

LAND USE APPLICATION SUMMARY

Property Location: 6052 Thomas Ave S
Project Name: New Single-family Construction
Prepared By: Alyssa Brandt, City Planner, (612) 673-5877
Applicant: Paramount Investment Group
Project Contact: Sean Stevens
Request: Construct a new single-family dwelling with detached garage
Required Applications:

Variance	To reduce the established front yard setback from approximately 84.4 feet to 30.1 feet to allow for the construction of a new single-family dwelling.
-----------------	-------------------------------------------------------------------------------------------------------------------------------------------------------

SITE DATA

Existing Zoning	RIA Single Family District
Lot Area	5728 square feet / 0.131 acres
Ward(s)	13
Neighborhood(s)	Armatage
Designated Future Land Use	Urban Neighborhood
Land Use Features	Not Applicable
Small Area Plan(s)	Not Applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The site is currently occupied by a one-story 592 square foot house, with a 361 square foot detached garage. The Applicant is proposing to demolish the existing house and garage in order to construct a new two-story, 2,859 square foot single-family dwelling with a 440 square foot detached garage. The site is zoned RIA Single Family District and is approximately 45 feet by 127 feet (5,728 square feet); it is located on the corner of Thomas Avenue South and 61st Street West.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The property to the north, 6048 Thomas Ave S, is a two-story single-family dwelling with a front yard setback of 84.4 feet. To the south is 61st Street West. The remainder of the properties on this block-face have a front yard setback of about 30 feet, with the exception of 6030 Thomas Avenue South, located several properties to the north, which is set back about 65 feet.

Date Application Deemed Complete	March 11, 2016	Date Extension Letter Sent	Not Applicable
End of 60-Day Decision Period	May 10, 2016	End of 120-Day Decision Period	Not Applicable

Section 546.160 of the Minneapolis Code of Ordinances states that when determining an established front yard setback, a building may be disregarded if it is set back by 25 feet or more from the next farthest residential structure. The home at 6048 Thomas Ave S is set back only 19.4 feet more than 6030 Thomas Ave S, so this provision cannot be applied, and a variance must be sought to reduce the established front yard.

All properties within several blocks of 6052 Thomas Ave S are zoned RIA.

PROJECT DESCRIPTION. The applicant is proposing to build a new two story, single-family dwelling with detached garage.

Although the required front yard setback for the RIA District is 20 feet, the Minneapolis Zoning Code states that this setback will be increased when neighboring properties are sited behind the district setback; this creates an established front yard setback. An established front yard setback is determined by drawing a line from the front corner of a property on one side of the subject property to the closest corner on the other side of the subject property. In the case of corner lots, the established front yard is determined by a line from the front corner of the neighboring property which runs parallel to the street. Essentially, in the case of corner lots, new construction must be in line with or behind the neighboring house. The property to the north of the subject property, 6048 Thomas Ave S, is set back 84.4 feet. This creates an established front yard setback for 6052 Thomas Ave S of 84.4 feet and results in only 1,935 square feet of lot area in which a house could be built. The applicant, therefore, is seeking a variance to reduce the established front yard setback from 84.4 feet to 30.1 feet to allow the construction of a new single-family dwelling.

Upon preliminary analysis, in all respects other than the requested variance, the project meets all applicable zoning requirements. The applicant will need to obtain all necessary approvals and permits prior to construction of the project.

PUBLIC COMMENTS. As of writing this staff report, staff has not received any comments. Any correspondence received prior to the public meeting will be forwarded on to the Board of Adjustment for consideration for consideration for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the established front yard setback from 84.4 feet to 30.1 feet to allow for the construction new single-family dwelling, based on the following findings:

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Staff finds that practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The front yard setback requirement in the RIA district is 20 feet. However, this distance is increased where the established front yard of the closest principal buildings originally designed for residential purposes located on either side of the property exceeds the front yard required by the zoning district. In such case, the required front yard shall be not less than this established front yard.

In this case, the established front yard of the adjacent residential structure results in a larger front yard setback than is required by the zoning district. The proposed front yard setback of the new house is approximately 30 feet; the applicant is seeking a variance to reduce this established front yard setback. The 30 foot setback will accommodate a 2 foot cantilever on the 2nd story. The foundation and 1st story will be set back 32 feet.

The circumstances upon which the setback variance is requested are unique to this parcel due to the location of the adjacent neighboring house to the north. The required setback is significantly increased from the district minimum based on the established setbacks of the adjacent house. As a result, the buildable area of the lot is substantially limited. All but one of the remaining houses on the block face conform to a roughly 30 foot front yard setback.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Staff finds that the applicant is proposing to use the property in a reasonable manner consistent with the spirit and intent of the ordinance and comprehensive plan. The applicant is proposing to reduce the required front yard setback established by the adjacent house to the north in order to align the new house at 6052 Thomas Ave S with the majority of the houses on the block face. The attachments show a bird's eye map of the block, showing the placement of the existing and neighboring house as well as the rest of the block face.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Staff finds that the granting of this variance would not negatively alter the essential character or be injurious to the use or enjoyment of other properties in the area. The proposed variance will not be detrimental to the health, safety or welfare of the general public. Demolishing the existing back-of-lot house and constructing a new house in the front of the lot will reinforce the consistent line of setbacks along this block-face. The current layout of the site has the garage towards the front of the lot towards Thomas Ave S. The elevations of the proposed house which face Thomas Ave S and 61st St W are comprised of at least 15% windows. This change will not only increase passive street surveillance but will contribute to a more welcoming street environment. By removing a garage from the front of the lot and relocating it to the rear, the applicant will change where this garage is accessed. Currently, the garage is accessed by a curb cut off of Thomas Avenue S. The proposed garage will be accessed through the alley between Thomas Ave S and Upton Avenue S. Closing the curb cut will not only improve sidewalk continuity, but will move the maneuvering associated with parking from the street to the alley.

The house to the North of the subject property received a variance in 1999 to decrease their North side yard setback to four inches to permit a 2nd story addition. Because 6048 Thomas is sited so far to the North of their lot, there would be 17 feet between this house and the proposed house at 6052 Thomas. Such a large separation between these houses will help to maintain the feeling of spaciousness for 6048 Thomas while improving the character of the block for other residents.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Zoning Board of Adjustment adopt staff findings for the application by Sean Stevens for the property located at 6052 Thomas Avenue South:

A. Variance of the established front yard setback.

Recommended motion: **Approve** the application to reduce the established front yard setback from approximately 84.4 feet to 30.1 feet to allow for the construction of a new single-family dwelling, subject to the following conditions:

1. Approval of the final site, elevation and floor plans by the Department of Community Planning and Economic Development.
2. Applicant shall close curb cut along Thomas Avenue South prior to issuance of Certificate of Occupancy.
3. All site improvements shall be completed by April 7, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

1. Zoning map
2. Written description and findings submitted by applicant
3. Site Survey
4. Plans
5. Building elevations
6. Renderings
7. Photos
8. Letters to neighborhood group and City Council Member
9. Correspondence



C O N C E P T H O M E S

General Land Use Application

TO: CITY OF MINNEAPOLIS
FROM: SEAN STEVENS OF CONCEPT HOMES
SUBJECT: STATEMENT OF PROPOSED USE
DATE: MARCH 12, 2016
RE: 6052 THOMAS AVE S.

(A) Statement of Proposed Use

Concept Homes purchased the existing home located at 6052 Thomas Ave S, which is located on the West side of Thomas Ave, at the corner of Thomas Ave and 61st St in February of 2016. The intent of this purchase was to update and provide a new home for a future family wanting to live in the Armatage neighborhood. Our new home is proposed to have a total above ground square footage of 3610 sq ft. (main floor = 1418 sq. ft. & second floor = 1442 sq. ft.) plus a detached garage.

Due to the placement of the existing structure at the backside of the lot with the garage forward on the front area of the lot, we are applying for a general land use variance to allow us to move our proposed house forward on the lot to be consistent with most of the other houses on the lot. The house just to the North of our property is set back in a similar distance to our existing house. All but one other house on the west side of our block is set forward on their lots consistent with the current set back requirements.

We are proposing to move our new house in line with the rest of the block while adding an alley loading garage at the west (back) side of our lot. Our new home has 3 bedrooms, 2 bathrooms and a laundry room on the upper level, with the kitchen, family room, dining, powder room and a study on the main level. Much thought was put into this design especially the exterior wrap around porch creating a useful and intimate outdoor areas that will bring class and beauty to the corner of this block.

The exterior of the proposed home was designed to stay consistent with a traditional home you would find in South Minneapolis years for the last 100 years. The exterior will be finished with a mixture of lap siding, board and batten siding and natural stone.

