difficulties due to special conditions or circumstances unique to the property and not created by the applicant.

A historic variance is being requested to allow more than one freestanding sign on a zoned lot. The zoned lot consists of several existing buildings fronting on four different streets. The buildings include all of the historically contributing buildings, the A-Mill Complex (A-Mill, South Mill, Cleaning House, & Warehouse No. 1), the Warehouse No. 2, and the White Concrete Grain Silos. The request for a variance would allow each primary façades main entry to have a sign identifying the complex. One freestanding sign #4 for the main entry to Warehouse No. 2 is located on the private drive lining up with 2nd Ave. Southeast. The second freestanding sign #6 is located at the west end of the rail corridor on 3rd Ave. Southeast and leads to the Red Clay Tile rail corridor main entry. This conforms with the Minneapolis HPC Design Guidelines for on Premise Signs & Awnings item 1.c “Number of signs: Each principal building entrance that faces a public street, or each ground floor principal use, whichever is less, is allowed two signs. A corner lot with a principal entrance on each street is allowed two signs per street frontage. The two signs may be a combination of one wall sign, one projecting sign, one ground sign, one banner, and awning signage. However, a property may not have both a projecting sign and a ground sign. Only one of the signs should be illuminated, except that banners and awning signs should never be illuminated. Awning signs are limited to ground floor awnings and are subject to the specific guidelines for awnings and awning signs.”

Pillsbury A-Mill Artist Lofts Signage

Zoning C3A Community Activity Center District

2-20-2016

Sign #	Size/illumination	Height above Grade	Comments
1. Projecting Sign	10'-0"H x 3'-4"W 33.3 SF Yes	36'-1"	Height to be visible above high and low canopies and above large windows.
2. 315 Street Address	8"Hx 1'-5 3/4" W No	15'-9"	Under mounted in new projecting box entryway
3. 400 Street Address	1'-4"Hx 2'11 3/4"W No	12'-2"	Wall mounted corner of building replacing original plywood sign
4. Monument Sign	4'-0"Hx 3'-10"W 15.3 SF Yes	4'-0"	Warehouse 2 adjacent to Building Main Entry walkway. This locations was shown in the 2012 HPC Site Application. 5 th Ave is primary façade. Sign is less than 14 feet high and is adjacent to the street/sidewalk.
5. 400 Street Address (2 thus)	8"Hx 1'-5 3/4"W No	9'-10"	Mounted above new projecting box entryway. Out of reach for possible vandalism.
6. Monument Sign	4'-0"Hx 4'-0"W 16 SF Yes	4'-0"	Entry to West Rail Corridor Drive On sign per street frontage.
7. Wall Mounted (2 signs)	1'-0" x 11'-2" No	11'4"	Garage Level Signage Identification signs for ramp.
8. Wall Mounted (2 thus)	8" x 3'-0" No	9'-7"	Identifies Garage Entry Door

Certificate of Appropriateness

Applicant is seeking approval from the HPC of Applicant's site signage, which includes the Pillsbury A-Mill and Warehouse 2 located between Main Street SE and 2nd Street SE from 6th Avenue SE to 3rd Avenue SE and the rail lines that run along the north side of Main Street SE from the former 5th Avenue to the A-Mill.

The Pillsbury "A" Mill complex is one of the most significant properties within the Saint Anthony Falls Historic District, which has both National Register and local landmark designations.

Summary:

Developer:	Dominium
Architect/Engineer:	BKV Group
Landscape Architect:	BKV Group
Historian:	MacRostie Historic Advisors
Designation Status:	Contributing resource in Saint Anthony Falls Historic District
Site:	4.812 acres (acreage of Dominium parcels)
Historic District:	Saint Anthony Falls Historic District – local and National Register designations

Project Description:

The intent of the site signage is to provide site identification with minimal impact on the historic character of the site and to fit within the guidelines for signage within the City of Minneapolis.

Certificate of Appropriateness Findings per Section 599.350:

(a) General

(1) The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.

The Saint Anthony Falls Historic District was listed in the National Register of Historic Places in 1971. This nomination was prepared not long after the National Register was created by the National Historic Preservation Act of 1966, and it does not provide the level of information that is contained in National Register nominations prepared today. The areas of significance of architecture, commerce, industry, and transportation were selected on the form; these are associated with National Register Criteria A and C. The District is now considered to be eligible under Criterion D (archaeology) as well. The nomination did not identify a period of significance. Typically, periods of significance end fifty years before the date of a nomination if there is no clear justification for another end date. This would place the end of the District's period of significance at 1921. This coincides with the era when Minneapolis was losing its dominance of the country's flour-milling industry.

The nomination described the Pillsbury "A" Mill as one of the sites of "special significance" along "Old Main Street." The "A" Mill is also distinguished as a National Historic Landmark, one of a handful in Minnesota.

The very brief statement of significance in the 1971 nomination concludes: “Today this area contains many warehouses, neglected buildings and industrial facilities. Because of the District’s obvious potential for interpreting Minneapolis’s history, various agencies and individuals are considering renewal and restoration plans that could return the area to its former status as a “great landmark at the continent’s heart.”

(2) The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.

Applicant’s plan to add signage uses materials previously approved by SHPO and NPS for new building materials. Signage is being located in areas where existing signage once occurred or where signage historically would have been placed. Corten steel and clear aluminum are the materials chosen. Locations and designs for the signage have been submitted in Amendment #22 to SHPO/NPS and are currently under review by NPS.

(3) The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.

The current intervention absolutely ensures the integrity of the landmark. Signage is being carefully attached to the building façade with anchors located within mortar joints and when required only one brick is being cored to provide power to the sign. Signs that can be placed on new construction are being located to maintain a high quality and be located outside of potential reach for vandalism.

(4) The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.

The current intervention absolutely ensures the integrity of the landmark. The signage is compatible in that it is striving to preserve the historic integrity of the existing structures and is design to be reversible per NPS standards.

(5) The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.

The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property is avoided. No changes that create a false sense of historical development, have not be undertaken. Any addition to the site via design has been done to enhance the recognition of the A-Mill’s particular place in history. By re-using historic elements and materials in a thoughtful manner – the ability for the public to interpret the history of this national landmark site will be much improved.

**ARCHITECT'S
SUPPLEMENTAL INSTRUCTIONS**

Owner -
Architect -
Consultant -
Contractor -
Field -
Other -

AIA DOCUMENT G710

PROJECT:

A-MILL Artists' Lofts
301 Main Street SE
Minneapolis, MN

ARCHITECT'S SUPPLEMENTAL

INSTRUCTION NO: **Sixty Seven (67)**

OWNER:

Minneapolis Leased Housing
Associates IV, LP
2905 Northwest Blvd. Suite 150
Plymouth, MN 55441

DATE OF ISSUANCE: 07.20.15

CONTRACT FOR:
GENERAL CONSTRUCTION

FROM ARCHITECT:

Boarman Kroos Vogel Group, Inc.
222 No. Second St.
Minneapolis, MN 55401

CONTRACT DATE: TBD

TO CONTRACTOR:

Weis Builders
7645 Lyndale Ave. S.
Minneapolis, MN 55423

ARCHITECT'S PROJECT NO:
1393.57

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect within 10 business days. Disputes regarding change in Contract Sum or Contract Time shall be submitted with a proposal for change to the Architect within 10 business days.

Description:

Provide exterior signage for the Pillsbury A-Mill Complex as shown on the attached drawings. Final details to be reviewed and confirmed in shop drawings. Verify electrical connections with existing conditions.

Omit two monument signs noted on 3-A010 Construction Limits Plan.

Pillsbury A-Mill See 2-A501, 2-A506, 2-A507 A-Mill Exterior Elevations

- #01 1. Projecting wall mounted sign. Corten steel both sides of painted black 10" deep structural aluminum frame with A-Mill logo and street address. Steel posts with plate anchor to wall. Anchor bolts to be located within mortar joints and not through masonry. Verify final plate size. Provide an internal light connected back to the lighting controls. Exposed fasteners similar to Warehouse 2 corten panels.
- #02 2. West main entry – Suspended clear aluminum block numbers for street address. Size as noted on the drawings.

Warehouse 2 See 3-A500 Exterior Elevations

- #03 3. Each side of SE corner of building – attach to wall clear aluminum block numbers for street address. Size as noted on the drawings.
- #04 4. Monument sign by WH2 main entry – Corten steel both sides of painted black 10" deep structural frame with A-Mill logo on street side. Anchor to new concrete footing. Set top of footing 6" minimum below grade. Provide an internal light

connected back to the lighting controls. Exposed fasteners similar to Warehouse 2 corten panels.

- #05 5. South main entry – Individual roof top mounted clear aluminum block numbers for street address. Size as noted on the drawings.

North Rail Corridor Entry See 3-A010 CONSTRUCTION LIMITS PLAN & 1-L202 SG-DETAIL PLAN

- #06 6. Modify guardrail as shown around sunken garden to accept a sign with Corten steel both sides of structural frame and A-Mill logo on the north street side. Anchor to top of existing concrete retaining wall. Provide an internal light connected back to the lighting controls. Route new conduit to this location. Concel as much as possible.

Parking Garage See 1- A500 Exterior Elevations

- #07 7. Mount 12" clear aluminum letters on the black painted galvanized steel channel.
- #08 8. Mount 8" high white vinyl letters on the overhead coiling door hood.

Attachments:

- 3-A010 CONSTRUCTION LIMITS PLAN
- 1-L202 SG-DETAIL PLAN
- 1-A500 Exterior Elevations
- 2-A501 A-Mill Exterior Elevations
- 2-A506 A-Mill Exterior Elevations
- 2-A507 A-Mill Exterior Elevations
- 3-A500 Exterior Elevations

Structural anchorage details

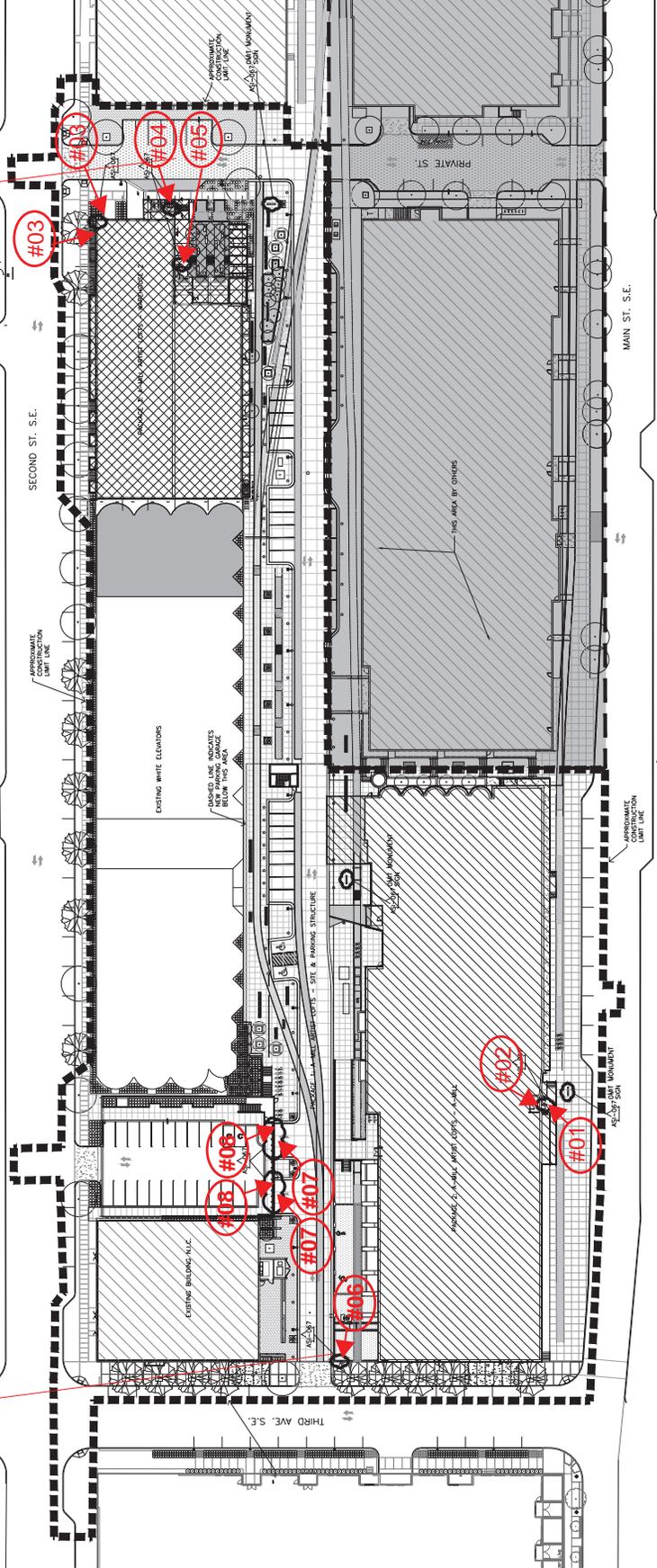
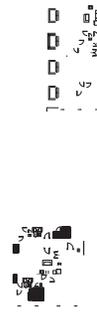
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BY John H. Stark AIA _____ BY _____