(B) Neighborhood Group Letter

See attachment Exhibit A – Neighborhood Group Letter sent via email on 3-12-16

(C) Conditional Use Permit

Due to the far back placement of the existing house and the difficulties of building a new home in the footprint that would require us to bring our proposed house no further forward on our lot than the house to the immediate north of ours, we are respectfully requesting that we be granted the use of a conditional permit that would allow us to construct a 2 story dwelling that is consistent with the front yard setback that the majority of the houses on the block enjoy. This request does not create any endangerment to the public health, safety or general public as the actual location of the new house will meet all other zoning and planning requirements. We are proposing that our house will not exceed the existing general zoning requirements for front yard setback. By doing so, it will allow us to have ample front, side and back yards. The site will have 2 access points, the front street side and the rear, alley side, to allow for easy management of construction and for the daily living of the future homeowner. We're proposing to maintain/match the existing natural grade along the North, South and East of the home, once the home is complete and have planned to provide multiple pervious yard areas for natural drainage and absorption. All other zoning and applicable regulations pertaining to this property location have been review and found to be conforming with Minneapolis, Armatage Neighborhood and Minnesota requirements.

(D) Change of Nonconforming Use

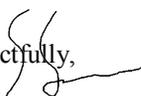
Due to the nature of the existing home location as well as the location of the home just to the north of our existing home, it's been determined that a reasonable 2 story home with garage access from the alley, cannot be erected on this site without an adjustment to the "Front yard Setback" zoning code for this area. Therefore, re-establishing the zoning code for this particular lot is much needed. If done so, it will allow us to construct a single family home that is comparable to its neighboring homes on the entire block. Given that the majority of the homes on this block, on both sides of the street, our home will be consistent with the majority of these houses.

(E) Variance

The property located at 6052 Thomas Ave S. has presented itself to be a very unique parcel of land, where we're finding that the typical zoning ordinances may not work so well, or at very least, will create undo hardships and rendering it impossible to effectively build a modern day single family dwelling. Given the requirement that our proposed house be no further forward on our lot than the home just to our immediate North, this has created a very unique circumstance for us to develop an effective and livable home for this site. Due to this set back requirement, it has been determined that a reasonable 2-story home with a garage accessed from the alley, cannot be erected without a variance to move our house forward to be consistent with the majority of the houses on the block's setbacks. We are respectfully requesting to alter the setback requirements for our home to bring our home forward to the current general zoning set back requirements.

The design intent for this home was exercised in many different directions to make sure that the home met the physical needs of not only the family members living in the home, but also so that it fits within the surrounding homes. All other ordinances were upheld to make sure that sure it does not create any endangerment to the public health, safety or general public and/or the people living within the home. In addition, the intent of the project is in keeping with the spirit and intent of the ordinance and feel of the surrounding neighborhood as we're trying to bridge the setback requirements found on the majority of the block, and create a visually pleasing home that is similar to other modern homes found on Thomas Ave So. and the surround neighborhood.

Thank you for considering our variance request.

Respectfully,

Sean Stevens
Concept Homes

EXISTING CONDITIONS AS-BUILT SURVEY

PREPARED FOR:
15805.00

- 000.0 DENOTES EXISTING ELEVATION
- (000.0) DENOTES PROPOSED ELEVATION
- ← INDICATES DIRECTION OF SURFACE DRAINAGE
- 880.61 = FINISHED GARAGE FLOOR ELEVATION
- 886.29 = MAIN FLOOR ELEVATION

NOTE: AVERAGE EXISTING GRADE
ELEVATION AROUND PERIMETER
OF HOUSE = 885.1

AREAS:

- LOT AREA : 5,728 SQ. FT.
- EXISTING HOUSE AREA : 592 SQ. FT.
- EXISTING GARAGE AREA : 361 SQ. FT.
- EXISTING DECK AREA : 144 SQ. FT.
- EXISTING SIDEWALK AREA : 158 SQ. FT.
- EXISTING DRIVEWAY AREA : 710 SQ. FT.

- COVERAGE AREA : 1,965 SQ. FT 34.3%

BENCHMARK: MONUMENT IN PARK NORTH
OF 58TH ST. WEST AND EAST
OF 5724 RUSSELL AVE. SOUTH.
ELEVATION = 861.24

ADDRESS: 6052 THOMAS AVENUE SOUTH

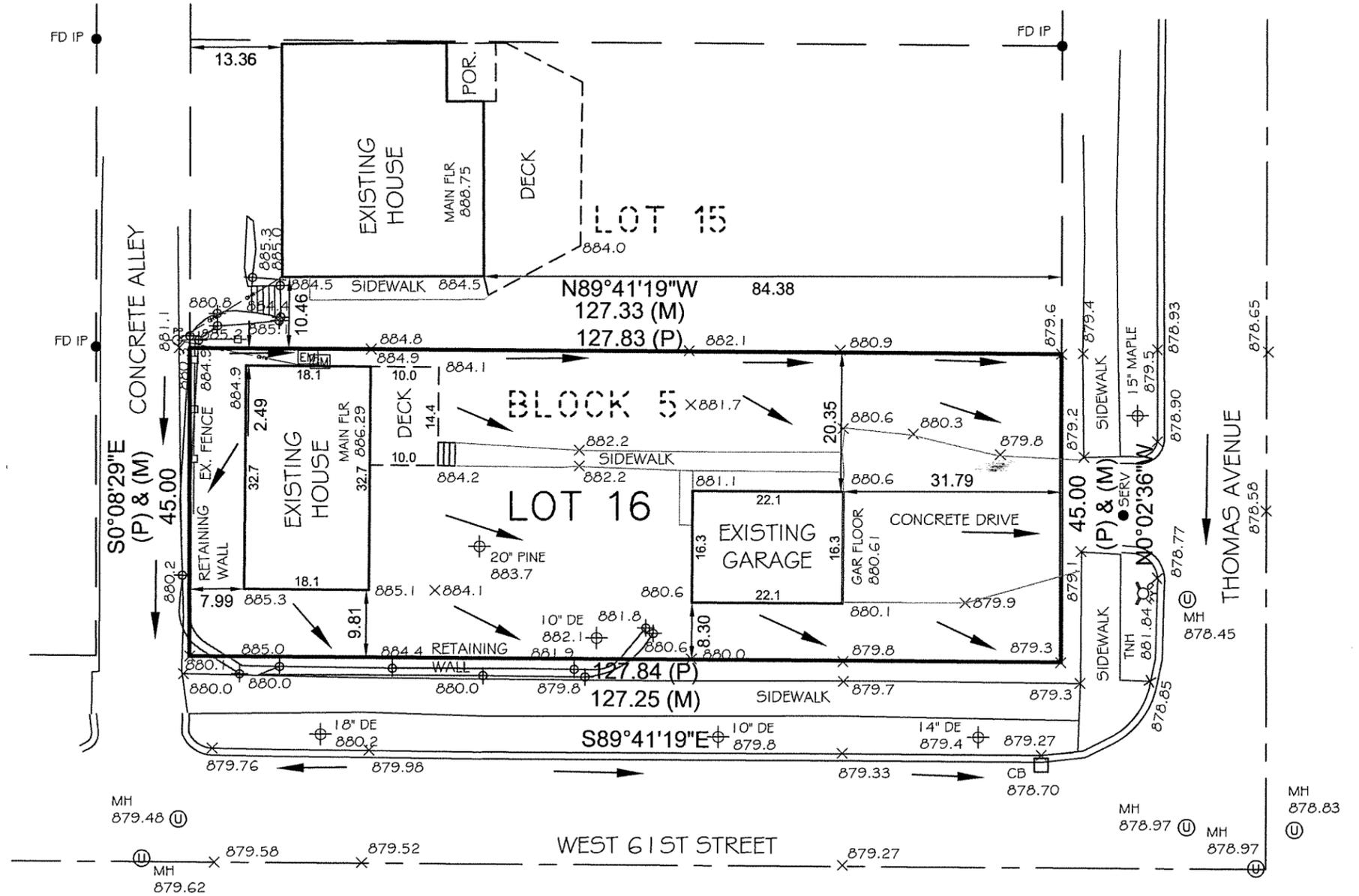


SCALE : 1" = 20'

Legal Description:

LOT 16, BLOCK 5,
KAVLI'S LAKE HARRIET LYNHURST ADDITION,
HENNEPIN COUNTY, MINNESOTA

PROBE ENGINEERING COMPANY, INC.
CONSULTING ENGINEERS,
PLANNERS and LAND SURVEYORS
1000 EAST 146th ST., STE. 240, BURNSVILLE, MN 55337 PH (952)432-3000



I hereby certify that this is a true and correct
representation of a tract as shown and
described hereon. As prepared by me this 11TH
day of SEPTEMBER, 2015.

Russell P. Damlo Minn. Reg. No. 19086
RUSSELL P. DAMLO

Legal Description:

**LOT 16, BLOCK 5,
KAVLI'S LAKE HARRIET LYNHURST ADDITION,
HENNEPIN COUNTY, MINNESOTA**

- 000.0 DENOTES EXISTING ELEVATION
- (000.0) DENOTES PROPOSED ELEVATION
- ← INDICATES DIRECTION OF SURFACE DRAINAGE
- (881.16) = FINISHED GARAGE FLOOR ELEVATION
- (882.50) = TOP OF FOUNDATION ELEVATION GARAGE
NOTE: ADD ONE "EXTRA COURSE" OF BLOCK TO TOP OF FOUNDATION
- (884.36) = MAIN FLOOR ELEVATION
- (882.67) = TOP OF FOUNDATION ELEVATION HOUSE
- (874.00) = BASEMENT FLOOR ELEVATION
- 886.29 = ORIGINAL HOUSE MAIN FLOOR ELEVATION

SCALE : 1" = 20'

BENCHMARK:
MONUMENT IN PARK NORTH OF
58TH ST. WEST AND EAST OF
5724 RUSSELL AVE. SOUTH.
ELEVATION = 861.24

- TREES RETAINED OR PLANTED:**
LOT AREA = 5,415 SQ. FT.,
REQUIRED TREE DIAMETER IS 6 x 3" = 18"
1. 20" PINE - EXISTING - REMOVE
 2. 3" SPRUCE - PROPOSED
 3. 3" MAPLE - PROPOSED
 4. 3" MAPLE - PROPOSED
 5. 3" SPRUCE - PROPOSED
 6. 3" SPRUCE - PROPOSED
 7. 3" MAPLE - PROPOSED
- TOTAL PROPOSED TREES = 18"

- NOTE: 9'-0" POURED FOUNDATION.
- NOTE: AVERAGE ORIGINAL EXISTING GRADE ELEVATION
AROUND HALF THE PERIMETER OF PROPOSED HOUSE = 881.85
- NOTE: AVERAGE BASEMENT EXPOSURE FROM PROPOSED MAIN FLOOR
ELEVATION TO EXISTING NATURAL GRADE AROUND HALF THE
PERIMETER OF THE BASEMENT = 30.12 INCHES.
- NOTE: MAIN FLOOR ELEVATION CALCULATED WITH
A SINGLE 1-1/2" SILL PLATE, 18" FLOOR TRUSS
AND 3/4" SUB FLOOR.

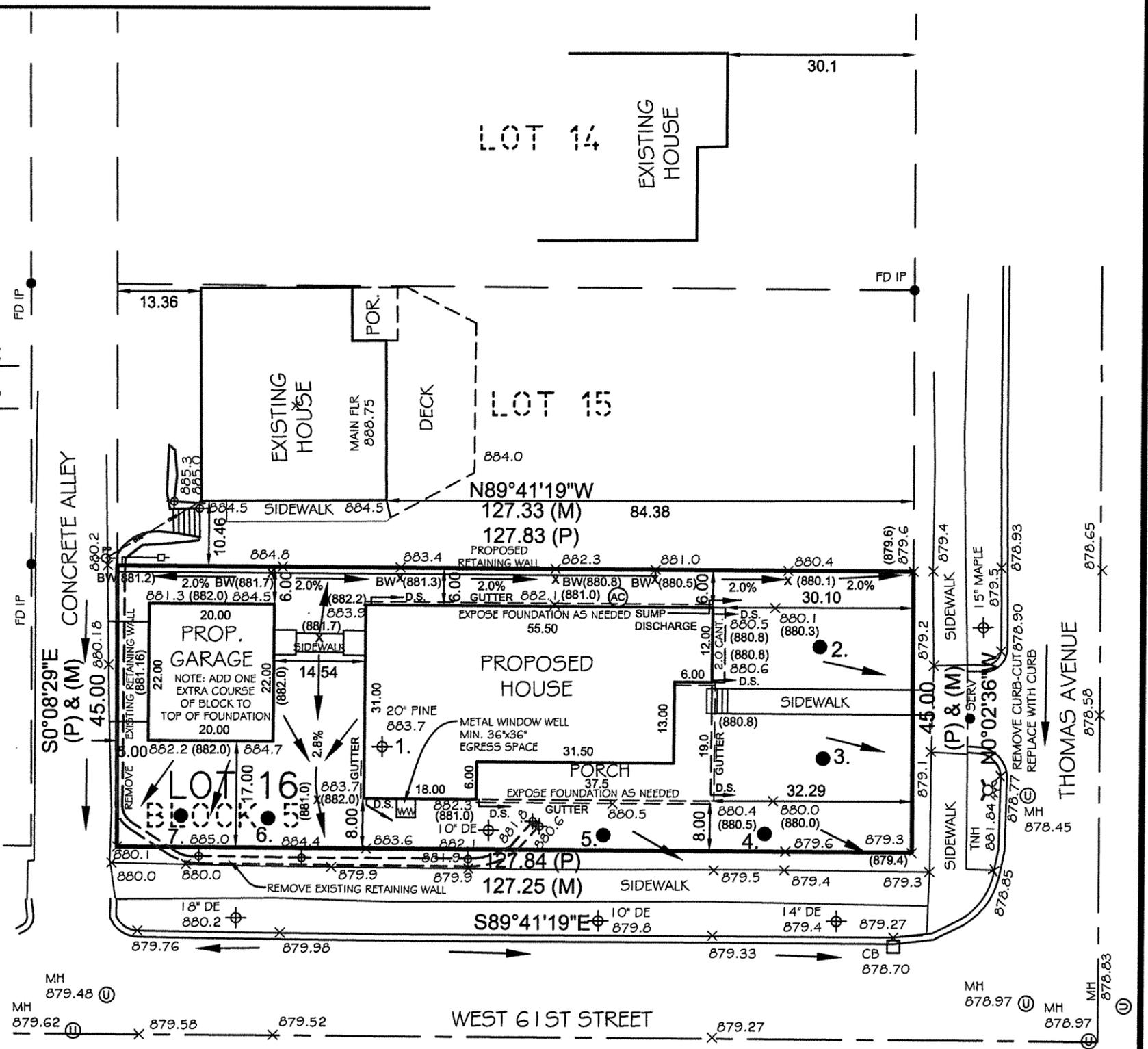
LEGEND

- 000.0 DENOTES EXISTING ELEVATION
- (XXX.X) DENOTES PROPOSED ELEVATION
- 000.0 DENOTES AS BUILT ELEVATION
- ← DENOTES DIRECTION OF SURFACE DRAINAGE
- DENOTES IRON MONUMENT FOUND
- DENOTES IRON MONUMENT SET
- DENOTES WOOD HUB
- ⊙ DENOTES NAIL
- ⊠ DENOTES EXISTING ELECTRIC BOX
- ⊡ DENOTES EXISTING COMMUNICATION BOX
- PP ○ DENOTES EXISTING POWER POLE
- LP ○ DENOTES EXISTING LIGHT POLE
- ⊕ DENOTES EXISTING STORM MANHOLE
- □ DENOTES EXISTING CATCH BASIN
- △ DENOTES EXISTING F.E.S.
- ⊗ DENOTES EXISTING HYDRANT
- ⊙ DENOTES EXISTING SERVICE OR CLEANOUT
- ⊕ DENOTES EXISTING SANITARY MANHOLE
- ⊕ DENOTES EXISTING CONSERVATION POST OR WET LAND BUFFER POST
- 8" TREE 000.0 ⊕ DENOTES EXISTING TREE
- ▬ DENOTES EXISTING RETAINING WALL
- ▬ DENOTES PROPOSED RETAINING WALL
- ⌒ DENOTES EXISTING TREELINE
- DENOTES EXISTING FENCE

- ORIGINAL AREAS:**
- LOT AREA : 5,728 SQ. FT.
 - EXISTING HOUSE AREA : 592 SQ. FT.
 - EXISTING GARAGE AREA : 361 SQ. FT.
 - EXISTING DECK AREA : 144 SQ. FT.
 - EXISTING SIDEWALK AREA : 158 SQ. FT.
 - EXISTING DRIVEWAY AREA : 710 SQ. FT.
 - COVERAGE AREA : 1,965 SQ. FT 34.3%
- PROPOSED AREAS:**
- LOT AREA : 5,728 SQ. FT
 - HOUSE AREA : 1,417 SQ. FT.
 - PORCH AREA : 303 SQ. FT.
 - GARAGE AREA : 440 SQ. FT.
 - SIDEWALK AREA : 51 SQ. FT.
 - SIDEWALK AREA : 129 SQ. FT.
 - DRIVEWAY AREA : 81 SQ. FT.
 - COVERAGE AREA : 2,421 SQ. FT 42.3%

1. No specific soils investigation has been performed on this lot by the surveyor. The suitability of the soils to support the specific house is not the responsibility of the surveyor.
2. No title information was provided for this survey. This survey does not purport to show all easements of record.
3. See architectural plans for final building dimensions.