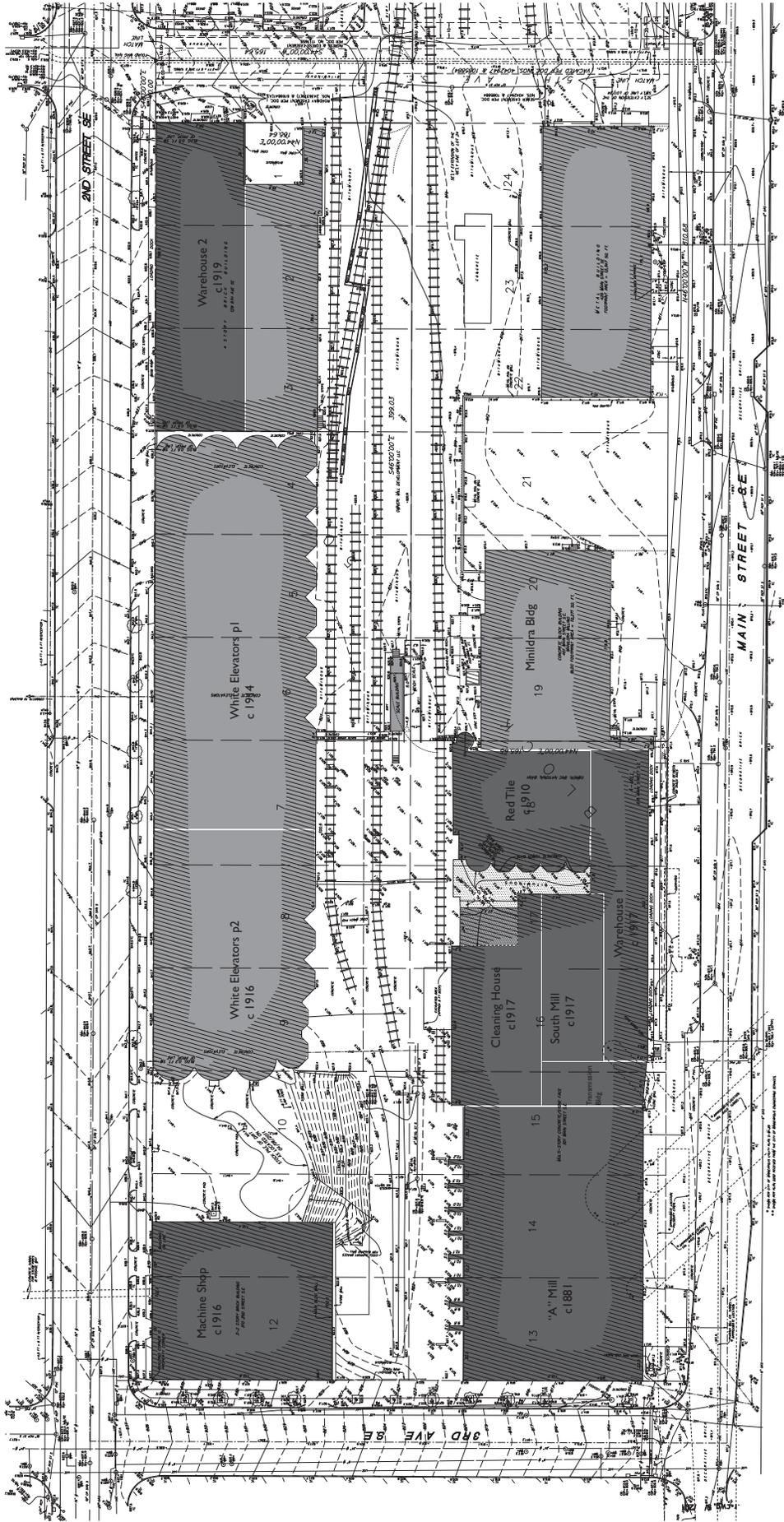
Construction Administrator _____ Contractor
Date: 07.20.15

AIA DOCUMENT G710 * ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS * 1992 EDITION * AIA - COPYRIGHT 1992 * THE AMERICAN INSTITUTE OF ARCHITECT'S, 1735 NEW YORK AVE., N.W., WASHINGTON, D.C. 20006-5292

ALL AREAS INSIDE OVERALL PROJECT CONSTRUCTION LIMITS LINE WHICH INCLUDES SITE & PARKING STRUCTURE UNLESS NOTED OTHERWISE IN INDIVIDUAL PACKAGES



CONSTRUCTION LIMITS PLAN

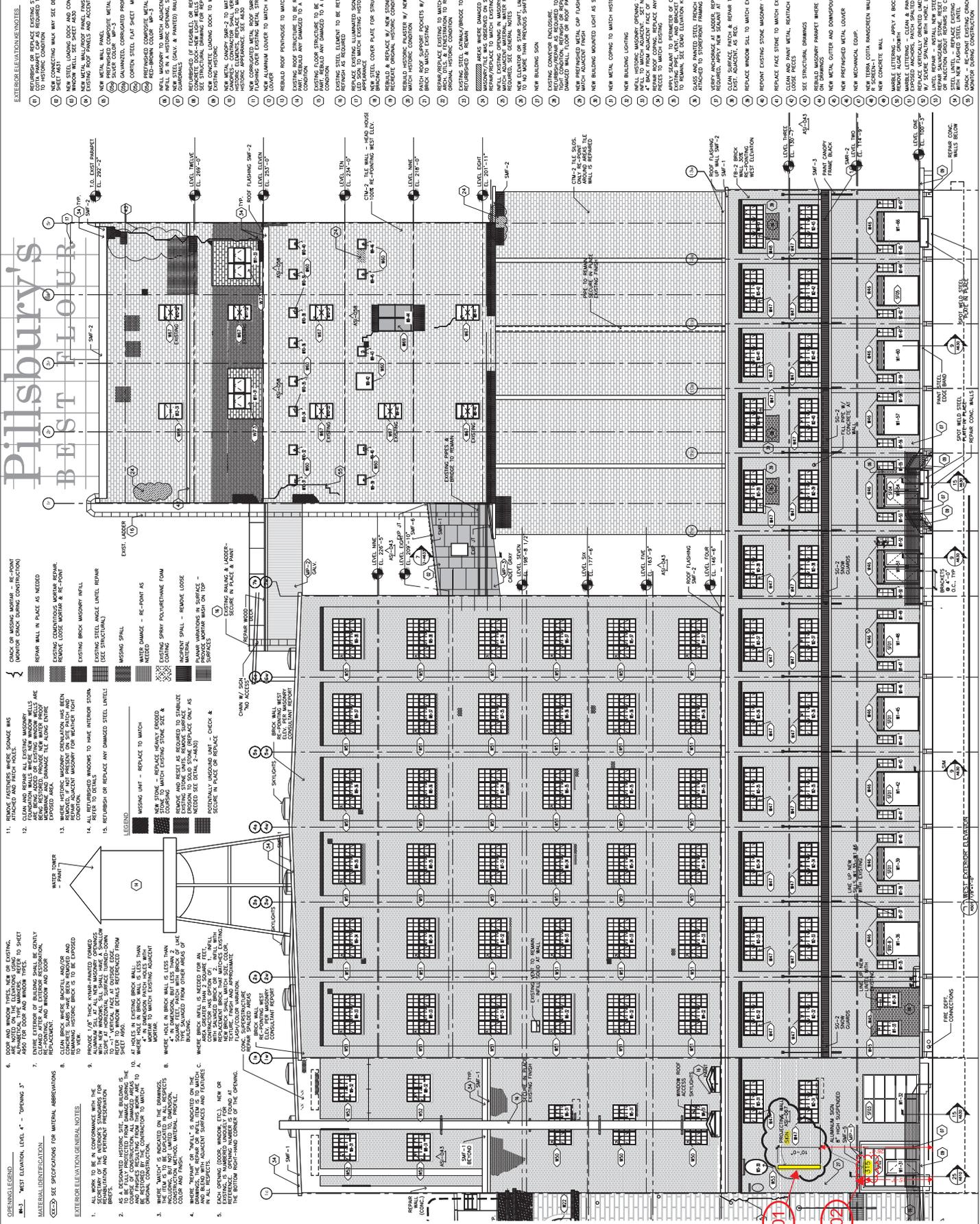


Revision Number	Date	Description
AS-001	07/15/13	ISSUE FOR PERMIT
AS-002	07/15/13	ISSUE FOR PERMIT
AS-003	07/15/13	ISSUE FOR PERMIT
AS-004	07/15/13	ISSUE FOR PERMIT
AS-005	07/15/13	ISSUE FOR PERMIT
AS-006	07/15/13	ISSUE FOR PERMIT
AS-007	07/15/13	ISSUE FOR PERMIT
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AS-048	07/15/13	ISSUE FOR PERMIT
AS-049	07/15/13	ISSUE FOR PERMIT
AS-050	07/15/13	ISSUE FOR PERMIT

Date	Drawn By	Checked By	Contract No.
07-15-13	SMK	SMK	130297

EXTERIOR ELEVATIONS

2-A501



- BRICK PATIERS WHERE SHOWN ARE TO BE MATCHED TO EXISTING PATTERNS.
- REPAIR WALL IN PLACE AS NEEDED.
- REPAIR BRICK MASONRY WALL.
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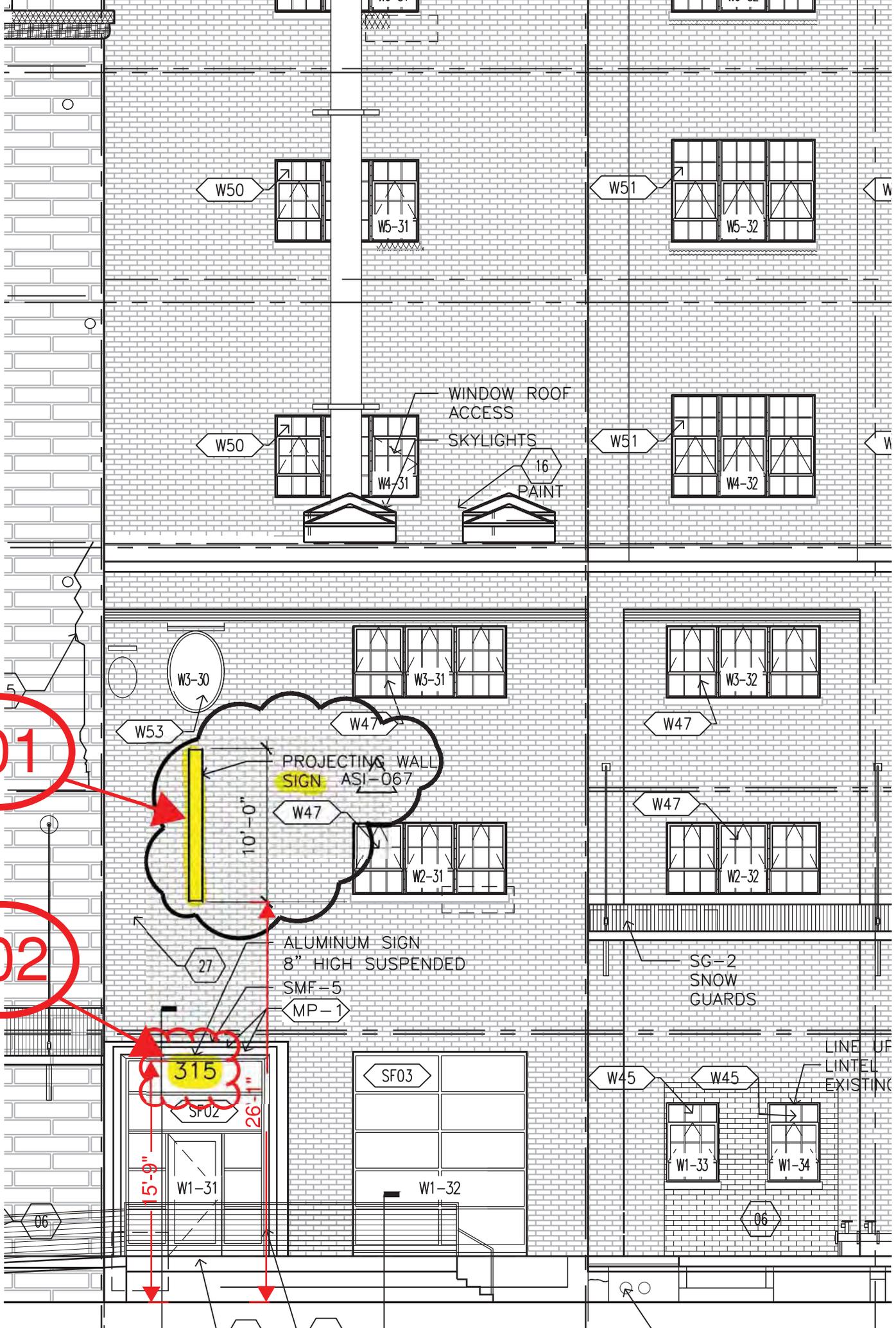
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#01

#02



#01

ROOF COPING
SMF-1

SKYLIGHT

FB-2

W47

S3-1

W47

S3-2

BRICK WALL
30% RE-POINTING
SOUTH FACE

LEVEL THREE
EL. 130'-7"

ASI-067

PROJECTING WALL SIGN

A
MILL
ARTIST LOFTS
315
MAIN ST.