CERTIFICATE OF SURVEY



REVISED 03-02-16: VERIFIED FRONT SETBACK OF EXISTING HOUSE TWO LOTS TO THE NORTH, MOVED PROPOSED HOUSE TO MATCH VERIFIED SETBACK - PER CITY COMMENTS, REVISED GARAGE DIMENSIONS ADD EXTRA COURSE OF BLOCK TO GARAGE FOUNDATION, AND REVISE COVERAGE AREA CALCULATIONS, ADJUST PROPOSED ELEVATIONS AND TREE LOCATIONS ACCORDINGLY.

PROBE ENGINEERING COMPANY, INC.
CONSULTING ENGINEERS,
PLANNERS and LAND SURVEYORS
1000 EAST 148th ST., STE. 240, BURNSVILLE, MN 55337 PH (952)432-3000

I hereby certify that this is a true and correct representation of a tract as shown and described hereon. As prepared by me this 23RD day of FEBRUARY, 2016.

Russell P. Damlo
Minn. Reg. No. 19086
RUSSELL P. DAMLO

PREPARED FOR:
CONCEPT HOMES

PROJECT NO. **15805.00**
ADDRESS:
6052 THOMAS AVENUE SOUTH

6052 THOMAS AVENUE

PLAN INFORMATION:

1. FRAMING NOTES:

- ALL EXTERIOR WALLS TO BE 16" O.C. WITH A DOUBLE TOP PLATE UNLESS OTHERWISE NOTED.
- WALL FRAMING SHALL BE S.P.F. STUD GRADE OR BETTER UNLESS NOTED OTHERWISE (U.N.O.)
- ALL HEADERS SHALL BE PER PLAN
- ALL EXTERIOR HEADERS SHALL HAVE (2) -2X6 BEARING STUDS & (2) 2X6 FULL HEIGHT KING STUD ON EACH SIDE U.N.O.
- ALL INTERNAL HEADERS & BEAMS SHALL HAVE (2X6 OR 2X24 BEARING STUD ON EACH SIDE
- EXTERIOR SHEATHING SHALL BE 7/16" MATERIAL CONSISTING OF ORIENTED STRAND BOARD (OSB)-ALL FLOOR AND CEILING SYSTEMS TO BE CHECKED AND DESIGNED BY THE DESIGNATED MANUFACTURER.
- FLOOR PLANS TO BE ON SITE.
- HEADER SIZES ARE TO BE USED PER PLAN AND DEVIATION FROM ANY SIZE MUST BE APPROVED BY DESIGNERS.
- PRESSURE TREATED WOOD IS TO BE USED WHERE WOOD IS IN CONTACT WITH CONCRETE AND AT 2X6 MUD SILL. TREATED MEMBERS TO BE S.Y.#2 OR BETTER.
- FOR OPENINGS IN EXTERIOR WALLS (OR WALLS W/ LATERAL LOADING):
 - a. 0'-0" - 4'-0" = 1 JACK STUD
 - b. 4'-0" - 8'-0" = 2 JACK STUDS
 - c. 8'-0" - 12'-0" = 3 JACK STUDS
 - d. GREATER THAN 12' - CONSULT ENG.
- POSTS CALLED OUT ARE NUMBER OF KING STUDS REQUIRED PER SIDE OF OPENING.

2. CONCRETE NOTES:

- ALL CONCRETE FOOTINGS AND FOUNDATION SYSTEMS ARE DESIGNED FOR A 2000 P.S.F. SOIL - PER SOIL REPORT
- FOUNDATION WALLS SHALL BE FULL HEIGHT AT UNBALANCED FILL GREATER THAN 3'-0"
- 1/2" ANCHOR BOLTS EMBEDDED 7" MINIMUM @ 8" O.C. MAX. 12" MIN. FROM EACH END. MINIMUM OF 2 BOLTS IN EACH SILL PLATE.
- PAO FOOTING REINFORCEMENT IS TO BE LOCATED 3" FROM BOTTOM OF FOOTING TYP. (WHEN REQUIRED)
- CONTRACTOR IS RESPONSIBLE FOR ALL STEEL REBAR SIZING PER STATE AND LOCAL BUILDING CODES.
- MIN. 5000 PSI CONCRETE @ ALL FOOTINGS

3. INSULATION:

- ALL EXTERIOR WALLS TO HAVE A MINIMUM RATING OF R-20.
- ALL ATTIC SPACES ARE TO HAVE A MINIMUM RATING OF R-49.
- ALL FLOOR SPACES OVER UNCONDITIONED SPACE OR CANTILEVERED ARE TO BE INSULATED PER CODE.

4. SHEETROCK:

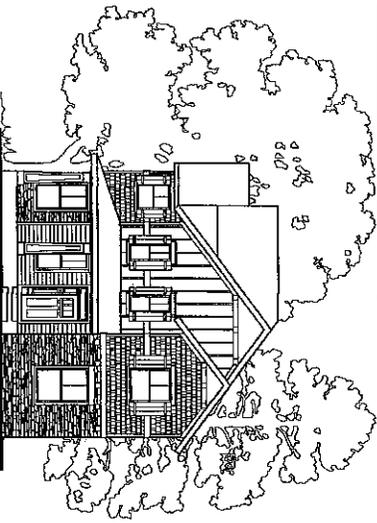
- ALL CEILINGS ARE TO HAVE 5/8" NON-SAG GYPSUM BOARD UNLESS OTHERWISE NOTED.
- ALL WALLS ARE TO HAVE 5/8" GYPSUM BOARD UNLESS OTHERWISE NOTED.
- GARAGE CEILING AND WALLS THAT ADJOIN HOUSE WALLS ARE TO BE 5/8" GYPSUM BOARD PER CODE.

5. DOORS & WINDOWS:

- ALL WINDOWS AND DOORS TO BE DOUBLE GLASS PANELS WITH LOW-E RATINGS.
- ANY WINDOW WITHIN 24" OF A DOOR SWING MUST BE TEMPERED PER CODE.
- ANY WINDOW ABOVE A TUB MUST BE TEMPERED PER CODE.
- ANY WINDOW WITHIN A STAIRWAY MUST BE TEMPERED PER CODE.
- WINDOW GLAZING MUST BE AT LEAST 1/8" A.F.F. WHEN WINDOW IS ABOVE 6' FROM GRADE.
- ALL BEDROOMS TO HAVE AT LEAST ONE WINDOW THAT HAS A CLEAR EGRESS OPENING OF 5.7 SQ. FT. WITH MIN. DIMENSIONS OF 24" IN HEIGHT AND 20" IN WIDTH. SILL HEIGHT NOT TO BE GREATER THAN 44" A.F.F.
- WINDOWS WITH SILLS WITHIN 3' OF THE FLOOR THEY SERVE AND ARE 72" ABOVE GRADE MUST EITHER HAVE A FALL PREVENTION OR OPENING LIMITER DEVICE PER CODE.

6. MECHANICAL & ELECTRICAL:

- ALL ELECTRICAL AND MECHANICAL EQUIPMENT TO BE VERIFIED AND INSTALLED PER CODE BY APPROVED TRADES AND INSTALLERS.



CODE INFORMATION:

- SINGLE FAMILY CONSTRUCTION TYPE R
- 2013 MINNESOTA STATE IRC BUILDING CODE
- 2012 IRC BUILDING CODE
- 2011 NATIONAL ELECTRICAL CODE
- 2015 MINNESOTA STATE MECHANICAL CODE
- 2015 MINNESOTA STATE FIRE CODE

SOIL TYPE:

DESIGNED WITH 2000 PSI SOILS. ALL FOUNDATION CONSTRUCTION MUST FACTOR IN THIS AT A MINIMUM.

WIND EXPOSURE:

DESIGNED WITH EXPOSURE B CLASSIFICATIONS AND WIND GUSTS OF 90 MPH PER 2015 MIN. IRC CODE REGULATIONS.

GENERAL NOTES:

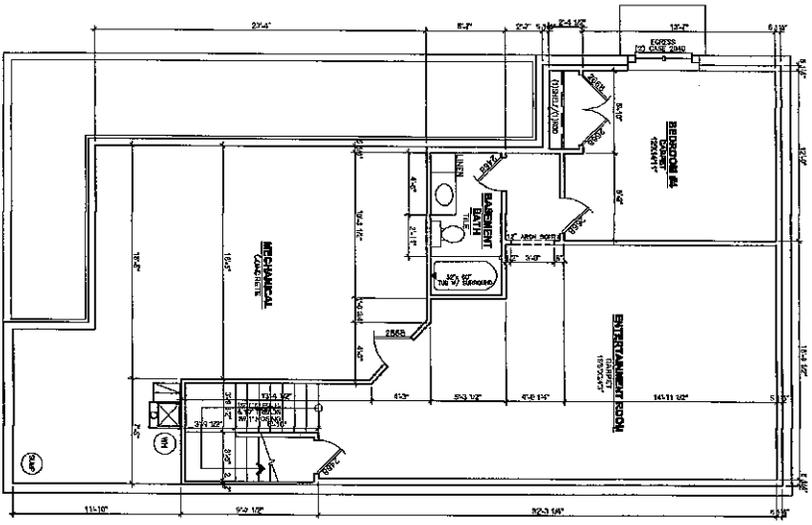
- ALL FOUNDATION WALL STRUCTURAL INFORMATION USED TO CONSTRUCT THE FOUNDATION SYSTEM IS TO BE ON SITE WHEN POURING OR BUILDING WALLS.
- ALL STRUCTURAL BEAMS, POSTS & TALL WALLS ARE TO BE BUILT PER LEVEL SPECIFICATIONS.
- ALL MANUFACTURED FLOOR & ROOF TRUSSES ARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- ALL MANUFACTURED FLOOR & ROOF TRUSSES SPECIFICATIONS ARE TO BE ON SITE DURING INSTALLATION.
- WINDOW SIZE NOTES (EXAMPLES):
 - S4305 EQUALS SINGLE HUNG 36" BY 50"
 - FX2846 EQUALS FIXED 28" BY 46"

SHEET INDEX:

- C COVER
- L1 SITE REVIEW
- A1 FRONT ELEVATION/ROOF PLAN
- A2 SIDE ELEVATIONS
- A3 REAR ELEVATIONS
- A4 FOUNDATION PLAN
- A5 FINISHED BASEMENT PLAN
- A6 FIRST FLOOR PLANS
- A7 SECOND FLOOR PLANS
- A8 GARAGE PLANS
- D1 SECTIONS THROUGH HOME
- D2 DETAILS
- E1 ELECTRICAL PLANS
- R1 RADON DETAILS
- S1 STRUCTURAL FOUNDATION
- S2 STRUCTURAL FIRST/SECOND FLOOR
- S3 BRACED WALL DETAILS
- S4 BRACED WALL DETAILS

C	DRAWING TITLE 6052 THOMAS AVENUE S. HOME	LITTFIN DESIGN ©COPYRIGHT 2015
	LOCATION 6052 THOMAS AVENUE SOUTH MINNEAPOLIS, MN	
ALL RIGHTS RESERVED SHOWN ARE THE PROPERTY OF LITTFIN DESIGN. USE OF THESE PROJECTS FOR OTHER THAN NOTED ON THIS TITLEBLOCK WITHOUT THE WRITTEN DESIGNER'S PERMISSION IS PROHIBITED.		
215 WASHINGTON AVENUE, SUITE 100 MINNEAPOLIS, MN 55401 (612) 338-7222 (612) 338-7223 WWW.LITTFINDESIGN.COM LITTFIN DESIGN IS AN EQUAL OPPORTUNITY FIRM. MINNEAPOLIS, MN 55401		

- GENERAL FRAMING NOTES:**
1. ALL NON-BEARING FRAMING IS TO BE 24" O.C. UNLESS OTHERWISE NOTED.
 2. ALL WALLS TO HAVE A DOUBLE TOP PLATE UNLESS OTHERWISE NOTED.
 3. ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUDS WITH 7/16" OSB SHEATHING, UNLESS NOTED OTHERWISE.
 4. ALL INTERIOR WALLS ARE TOB E 2X4 WOOD STUDS UNLESS NOTED OTHERWISE.
 5. ALL COLUMN SIZES ARE TO BE CONTINUED THROUGH FLOOR TRUSS SPACES WHEN SPANNING MORE THAN 1 FLOOR.
 6. ALL WOOD MATERIALS ARE TO BE PROTECTED PER CODE & MANUF. SPECIFICATIONS WHILE BEING STORED ON SITE.

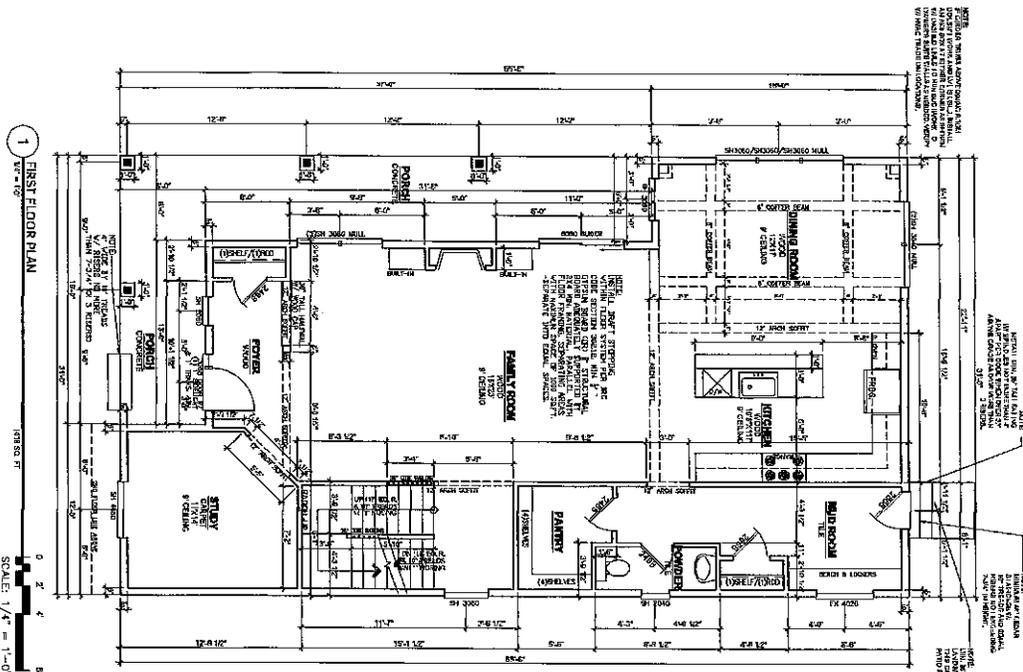


1 FINISHED BASEMENT PLAN
SCALE: 1/4" = 1'-0"

 LITTFIN DESIGN (320) 227-7544	ALL PLANS & DESIGN SHOWN ARE THE PROPERTY OF LITTFIN DESIGN. UNLESS OTHERWISE NOTED, THESE PLANS OR ANY OTHER PROJECTS OR OTHER INFORMATION CONTAINED HEREIN ARE TO BE KEPT IN CONFIDENCE AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN CONSENT OF LITTFIN DESIGN, THIS DOCUMENT IS PROHIBITED.
	© COPYRIGHT 2015 LITTFIN DESIGN, INC. 1111 HENRI AVENUE, SUITE 100 MINNEAPOLIS, MN 55403 TEL: (320) 227-7544 WWW.LITTFINDESIGN.COM
DRAWING TITLE: 6052 THOMAS AVENUE S. HOME	LOCATION: 6052 THOMAS AVENUE SOUTH
COMMUNITY: MINNEAPOLIS, MN	DATE DRAWN: 7/24/15 DRAWING BY: LD CHECKED BY: LD DATE: 12/21/15 DESIGN DATE:
 A5 FIN. BSMT	 SCALE: 1/4" = 1'-0"

- GENERAL FRAMING NOTES:**
1. ALL NON-BEARING FRAMING IS TO BE 24" O.C. UNLESS OTHERWISE NOTED.
 2. ALL WALLS TO HAVE A DOUBLE TOP PLATE UNLESS OTHERWISE NOTED.
 3. ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUDS WITH 7/16" OSB SHEATHING, UNLESS NOTED OTHERWISE.
 4. ALL INTERIOR WALLS ARE TOB E 2X4 WOOD STUDS UNLESS NOTED OTHERWISE.
 5. ALL COLUMN SIZES ARE TO BE CONTINUED THROUGH FLOOR TRUSS SPACES WHEN SPANNING MORE THAN 1 FLOOR.
 6. ALL WOOD MATERIALS ARE TO BE PROTECTED PER CODE & MANUF. SPECIFICATIONS WHILE BEING STORED ON SITE.