W47

S2-1

S2-2

SMR-2

39
TYP.

W55

06

ASI-043

LEVEL TWO
EL. 114'-9"

PAINT FRAME
BLACK

BL/

W47

S1-1

SF06

S1-2

ASI-0

LEVEL ONE
EL. 100'-3"

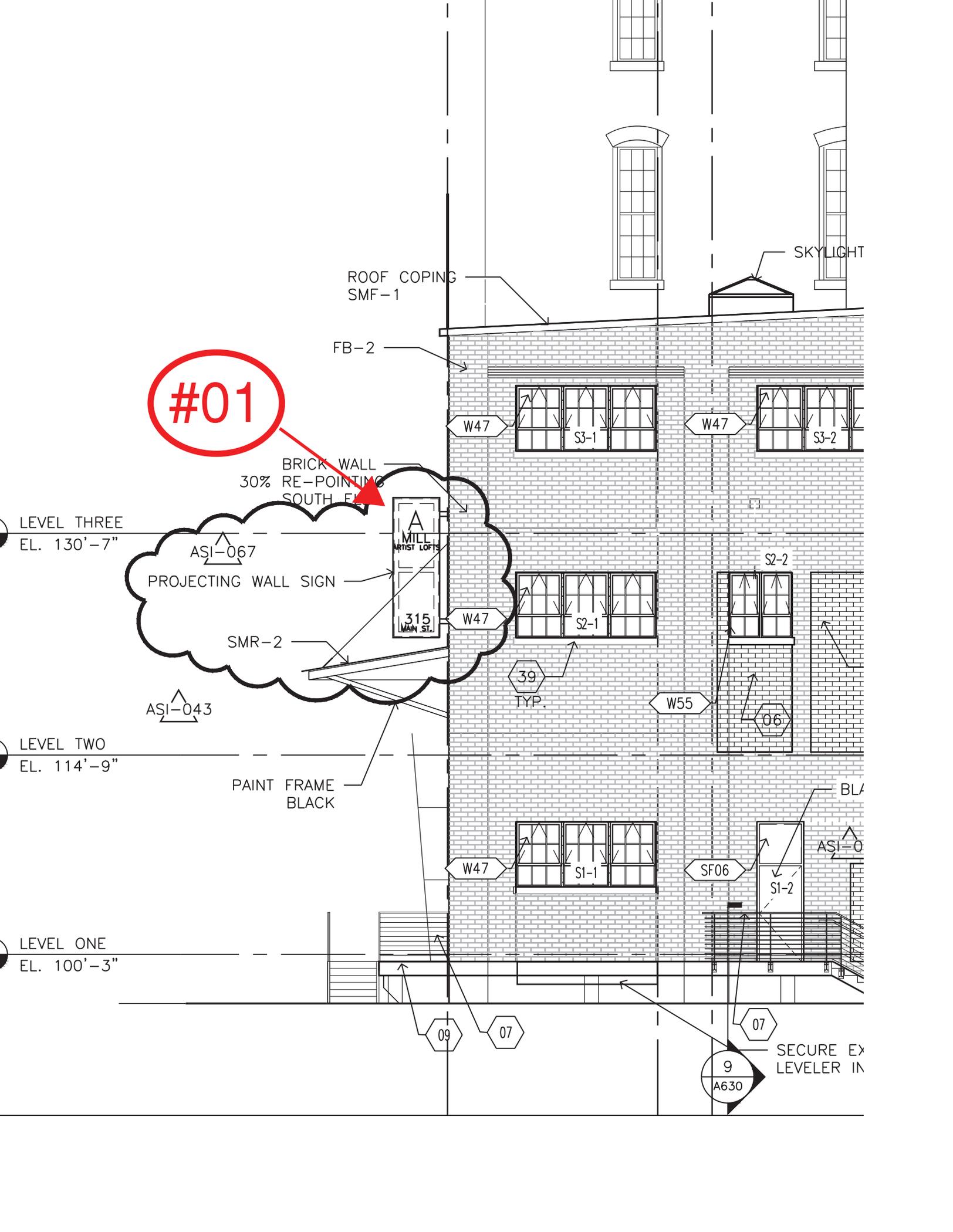
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REVISIONS	NO.	DATE	DESCRIPTION
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2	2	7/19/2013	ISSUE FOR PERMIT
3	3	7/19/2013	ISSUE FOR PERMIT
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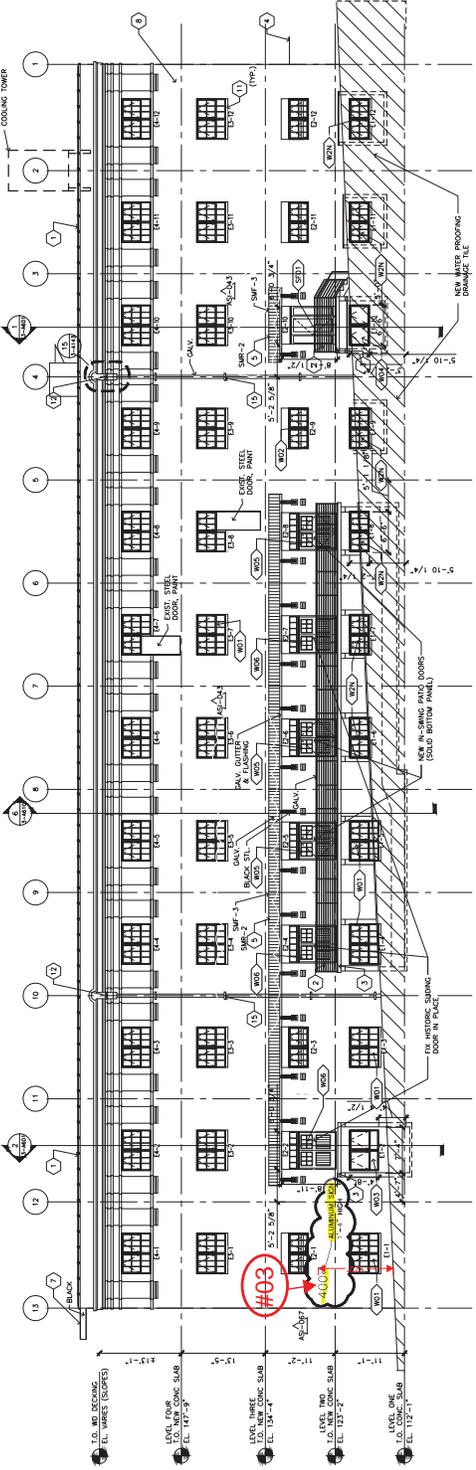
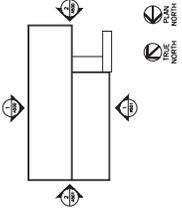
EXTERIOR ELEVATION GENERAL NOTES

- ALL WORK TO BE IN CONFORMANCE WITH THE MINNEAPOLIS BUILDING DEPARTMENT REGULATIONS AND PERMIT REQUIREMENTS.
- AS A DESIGNATED HISTORIC SITE, THE BUILDING IS TO BE FULLY PROTECTED FROM DAMAGE DURING THE CONSTRUCTION PROCESS. ALL WORK SHALL BE TO ORIGINAL CONSTRUCTION.
- WHERE "MATCH" IS INDICATED ON THE DRAWINGS, INCLUDING, BUT NOT LIMITED TO, DIMENSIONS, MATERIALS, FINISHES, AND COLORS, THE WORK SHALL BE TO MATCH THE ORIGINAL CONSTRUCTION.
- WHERE "MATCH" OR "WALL" IS INDICATED ON THE DRAWINGS, THE WORK SHALL BE TO MATCH THE ORIGINAL CONSTRUCTION. MATERIALS, FINISHES, AND COLORS SHALL BE TO MATCH THE ORIGINAL CONSTRUCTION.
- EACH OPENING (DOOR, WINDOW, ETC.), NEW OR EXISTING, IS NUMBERED UNLESS OTHERWISE NOTED ON THE DRAWINGS. REFER TO SHEET 3-A500-01 FOR A COMPLETE LIST OF OPENINGS.
- DOOR & WINDOW TYPES, NEW OR EXISTING, ARE NOTED ON THE DRAWINGS. REFER TO SHEET 3-A500-01 FOR A COMPLETE LIST OF OPENINGS.
- EXTERIOR FINISHES SHALL BE AS NOTED ON THE DRAWINGS. REFER TO SHEET 3-A500-01 FOR A COMPLETE LIST OF FINISHES.
- CLEAN BRICK WHERE BACKLIT AND FOR CONC. CLEAN BRICK WHERE NOT BACKLIT.
- PROVIDE "A" TYPICAL FINISHES TO ALL OPENINGS. ALUMINUM SILL AT ALL NEW WINDOW OPENINGS. SHALLOW SLOPE AT HORIZONTAL SURFACE. EXTERIOR SLOPE TO BE TO THE RIGHT UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- AT HOLES IN EXISTING BRICK WALL:
 - WHERE HOLE IN BRICK WALL IS LESS THAN 2" IN DIMENSION, BUT LESS THAN 2' IN LENGTH, THE HOLE SHALL BE PATCHED FROM OTHER SIDE OF WALL WITH MATCHING BRICK.
 - WHERE HOLE IN BRICK WALL IS MORE THAN 2" IN DIMENSION, BUT LESS THAN 2' IN LENGTH, THE HOLE SHALL BE PATCHED FROM OTHER SIDE OF WALL WITH MATCHING BRICK.
 - WHERE BRICK SILL IS NEEDED FOR AN OPENING, PROVIDE 2" SQUARE TIE WITH MATCHING BRICK OR ALUMINUM WITH MATCHING BRICK. MATCH SIZE, COLOR, AND FINISH TO EXISTING BRICK. FLASH/COLOR VARIATION.
- CLEAN & REPAIR ALL EXISTING MASONRY. REPAIR ALL CRACKS AND REPAIR ALL WEAR AND TEAR. REPAIR ALL DAMAGE TO ALL EXTERIOR FINISHES. REPAIR ALL DAMAGE TO ALL EXTERIOR FINISHES.
- ALL REPAIRS SHALL BE TO MATCH EXISTING FINISHES. REFER TO SHEET 3-A500-01 FOR A COMPLETE LIST OF FINISHES.

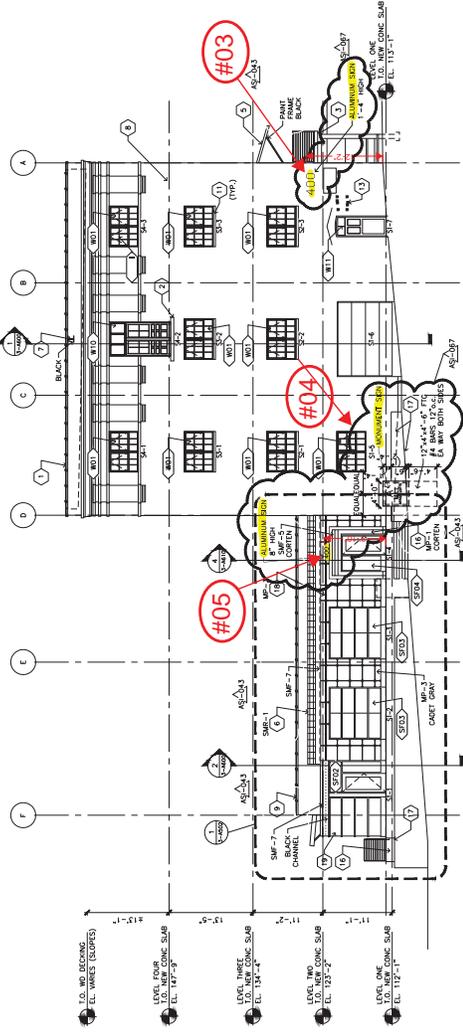
EXTERIOR ELEVATION KEYNOTES

- REPAIR CRACK AND/OR REPAIR TERRA COTTA ROOF COPING. REPLACE ANY MISSING PAGES TO ORIGINAL DRAWING.
- NEW GARGOYLE/HUNTERS
- REPAIR AND REPAINT EXISTING RETAINING WALL
- NEW CONCRETE DECK
- REPAIR AND REPAINT EXISTING RETAINING WALL
- NEW GARGOYLE/HUNTERS
- STANDING SEAM METAL ROOF (SMF-1)
- PERMANENTLY SECURE TO BEAM WITH TIGHT BOLT
- REPAIR AND REPAINT EXISTING INTERIOR SIDE OF PARAPET WALLS OF ENTIRE BUILDING ELEVATION
- REBUILD MASONRY/TERRA COTTA PARAPET. NEW MASONRY/TERRA COTTA SHALL BE TO MATCH EXISTING MASONRY/TERRA COTTA. REPLACE MISSING BRICK PATCH FACE BRICK WHERE INDICATED ON DRAWINGS.
- REPAIR ALL BRICK SILLS. REPLACE MISSING BRICK AT SELECTED SILL LOCATIONS.
- REBUILD OVERLOOK SUPPERS
- REPAIR AND REPAINT EXISTING STEEL PLATES AND BOLT PENETRATIONS
- METAL GUTTER DAWGOUT BANK AT BOTH ENDS
- CORNER STEEL CLADDING (MP-1)
- CORNER STEEL CLADDING (MP-1)
- REPAIR AND REPAINT EXISTING MASONRY. SEE 3-A500-01 FOR A COMPLETE LIST OF FINISHES.
- SPACERS (MP-3)
- POWER GUARDED STEEL PEROLA
- DRAINAGE CHANNEL

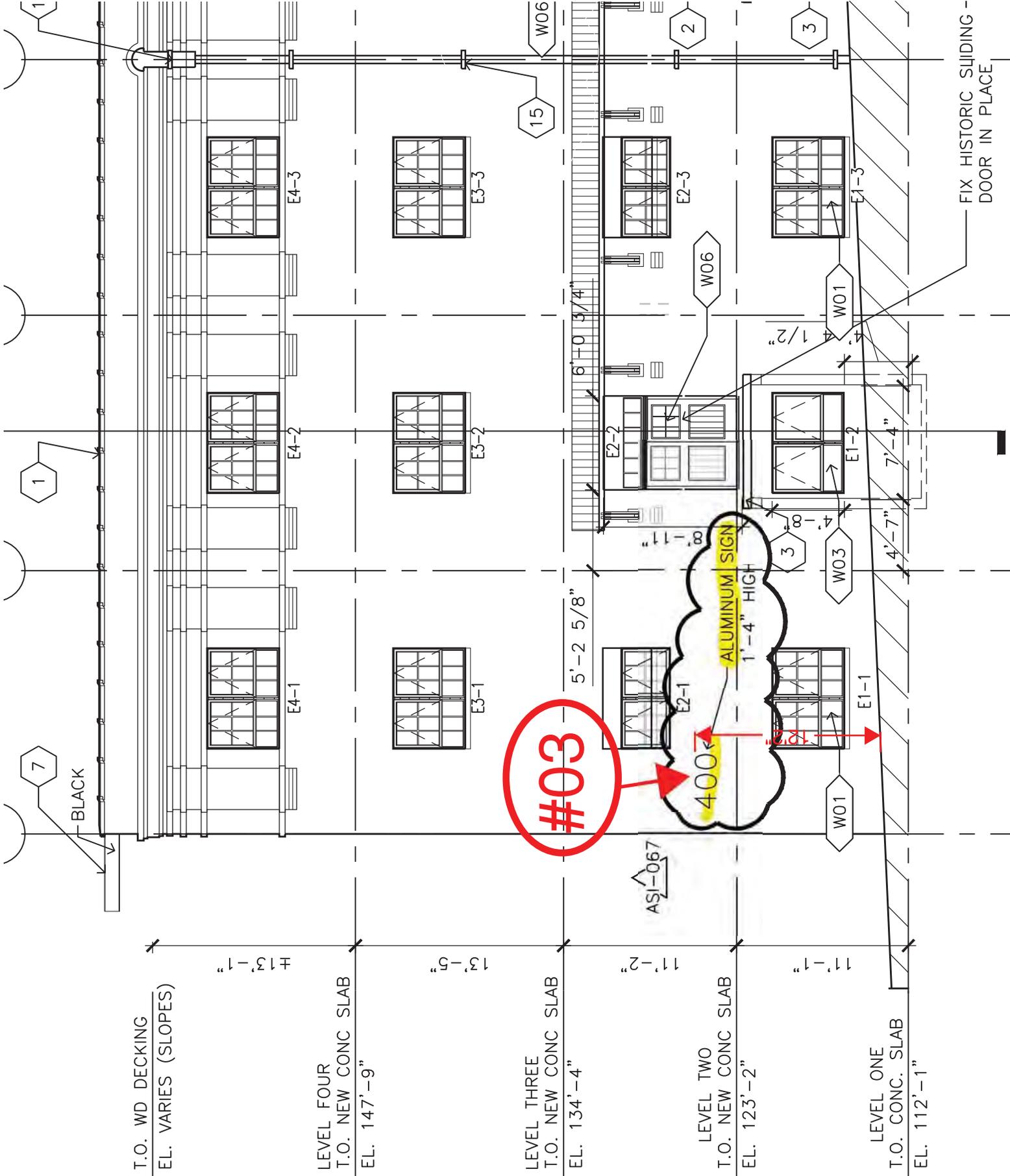
EXTERIOR ELEVATION KEY PLAN



1 EAST EXTERIOR ELEVATION



2 SOUTH EXTERIOR ELEVATION



T.O. WD DECKING
EL. VARIES (SLOPES)

LEVEL FOUR
T.O. NEW CONC SLAB
EL. 147'-9"

LEVEL THREE
T.O. NEW CONC SLAB
EL. 134'-4"

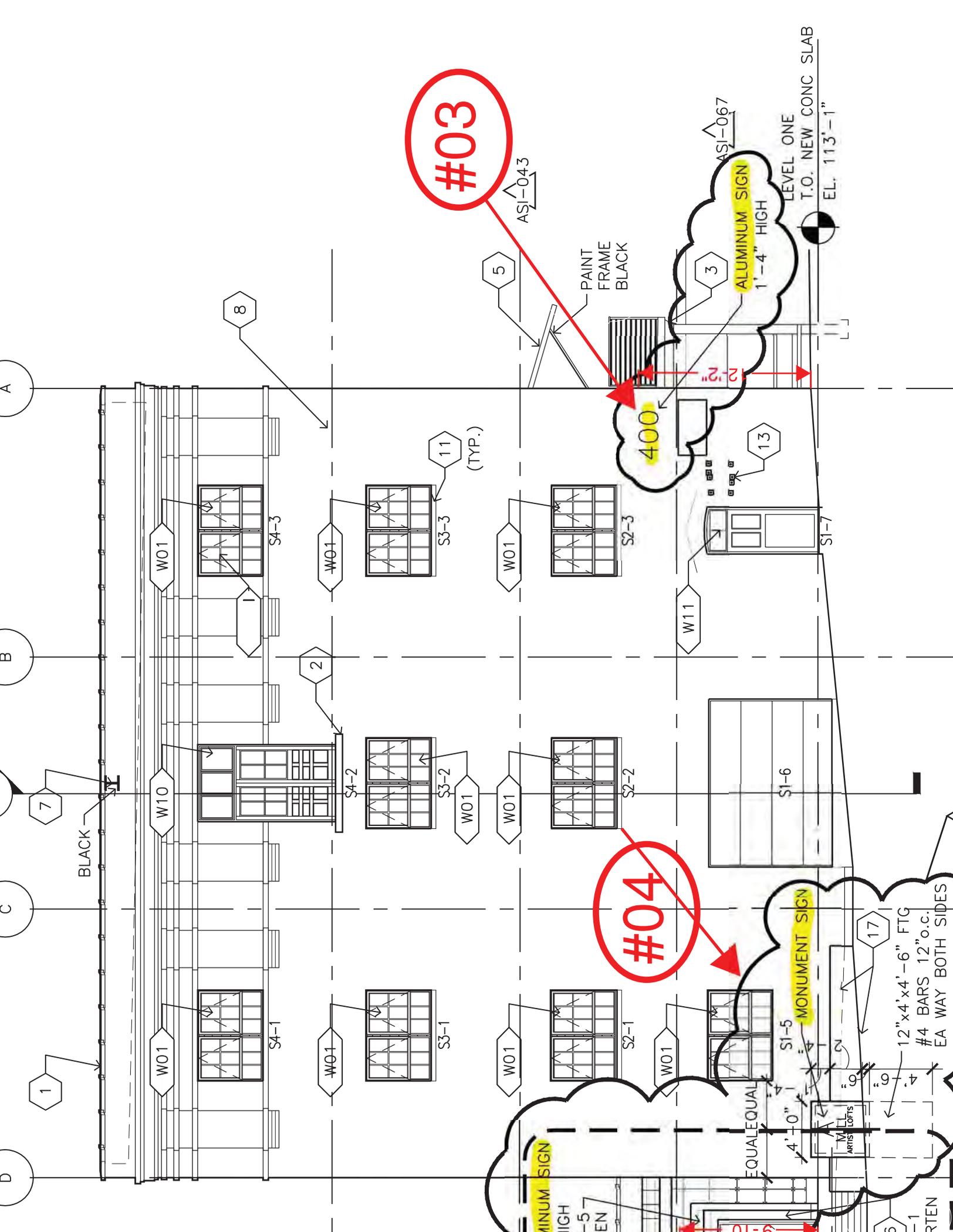
LEVEL TWO
T.O. NEW CONC SLAB
EL. 123'-2"

LEVEL ONE
T.O. CONC. SLAB
EL. 112'-1"

#03

ALUMINUM SIGN
1'-4" HIGH
400

FIX HISTORIC SLIDING -
DOOR IN PLACE



#03

#04

ASJ-043

ASJ-067

PAINT FRAME BLACK

ALUMINUM SIGN 1'-4" HIGH

LEVEL ONE
T.O. NEW CONC SLAB
EL. 113'-1"

400

12'-2"