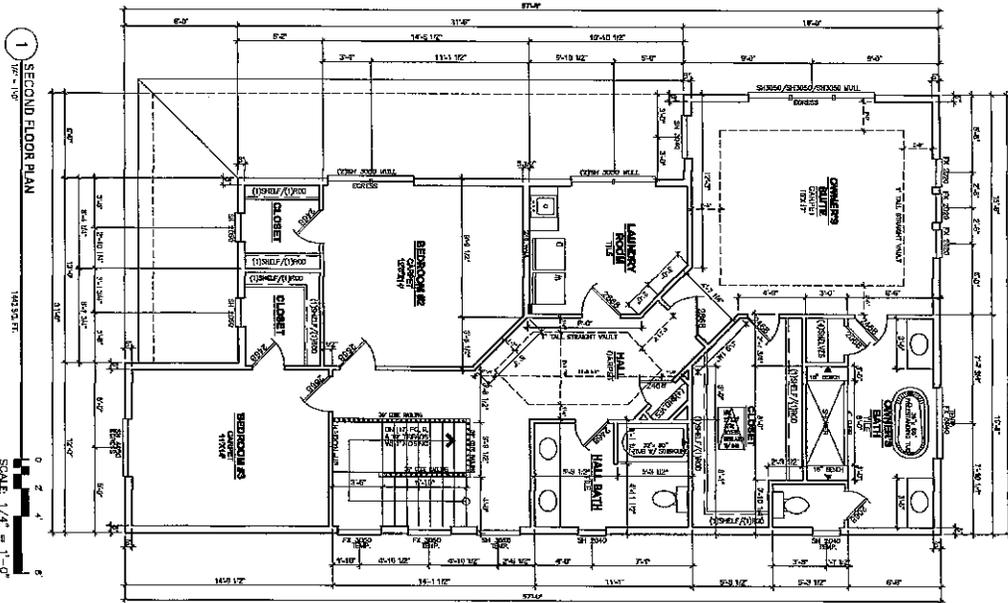
1'-0"



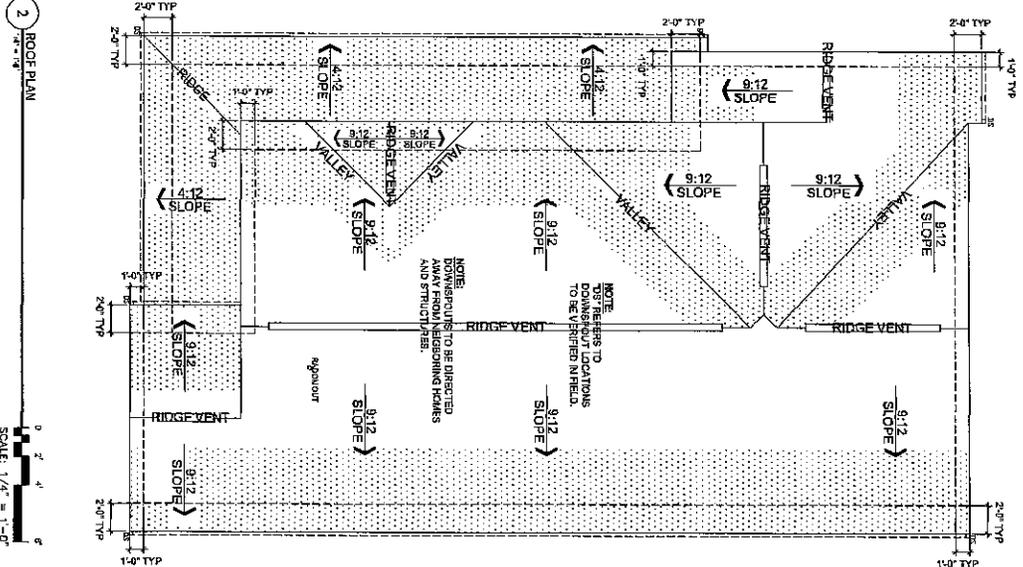
1
FIRST FLOOR PLAN
1/4" = 1'-0"

<h1 style="font-size: 48pt; margin: 0;">A6</h1> <p style="margin: 0;">FLOOR PLANS</p>	DRAWING TITLE	6052 THOMAS AVENUE S. HOME
	LOCATION	6052 THOMAS AVENUE SOUTH
DATE	DRAWN BY	CHECKED BY
REVISIONS	DATE	DATE
COMMUNITY: MINNEAPOLIS, MN		
© COPYRIGHT © 2015 LITTFIN DESIGN 1111 W. WASHINGTON AVENUE, SUITE 100 MINNEAPOLIS, MN 55405 TEL: 612.338.1111 WWW.LITTFINDESIGN.COM ALL RIGHTS RESERVED NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM LITTFIN DESIGN.		
 <p style="font-weight: bold; font-size: 12pt;">LITTFIN DESIGN</p> <p style="font-size: 8pt;">(504) 224-7544</p>		

- GENERAL FRAMING NOTES:**
1. ALL NON-BEARING FRAMING IS TO BE 24" O.C. UNLESS OTHERWISE NOTED.
 2. ALL WALLS TO HAVE A DOUBLE TOP PLATE UNLESS OTHERWISE NOTED.
 3. ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUDS WITH 7/16" OSB SHEATHING, UNLESS NOTED OTHERWISE.
 4. ALL INTERIOR WALLS ARE TO BE 2X4 WOOD STUDS UNLESS NOTED OTHERWISE.
 5. ALL COLUMN SIZES ARE TO BE CONTINUED THROUGH FLOOR TRUSS SPACES WHEN SPANNING MORE THAN 1 FLOOR.
 6. ALL WOOD MATERIALS ARE TO BE PROTECTED PER CODE & MANUF. SPECIFICATIONS WHILE BEING STORED ON SITE.

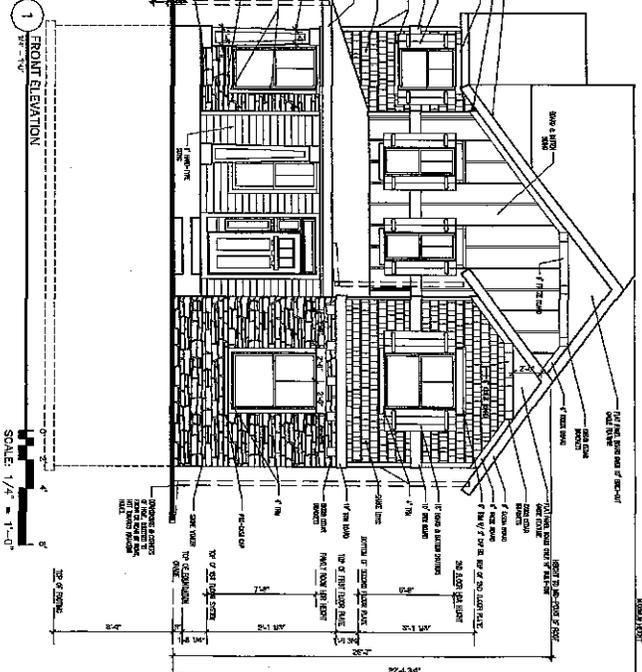


 LITTFIN DESIGN <small>(508)227-7514</small>	ALL TRUSS & GIRDERS SHOWN ARE THE PROPERTY OF LITTFIN DESIGN. USE OF THESE PROJECTS BY OTHERS WITHOUT THE WRITTEN PERMISSION OF LITTFIN DESIGN IS PROHIBITED.
	<small>© COPYRIGHT 2015 ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LITTFIN DESIGN.</small>
A7 FLOOR PLANS	DRAWING TITLE 6052 THOMAS AVENUE S. HOME LOCATION 6052 THOMAS AVENUE SOUTH COMMUNITY: MINNEAPOLIS, MN