BLACK

MONUMENT SIGN

MINUM SIGN

HIGH

-5

EN

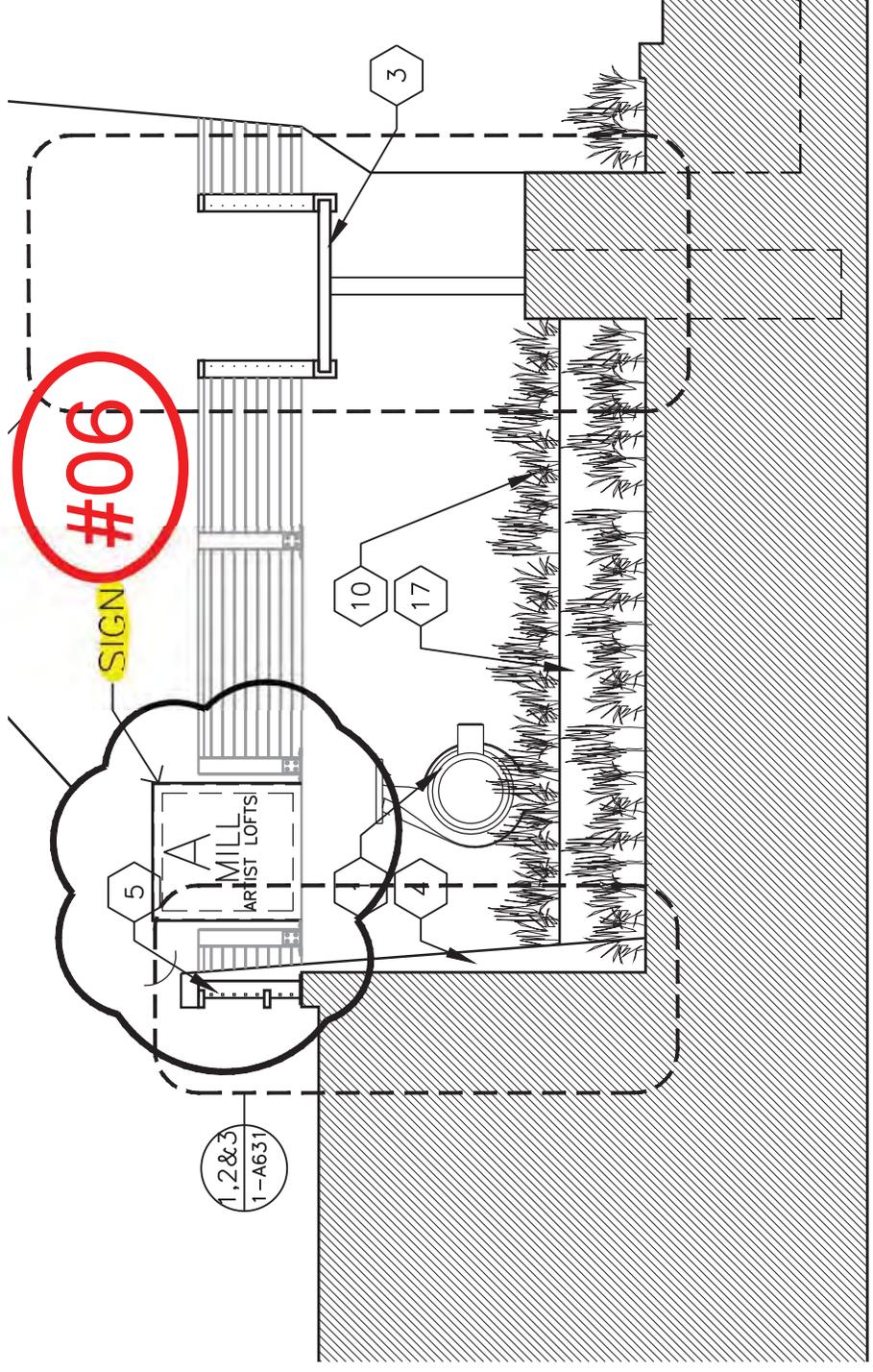
EQUALEQUAL

4'-0"

ARTIS LOFTS

12" x 4' x 4' - 6" FTG
#4 BARS 12" O.C.
EA WAY BOTH SIDES

ARTEN

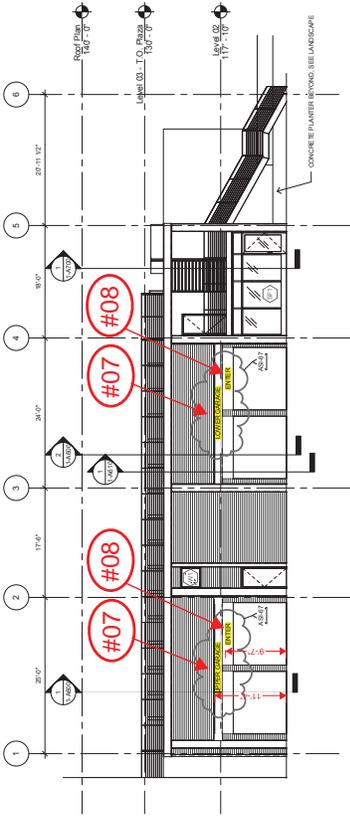


3 SUNKEN RELIC GARDEN SECTION EAST

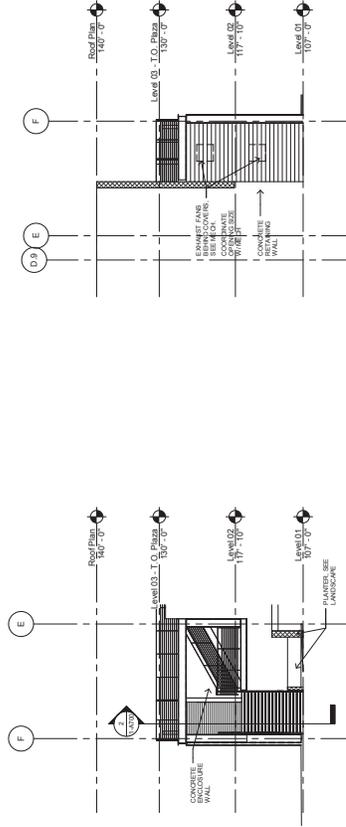
L202 3/16" = 1'-0"

REVISION	DATE
AS1.0B	03/04/2015
AS1.07	07/17/2015
AS1.08	08/20/2015
AS1.09	09/22/2014

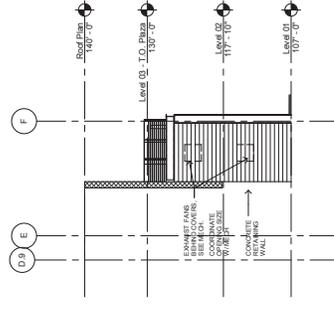
DATE	03/03/13
DRAWN BY	Andy
CHECKED BY	Chris
COMMISSION NO.	PACKAGE I
SHEET TITLE	



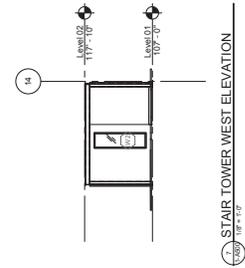
WEST ELEVATION
1/8" = 1'-0"



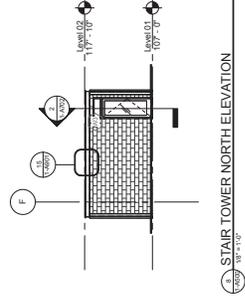
SOUTH ELEVATION
1/8" = 1'-0"



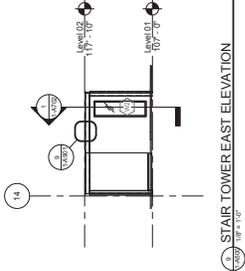
NORTH ELEVATION
1/8" = 1'-0"



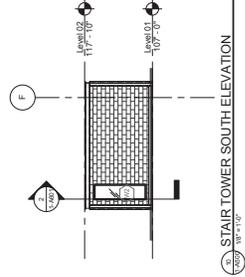
STAIR TOWER WEST ELEVATION
1/8" = 1'-0"



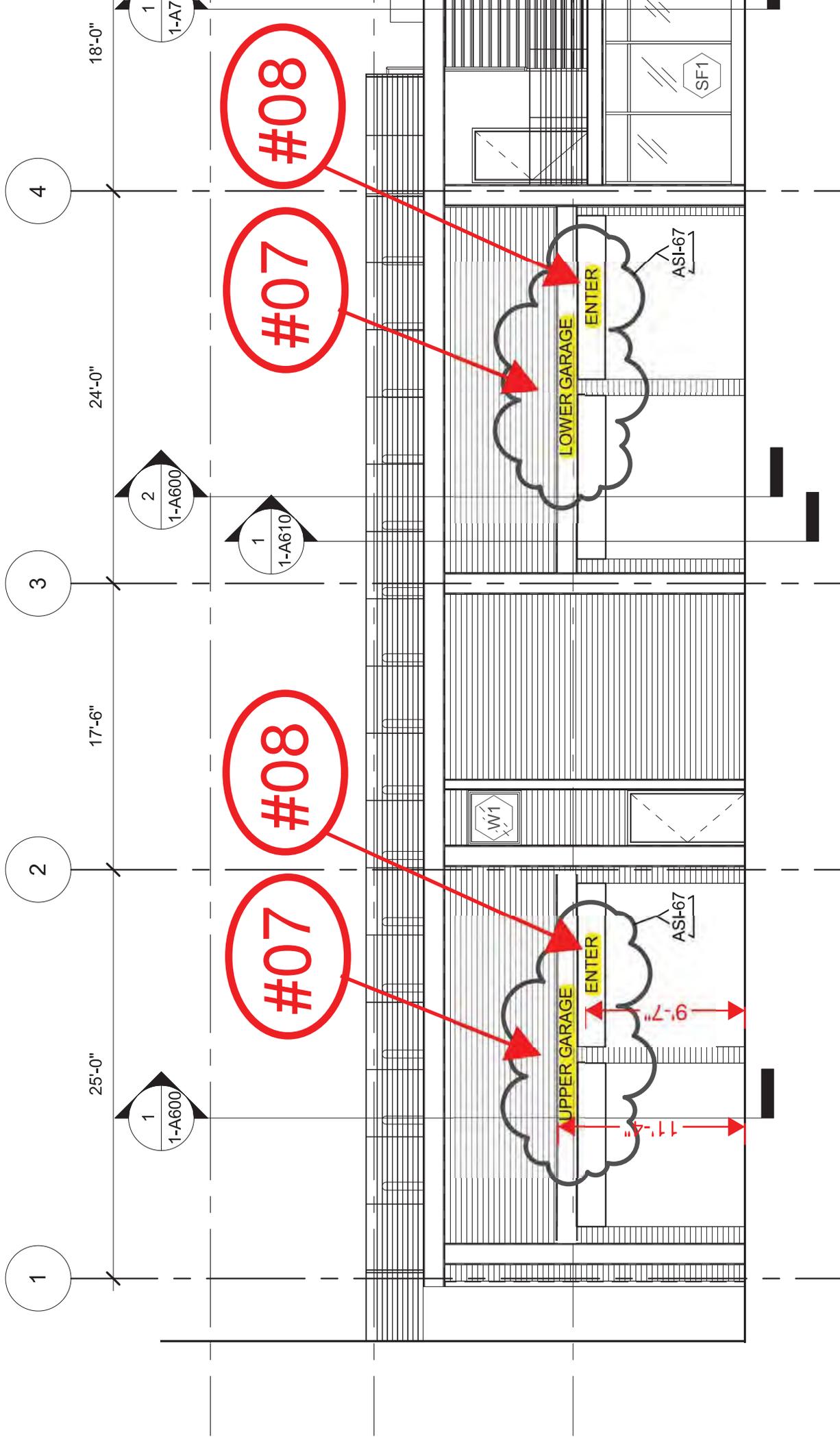
STAIR TOWER NORTH ELEVATION
1/8" = 1'-0"



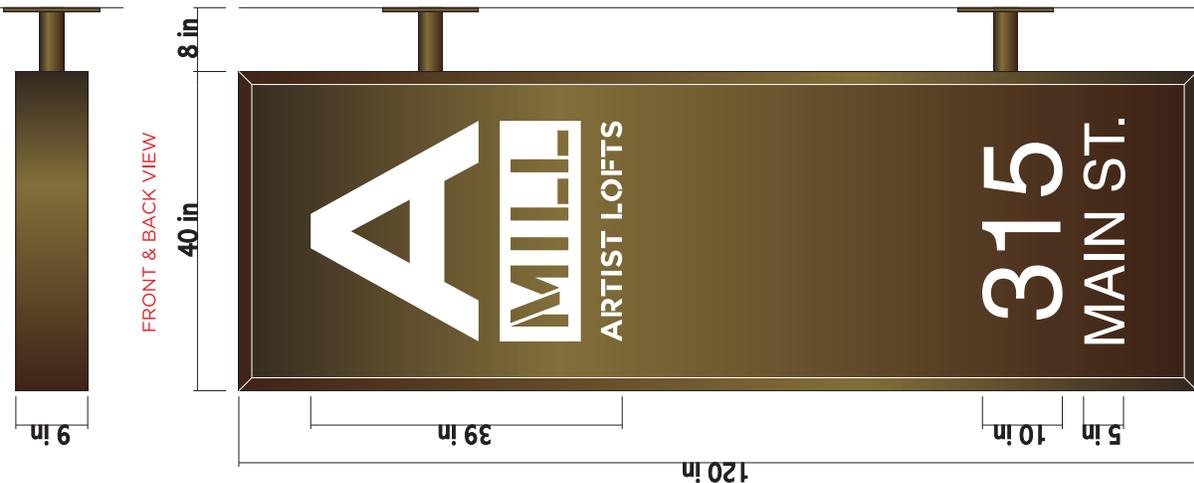
STAIR TOWER EAST ELEVATION
1/8" = 1'-0"



STAIR TOWER SOUTH ELEVATION
1/8" = 1'-0"

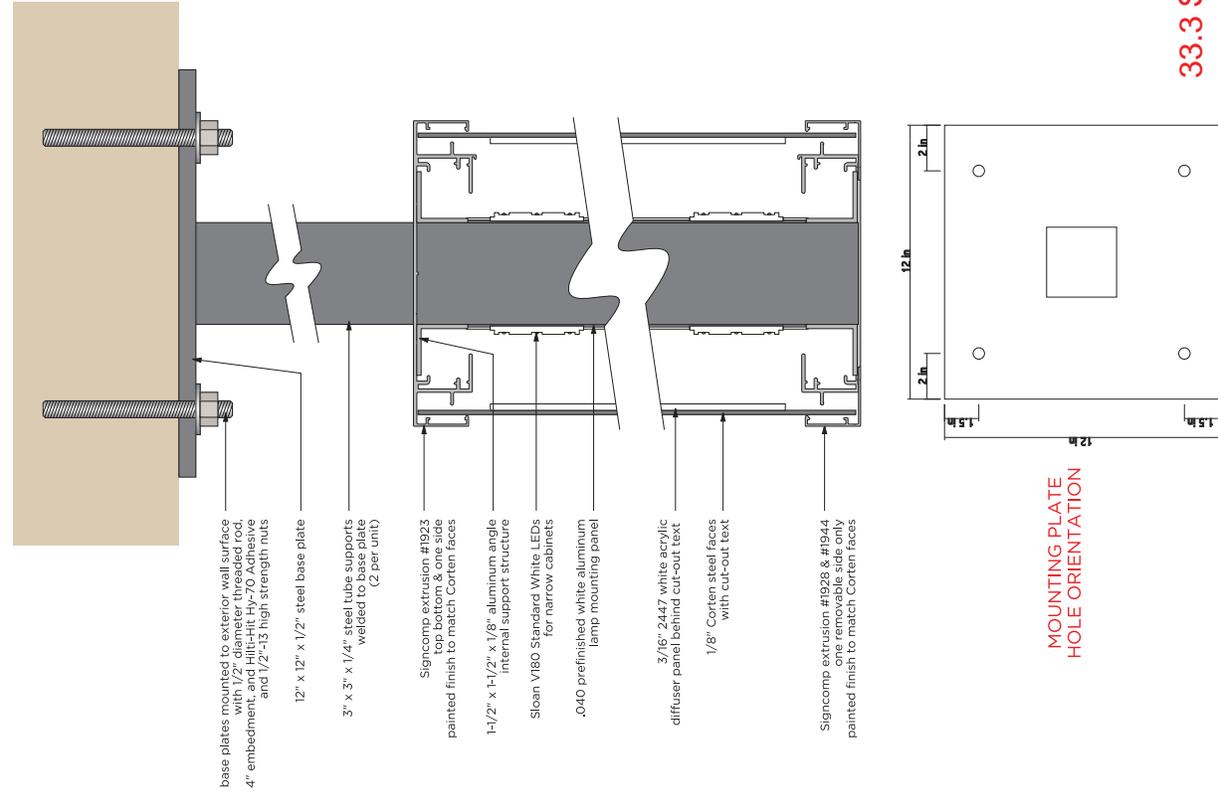


TOP VIEW



FRONT & BACK VIEW

TOP SECTION



PURCHASED PARTS:

(cabinet)
Signcomp #1923/1928/1944.
extrusion kit, 120" x 40" x 9" deep
(faces - 2 per unit)
1/8" Corten steel with cut-out
logo & text, 119-1/2" x 39-1/2"
(base plates - 2 per unit)
12" x 12" x 1/2" steel base plates
(4) 1/2" holes & center hole
to receive 3" x 3" posts

METAL FAB:

(internal support structure)
1-1/2" x 1-1/2" x 1/8" aluminum
angle internal support structure
(posts - 2 per unit)
3" x 3" x 1/4" steel tube
welded to steel base plates
spaced 72" O.C.
(led mounting panels)
.040 pre-finished white aluminum
(lighting)
Sloan V180 Standard White LED
module, designed for narrow
cabinets, with (4) Meanwell
12V 60W internal power supplies

FAB:

(diffuser panels)
3/16" 2447 translucent
white acrylic
(2) 45" x 33"
(2) 24" x 33"
(mounting template)
3mm white sintra, 84" x 12"
hole pattern per flexi file

PAINT (cabinet, posts,
mounting plates):
all exposed surfaces painted
finish to match Corten steel

MOUNTING:

base plates mounted to
exterior wall surface with
1/2" diameter threaded rod,
4" embedment. Hi-Hit
Hy-70 Adhesive, and
1/2"-13 high strength nuts

MOUNTING PLATE
HOLE ORIENTATION

33.3 SF

Sign #01



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A-MILL ARTIST LOFTS
Minneapolis, MN

ST-24
120" x 40" DF
Illuminated Blade Sign
PRODUCTION READY

CUSTOMER APPROVAL

NAME: _____
DATE: _____

REV 1: 1-12-16 KN
REV 2: 1-22-16 KN
REV 3: 2-15-16 KN
REV 4:
REV 5:
REV 6:
REV 7:

SALES: BE
DESIGN: KN
DATE: 12.17.15
DWG:

PURCHASED PARTS:

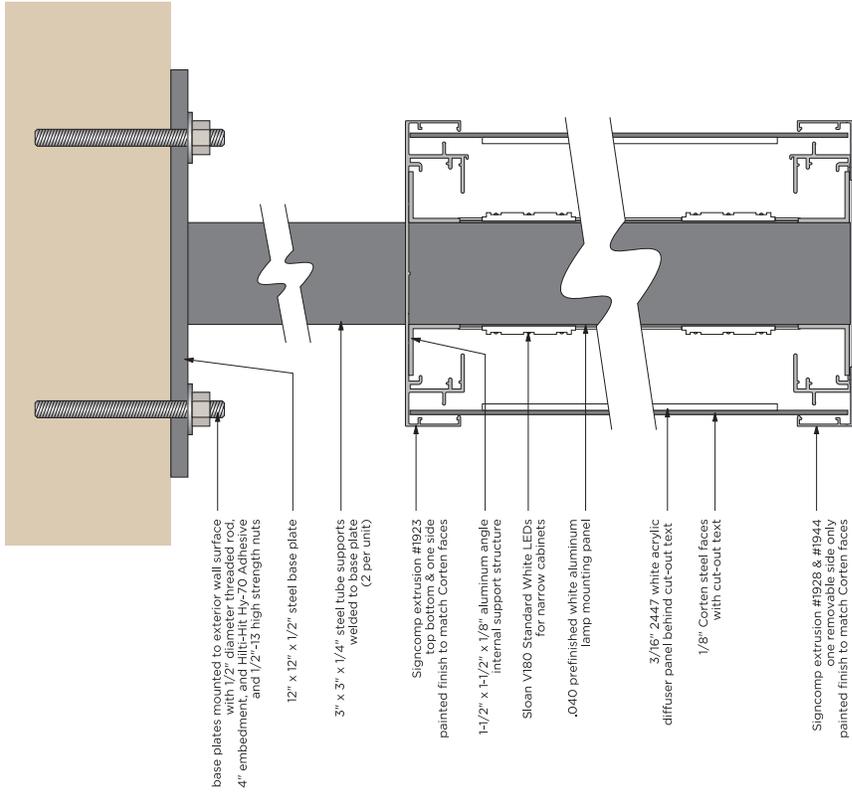
- (cabinet)
SignComp #1923/1928/1944
extrusion kit, 120" x 40" x 9" deep
- (faces - 2 per unit)
1/8" Corten steel with cut-out
logo & text, 119-1/2" x 39-1/2"
- (base plates - 2 per unit)
12" x 12" x 1/2" steel base plates
(4) 1/2" holes & center hole
to receive 3" x 3" posts

METAL FAB:

- (internal support structure)
1-1/2" x 1-1/2" x 1/8" aluminum
angle internal support structure
- (posts - 2 per unit)
3" x 3" x 1/4" steel tube
welded to steel base plates
spaced 72" O.C.
- (led mounting panels)
.040 pre-finished white aluminum
- (lighting)
Sloan V180 Standard White LED
module, designed for narrow
cabinets, with (4) Meanwell
12V 60W internal power supplies

FAB:

- (diffuser panels)
3/16" 2447 translucent
white



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A-MILL ARTIST LOFTS
Minneapolis, MN

ST-22
8" Top Mount
Aluminum Letters
PRODUCTION READY

CUSTOMER APPROVAL
NAME: _____
DATE: _____

REV 1: 1-11-16 KN
REV 2:
REV 3:
REV 4:
REV 5:
REV 6:
REV 7:

SALES: BE
DESIGN: KN
DATE: 12.17.15
DWG:

PURCHASED PARTS (letters):
1/2" thick flat cut aluminum
Helvetica Regular, 8" UC
clear anodized finish
tops of letters tapped for
#10-24 threaded studs
full paper stud pattern
for installation

METAL FAB (bracket):
1" x 1-1/2" x 1/8" aluminum
channel, 20-3/4" length

PAINT (bracket & spacers):
all exposed surfaces painted
Matthews 41342 Brushed
Aluminum

ASSEMBLY/MOUNTING:

- letters mounted to channel with #10-24 x 1-3/4" bolt with 1" x 3/8" O.D. aluminum spacer sleeve
- channel mechanically mounted into canopy above (hardware to be verified on site)

Sign #02



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A-MILL ARTIST LOFTS
Minneapolis, MN

ST-17
16" Aluminum Letters

PRODUCTION READY

CUSTOMER APPROVAL

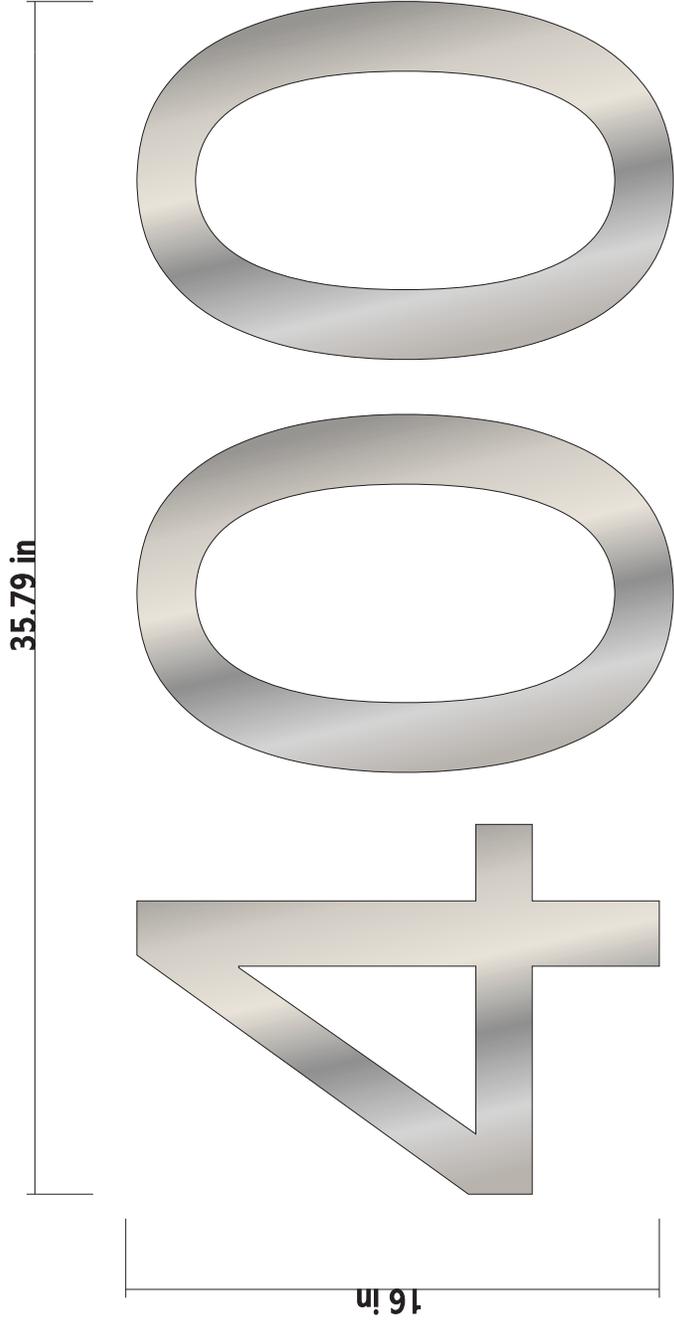
NAME: _____
DATE: _____

REV 1: 1-11-16 KN
REV 2:
REV 3:
REV 4:
REV 5:
REV 6:
REV 7:

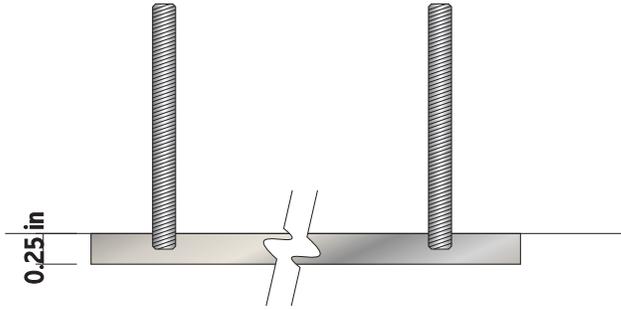
SALES: BE
DESIGN: KN
DATE: 12.17.15
DWG:

PURCHASED PARTS (letters):
1/4" thick flat cut aluminum
Helvetica Regular, 16" UC
clear anodized finish
backs of letters tapped for
#10-24 threaded studs
full paper stud pattern
for installation

MOUNTING:
mount to wall surface with
#10-24 x 2" threaded studs
& silicone adhesive



SECTION



2 THUS

Sign #03

FRONT ELEVATION

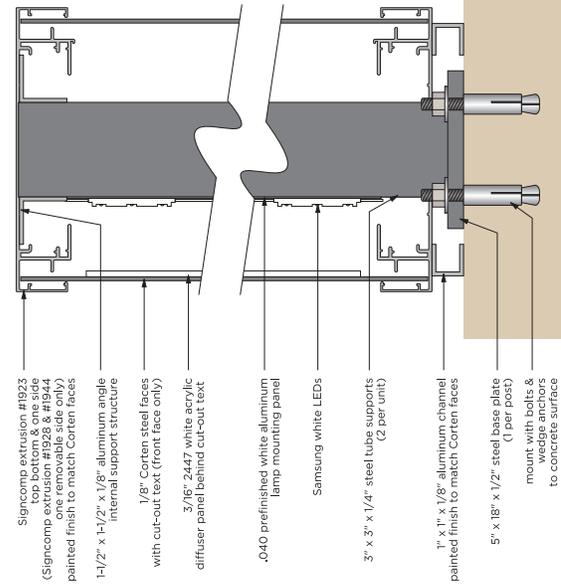


SIDE ELEVATION



location of electrical box on back of cabinet

SECTION DETAIL



- Signcomp extrusion #1923 top bottom & one side (Signcome one removable side only) painted finish to match Corten faces
- 1-1/2" x 1-1/2" x 1/8" aluminum angle internal support structure
- 1/8" Corten steel faces with cut-out text (front face only)
- 3/16" 2447 white acrylic diffuser panel behind cut-out text
- .040 prefinished white aluminum lamp mounting panel
- Samsung white LEDs
- 3" x 3" x 1/4" steel tube supports (2 per unit)
- 1" x 1" x 1/8" aluminum channel painted finish to match Corten faces
- 5" x 18" x 1/2" steel base plate (1 per post) mount with bolts & concrete surface to concrete surface

NOTE:
Text cut out of front face only.

PURCHASED PARTS:

- (cabinet) Signcomp 1923/1928/1944. extrusion kit, 48" x 46" x 9" deep
- (faces - 2 per unit) 1/8" Corten steel with cut-out logo text (front face only) 47-1/2" x 45-1/2"
- (base plates - 2 per unit) 5" x 18" x 1/2" steel base plates (8) 1/2" holes & center hole to receive 3" x 3" posts

METAL FAB:

- (internal support structure) 1-1/2" x 1-1/2" x 1/8" aluminum angle internal support structure
- (posts - 2 per unit) 3" x 3" x 1/4" steel tube welded to steel base plates spaced 24" O.C.
- (base channel) 1" x 1" x 1/8" aluminum channel mitered corners, 8" x 45" frame
- (led mounting panels) .040 pre-finished white aluminum (lighting) internal Samsung LED illumination with (4) Meanwell 12V 60W internal power supplies

FAB:

- (diffuser) 3/16" 2447 translucent white acrylic 43" x 35"
- (mounting template) 3mm white sintra, 5" x 42" hole pattern per flexi file

PAINT (cabinet & base channel):

painted finish to match Corten steel

MOUNTING:

base plates mounted to concrete surface with (8) 3/8"-16 x 2-3/4" zinc wedge anchors

Sign #04

15.3 SF



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A-MILL ARTIST LOFTS
Minneapolis, MN

ST-21
48" x 46" SF Illuminated
Monument Sign
PRODUCTION READY

CUSTOMER APPROVAL

NAME: _____
DATE: _____

- REV 1: 1-11-16 KN
- REV 2:
- REV 3:
- REV 4:
- REV 5:
- REV 6:
- REV 7:

SALES: BE
DESIGN: KN
DATE: 12.17.15
DWG:

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A-MILL ARTIST LOFTS
Minneapolis, MN

ST-25
8" Bottom Mount
Aluminum Letters
PRODUCTION READY

CUSTOMER APPROVAL
NAME: _____
DATE: _____

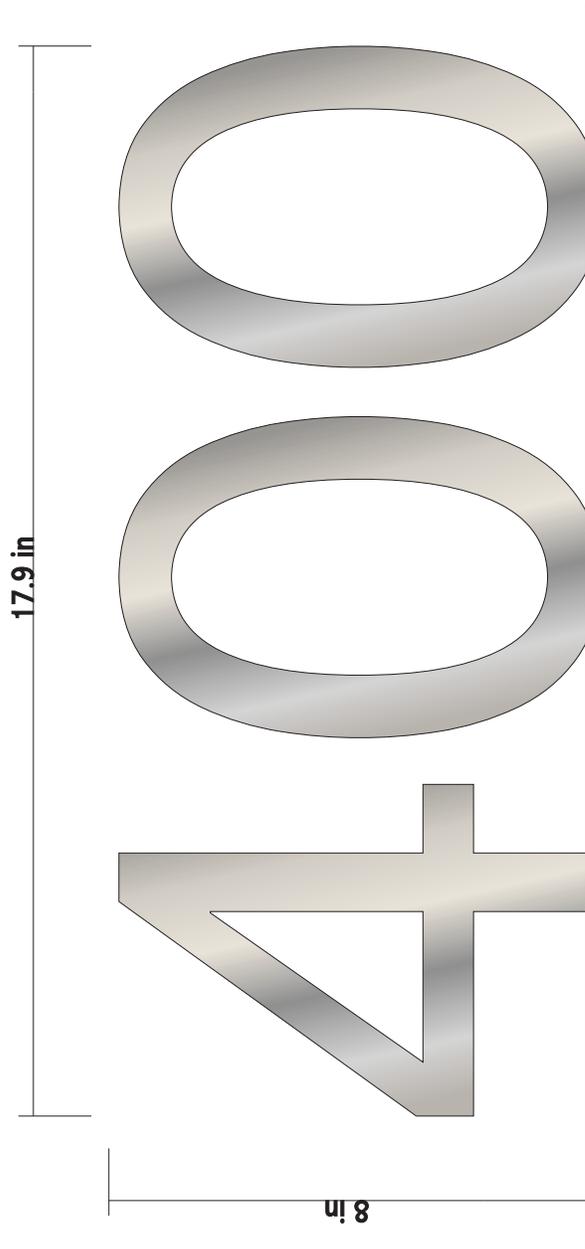
REV 1: 1-11-16 KN
REV 2:
REV 3:
REV 4:
REV 5:
REV 6:
REV 7:

SALES: BE
DESIGN: KN
DATE: 12.17.15
DWG:

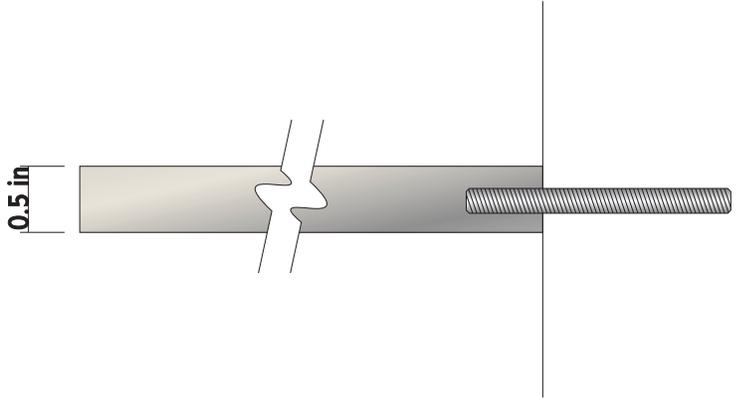
PURCHASED PARTS (letters):
1/2" thick flat cut aluminum
Helvetica Regular, 8" UC
clear anodized finish
bottoms of letters tapped for
#10-24 threaded studs
full paper stud pattern
for installation

MOUNTING:
mount to top of canopy with
#10-24 x 2" threaded studs
& silicone adhesive

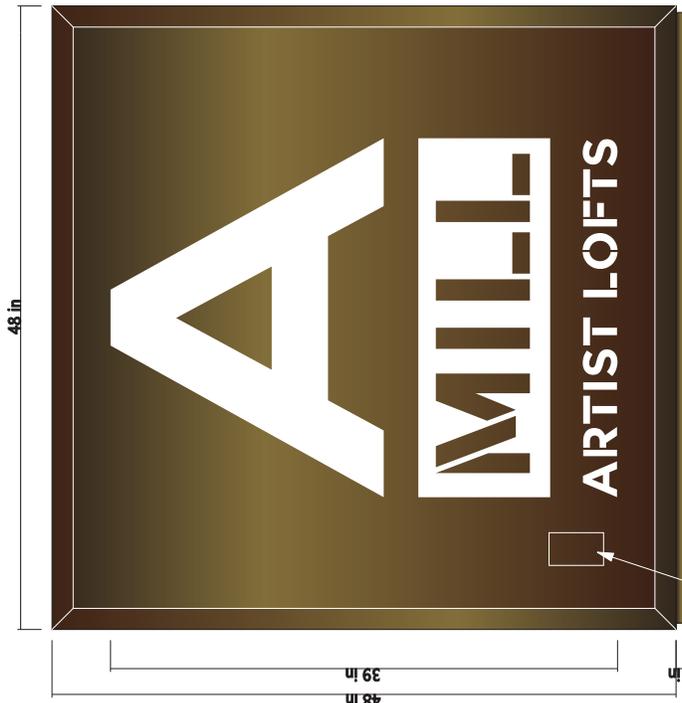
Sign #05



SECTION



FRONT ELEVATION

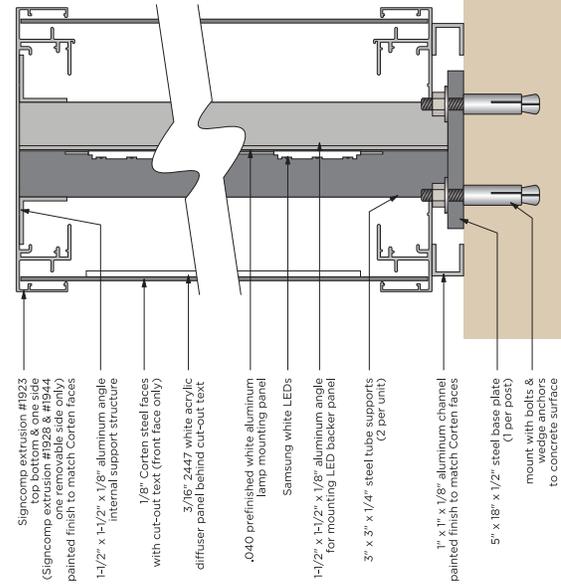


SIDE ELEVATION



location of electrical box on back of cabinet

SECTION DETAIL



NOTE:
Text cut out of front face only.

PURCHASED PARTS:

- (cabinet) Signcomp 1923/1928/1944 extrusion kit, 48" x 48" x 9" deep
- (faces - 2 per unit) 1/8" Corten steel with cut-out logo text (front face only) 47-1/2" x 47-1/2"
- (base plates - 2 per unit) 5" x 12" x 1/2" steel base plates (4) 1/2" holes & center hole to receive 3" x 3" posts

METAL FAB:

- (internal support structure) 1-1/2" x 1-1/2" x 1/8" aluminum angle internal support structure
- (posts - 2 per unit) 3" x 3" x 1/4" steel tube welded to steel base plates spaced 32" O.C.
- (base channel) 1" x 1" x 1/8" aluminum channel mitered corners, 8" x 47" frame
- (led mounting panels) .040 pre-finished white aluminum
- (led mounting panel brackets) 1-1/2" x 1-1/2" x 1/8" aluminum angle
- (lighting) internal Samsung white LED illumination with (4) Meanwell 12V 60W internal power supplies

FAB:

- (diffuser) 3/16" 2447 translucent white acrylic 43" x 35"
- (mounting template) 3mm white sintra, 5" x 44" hole pattern per flexi file

PAINT (cabinet & base channel):

painted finish to match Corten steel

MOUNTING:

base plates mounted to concrete surface with (4) 3/8"-16 x 2-3/4" zinc wedge anchors per plate



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A-MILL ARTIST LOFTS
Minneapolis, MN

ST-23
48" x 52" SF Illuminated Monument Sign
PRODUCTION READY

CUSTOMER APPROVAL

NAME: _____
DATE: _____

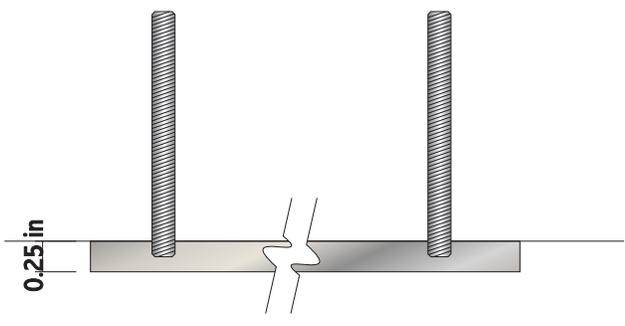
REV 1: 1-11-16 KN
REV 2: 1-22-16 KN
REV 3: 2-15-16 KN
REV 4:
REV 5:
REV 6:
REV 7:

SALES: BE
DESIGN: KN
DATE: 12.17.15
DWG:

Sign #06

16 SF

SECTION



0.25 in

PURCHASED PARTS (letters):
 1/4" thick flat cut aluminum Helvetica Regular, 12" UC clear anodized finish
 backs of letters tapped for #10-24 threaded studs
 full paper stud pattern for installation

MOUNTING:

mount to wall surface with #10-24 x 2" threaded studs & silicone adhesive

ST-18

131.09 in

[12 in] U P P E R G A R A G E

ST-19

134.34 in

[12 in] L O W E R G A R A G E

Sign #07



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A-MILL ARTIST LOFTS
Minneapolis, MN

ST-20
8" Entrance Vinyl

PRODUCTION READY

CUSTOMER APPROVAL

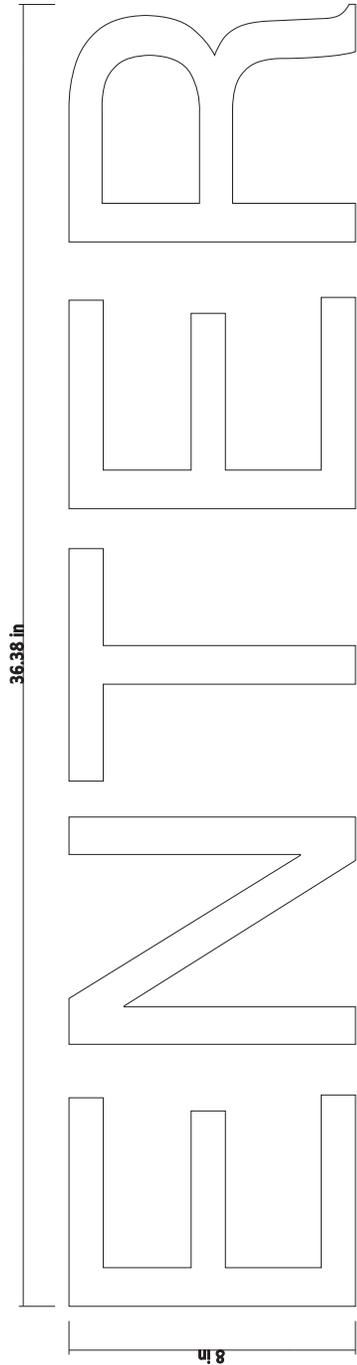
NAME: _____
DATE: _____

REV 1: 1-11-16 KN
REV 2:
REV 3:
REV 4:
REV 5:
REV 6:
REV 7:

SALES: BE
DESIGN: KN
DATE: 12.17.15
DWG:

PAGE: 01

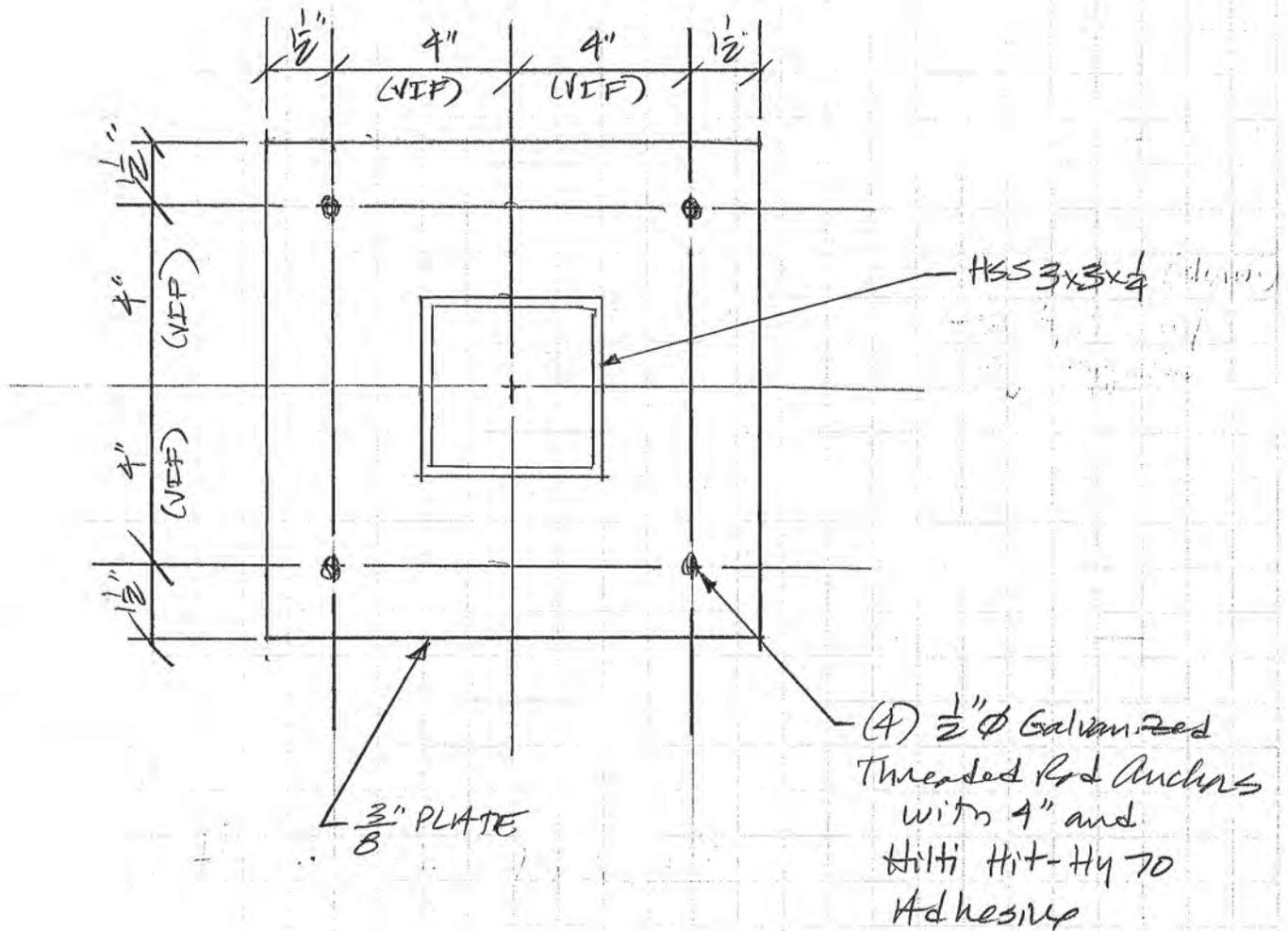
VINYL:
first surface DA vinyl
220-10 White
Helvetica Regular, 8" UC



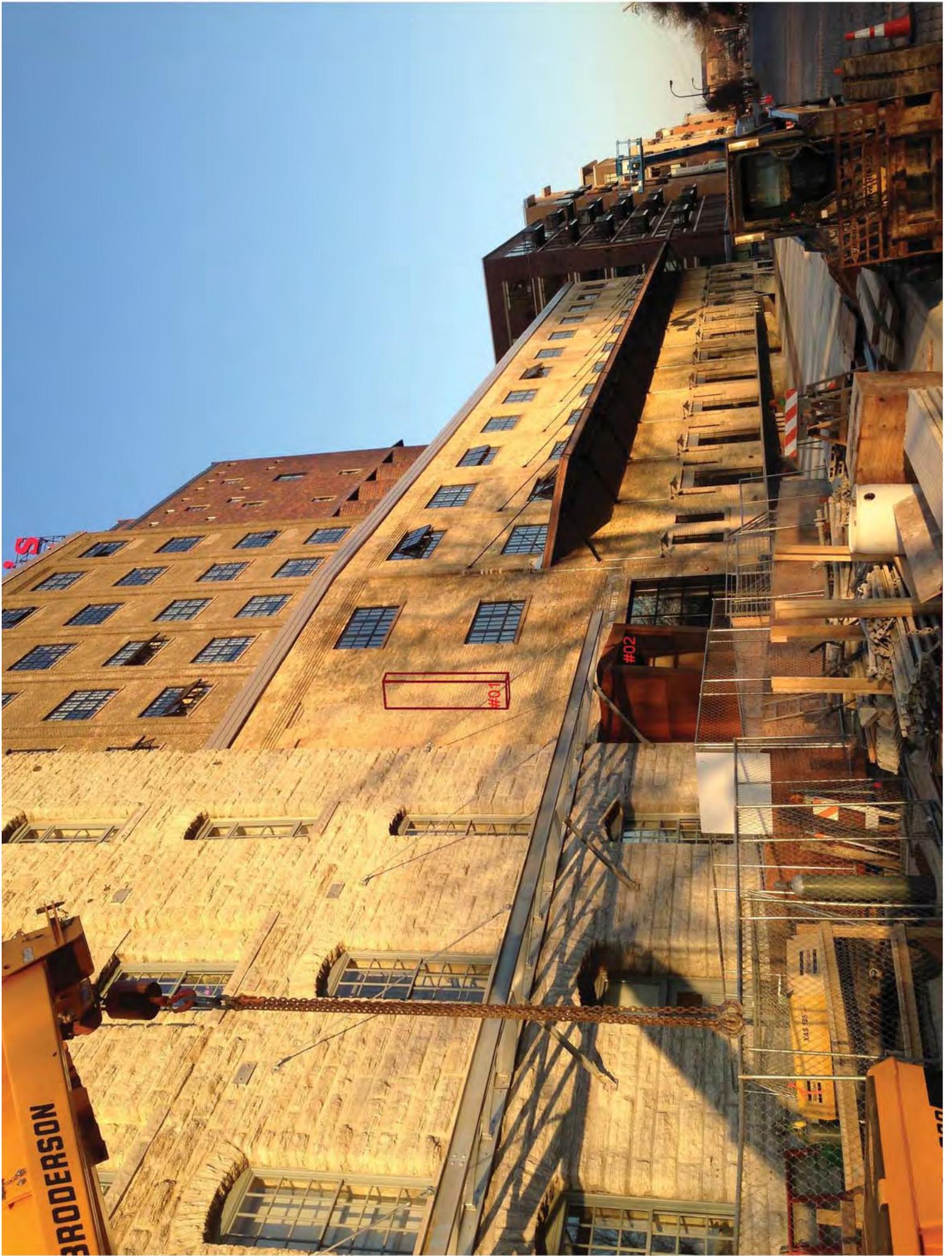
Sign #08

2 THUS

* All anchors must be embedded in the walls mortar joints, verify mortar joints locations in the field



①: Typical Sign Attachment (ASIT 601)





315
#02

315 MAIN STREET SE

6





#03

400

400

#415



#04

#05





406

PROTECT SPACE
NO PARKING
NO STOPPING
NO TRUCKS

STATE OF CALIFORNIA
DEPARTMENT OF
TRANSPORTATION
CALIFORNIA HIGHWAY
PATROL

P



#07

#08

#07

#08

WIND
RESISTANCE
CLASS
CLASSIFICATION
CLASSIFICATION

Pillsbury's
BEST FLOUR



Pillsbury's
BEST FLOUR