PERET IS A WALL/WINDOW CALCULATION:
 WALL AREA = 248 SQ.FT.
 WINDOW AREA = 64 SQ.FT.
 WINDOW % = 21.77%

SECOND FLOOR WALL/WINDOW CALCULATION:
 WALL AREA = 248 SQ.FT.
 WINDOW AREA = 35 SQ.FT.
 WINDOW % = 22.56%



- GENERAL EXTERIOR NOTES:**
1. ALL EXT. TRIM TO BE FLASHED PER CODE.
 2. SUPPLY DRIPCAPS ON ALL WINDOWS AND DOORS.
 3. SUPPLY SEPARATION BETWEEN WOOD, COMPOSITE WOOD AND ANY OTHER WOOD MATERIAL PER SPECIFICATIONS.
 4. SUPPLY AT LEAST 6" OF SPACE BETWEEN BOTTOMS OF WINDOWS AND ROOFS.
 5. GRADE CONDITIONS MAY VARY ON SITE.
 6. PROVIDE ROOF AND SOFFIT VENTS PER IRC CODE REGULATIONS.
 7. ALL FURNACE FLUES, PLUMBING VENTS, FIREPLACE VENTS AND OTHER PENETRATIONS THROUGH ROOF OR WALLS TO EXTEND THROUGH REAR OF HOME WHENEVER POSSIBLE.
 8. ALL PENETRATIONS THROUGH EXTERIOR WALLS OR ROOFING MUST BE SEALED AND FLASHED PER MANUF. SPECIFICATIONS AND IRC CODE REGULATIONS.
 9. DOTTED AREA ON ROOF PLAN INDICATES LOCATION OF ICE/WATER BARRIER.
 10. HOLD STONE OFF GRADE MINIMUM OF 3".
 11. REFER TO MANUF. SPECIFICATIONS FOR STONE.
 12. GARAGE BULK BOARD MATERIAL IS TO BE COMPOSITE WOOD AND SIZED TO COVER THE EDGE OF STONE.
 13. ALL BEAMS HOLDING UP PORCHES ARE TO BE DROPPED UNLESS OTHERWISE NOTED.

A1	FRONT & ROOF	6052 THOMAS AVENUE S. HOME MINNEAPOLIS, MN	 LITTFIN DESIGN (612) 437-7441 www.litffin.com
	DRAWING TITLE 6052 THOMAS AVENUE SOUTH COMMUNITY:	DATE: 7-23-15 DRAWN BY: JACOB CHECKED BY: JACOB PROJECT NO: 1507278	

GENERAL EXTERIOR NOTES:

1. ALL EXTY. TRIM TO BE FLASHED PER CODE.
2. SUPPLY DRIPCAPS ON ALL WINDOWS AND DOORS.
3. SUPPLY SEPARATION BETWEEN WOOD, COMPOSITE WOOD AND ANY OTHER WOOD MATERIAL PER SPECIFICATIONS.
4. SUPPLY AT LEAST 8" OF SPACE BETWEEN BOTTOMS OF WINDOWS AND ROOFS.
5. GRADE CONDITIONS MAY VARY ON SITE.
6. PROVIDE ROOF AND SOFFIT VENTS PER IRC CODE REGULATIONS.
7. ALL FURRAGE FLUES, PLUMBING VENTS, FIREPLACE VENTS AND OTHER PENETRATIONS THROUGH ROOF OR WALLS TO EXTEND THROUGH REAR OF HOME WHENEVER POSSIBLE.
8. ALL PENETRATIONS THROUGH EXTERIOR WALLS OR ROOFING MUST BE SEALED AND FLASHED PER MANUF. SPECIFICATIONS AND IRC CODE REGULATIONS.
9. DOTTED AREA ON ROOF PLAN INDICATES LOCATION OF ICE/WATER BARRIER.
10. HOLD STONE OFF GRADE MINIMUM OF 3".
11. REFER TO MANUF. SPECIFICATIONS FOR STONE.
12. GARAGE BUCK BOARD MATERIAL IS TO BE COMPOSITE WOOD AND SIZED TO COVER THE EDGE OF STONE.
14. ALL BEAMS HOLDING UP PORCH ROOFS ARE TO BE DROPPED UNLESS OTHERWISE NOTED.

SECOND FLR WALL/WINDOW CALCULATION:

WALL AREA = 51 SQ.FT.
WINDOW AREA = 13.28%
WINDOW % = 25.77%

FIRST FLR WALL/WINDOW CALCULATION:

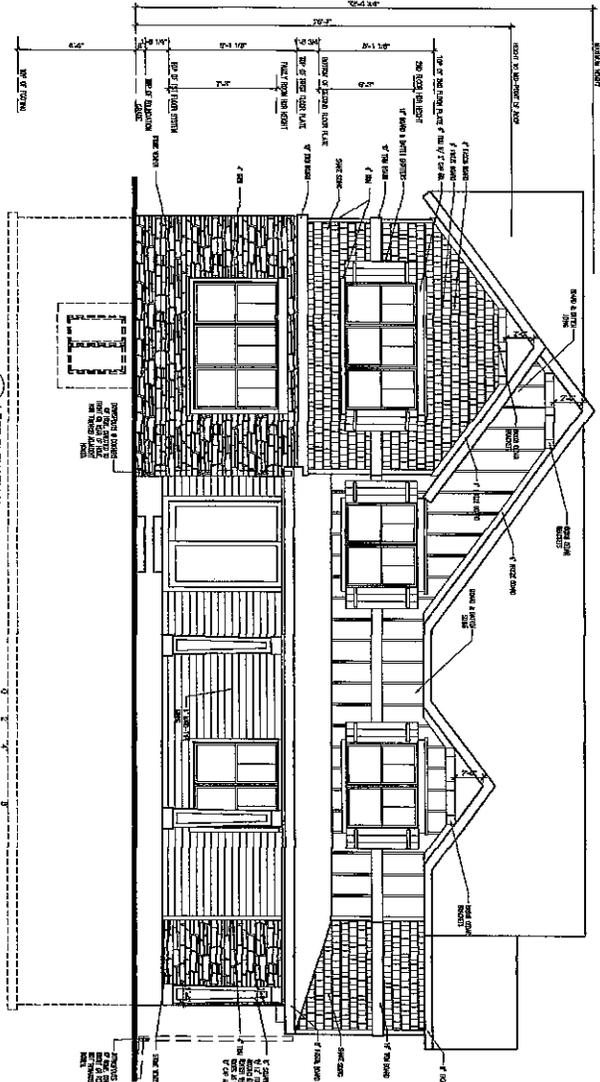
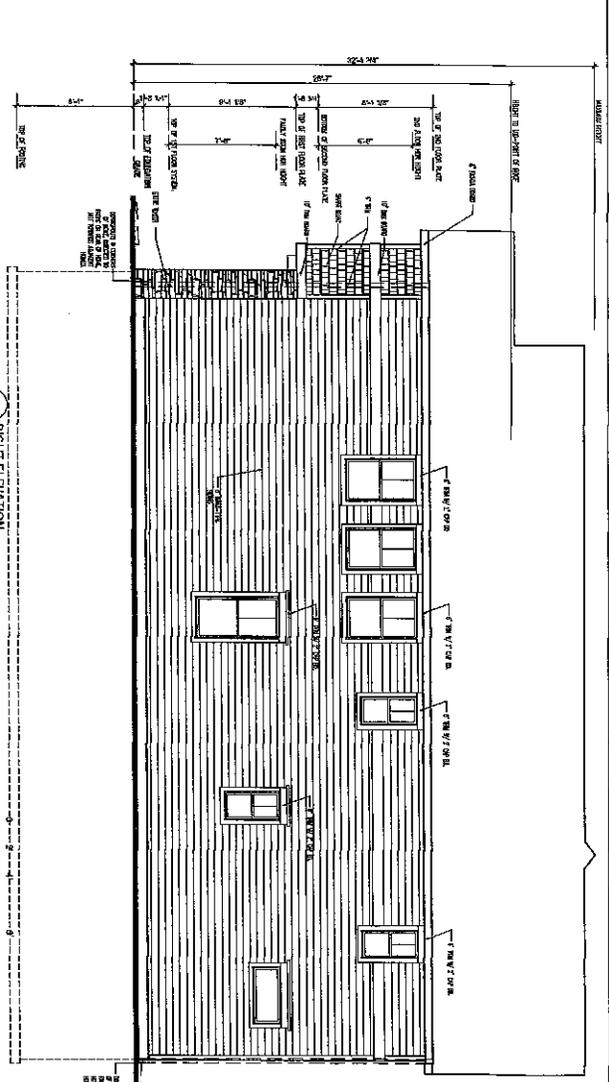
WALL AREA = 444 SQ.FT.
WINDOW AREA = 24 SQ.FT.
WINDOW % = 7.65%

SECOND FLR WALL/WINDOW CALCULATION:

WALL AREA = 480 SQ.FT.
WINDOW AREA = 105 SQ.FT.
WINDOW % = 22.82%

FIRST FLR WALL/WINDOW CALCULATION:

WALL AREA = 444 SQ.FT.
WINDOW AREA = 110 SQ.FT.
WINDOW % = 24.77%



6052 THOMAS AVENUE S. HOME
LOCATION
6052 THOMAS AVENUE SOUTH
COMMUNITY:
MINNEAPOLIS, MN

LITTFIN DESIGN
LITTFIN DESIGN
(612) 227-7534

A2
SIDES

DRAWING TITLE: 6052 THOMAS AVENUE S. HOME
DATE DESIGNED: 7-23-15
DRAWN BY: JACOB
CHECKED BY: JACOB
SCALE: 1/4" = 1'-0"

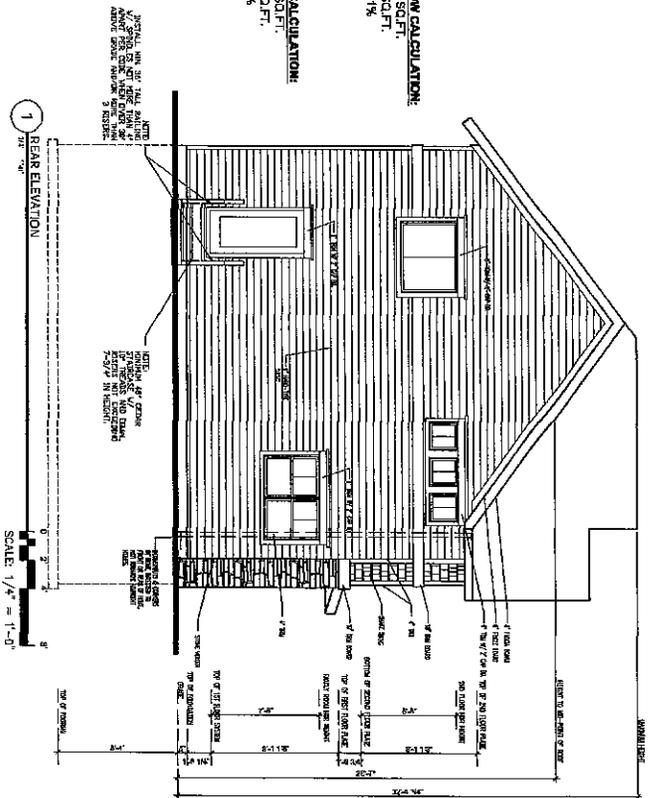
© COPYRIGHT 2015
LITTFIN DESIGN, INC. ALL RIGHTS RESERVED.
THIS DRAWING IS THE PROPERTY OF LITTFIN DESIGN, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF LITTFIN DESIGN, INC.

GENERAL EXTERIOR NOTES:

1. ALL EXT. TRIM TO BE FLASHED PER CODE.
2. SUPPLY DRIPCAPS ON ALL WINDOWS AND DOORS.
3. SUPPLY SEPARATION BETWEEN WOOD, COMPOSITE WOOD AND ANY OTHER WOOD MATERIAL PER SPECIFICATIONS.
4. SUPPLY AT LEAST 8" OF SPACE BETWEEN BOTTOMS OF WINDOWS AND ROOFS.
5. GRADE CONDITIONS MAY VARY ON SITE
6. PROVIDE ROOF AND SOFFIT VENTS PER IRC CODE REGULATIONS.
7. ALL FURNACE FLUES, PLUMBING VENTS, FIREPLACE VENTS AND OTHER PENETRATIONS THROUGH ROOF OR WALLS TO EXTEND THROUGH REAR OF HOME WHENEVER POSSIBLE.
8. ALL PENETRATIONS THROUGH EXTERIOR WALLS OR ROOFING MUST BE SEALED AND FLASHED PER MANUF. SPECIFICATIONS AND IRC CODE REGULATIONS.
9. DOTTED AREA ON ROOF PLAN INDICATES LOCATION OF ICEWATER BARRIER.
10. HOLD STONE OFF GRADE MINIMUM OF 3".
11. REFER TO MANUF. SPECIFICATIONS FOR STONE.
12. GARAGE BLOCK BOARD MATERIAL IS TO BE COMPOSITE WOOD AND SIZED TO COVER THE EDGE OF STONE.
14. ALL BEAMS HOLDING UP PORCH ROOFS ARE TO BE DROPPED UNLESS OTHERWISE NOTED.

SECOND FLYR WALL WINDOW CALCULATION:
 WALL AREA = 246 SQ. FT.
 WINDOW AREA = 38 SQ. FT.
 WINDOW % = 14.51%

FIRST FLYR WALL WINDOW CALCULATION:
 WALL AREA = 248 SQ. FT.
 WINDOW AREA = 24 SQ. FT.
 WINDOW % = 9.87%



1 REAR ELEVATION

SCALE: 1/4" = 1'-0"

 LITTFIN DESIGN (612) 421-7544	ALL NOTES & DIMENSIONS SHOWN ARE THE PROPERTY OF LITTFIN DESIGN. USE OF THESE PROJECTS/LOT OTHER THAN NOTED ON THIS TITLE/BLK WITHOUT THE SIGNATURE OF LITTFIN DESIGNER IS PROHIBITED.	
	© COPYRIGHT 2015 1717 W. WASHINGTON AVENUE, SUITE 100 MINNEAPOLIS, MN 55411 TEL: 612.421.7544 WWW.LITTFINDESIGN.COM	
A3 REAR	DRAWING TITLE 6052 THOMAS AVENUE S. HOME	LOCATION 6052 THOMAS AVENUE SOUTH
DATE DRAWN: 7/23/15 DATE CHECKED: 7/23/15 DATE PLOTTED: 7/23/15	COMMUNITY: MINNEAPOLIS, MN	



C O N C E P T H O M E S

LAND USE APPLICATION SITE PHOTOS

TO: CITY OF MINNEAPOLIS
FROM: SEAN STEVENS OF CONCEPT HOMES
SUBJECT: EXHIBIT A: STATEMENT OF PROPOSED USE
DATE: MARCH 12, 2016
RE: 6052 THOMAS AVE S.

Rendering of Proposed House at 6052 Thomas Ave S



View of 6052 Thomas current house from street looking West



View of 6052 Thomas house with neighbor's house to the North



View of 6052 Thomas looking to the south showing front of lot garage



View of houses on the same side of street to the North of 6052 Thomas. Showing them all in line to the front of the required front set back.



View of East side of block showing all houses set forward to the front set back. All houses are in line with each other



View of 6052 Thomas showing the garage placement in front of house on East side of lot



View of 6052 Thomas from house vantage point showing garage in front yard looking East



From: [Sean Stevens](#)
To: [Brandt, Alyssa J.](#)
Subject: FW: 6052 Thomas Ave S.
Date: Wednesday, March 16, 2016 9:55:28 AM
Attachments: [image001.png](#)

Sean Stevens

Construction Manager | Concept Homes



601 Carlson Parkway, Suite 1050 | Minnetonka, MN 55305
P: 612-518-2602 | F: 952.314.7566 | www.concepthomes.com

From: Sean Stevens [<mailto:sean@concepthomes.com>]
Sent: Friday, March 4, 2016 6:43 AM
To: 'Nikki Lindberg' <armatageneighborhoodassoc@gmail.com>
Subject: RE: 6052 Thomas Ave S.

Good morning Nikki, yes please add us to the agenda for the 15th. Either myself or our project manager Adam Koch will attend.

Thanks

Sean Stevens

Construction Manager | Concept Homes



601 Carlson Parkway, Suite 1050 | Minnetonka, MN 55305
P: 612-518-2602 | F: 952.314.7566 | www.concepthomes.com

From: Nikki Lindberg [<mailto:armatageneighborhoodassoc@gmail.com>]
Sent: Friday, March 4, 2016 4:25 AM
To: Sean Stevens <sean@concepthomes.com>
Cc: Denis Houle <DENISHOULE@comcast.net>
Subject: Re: 6052 Thomas Ave S.

Sean,

Thank you for the notification. Our next monthly meeting is Tuesday, March 15 at 6:30 at the Armatage Community Center. I can add you to our agenda if you plan to attend. I will also notify the neighborhood of the meeting on the 23rd.

Thanks!

Nikki Lindberg, Coordinator



[Armatage Neighborhood Association](#)

anacoordinator@armatage.org

612-668-3206

2500 West 57th Street

Minneapolis, MN 55410

On Mar 3, 2016, at 8:46 PM, Sean Stevens wrote:

Attention Armatage Neighborhood Association,

Our company is applying for a building permit for new home construction at 6052 Thomas Ave S. We are also applying for a land use variance for a front yard set back of our proposed house to move the house forward in our lot to be consistent with the rest of the block. Currently our house is set far back in our lot and will propose that our new home will sit forward and in line with the other houses.

Please find the as built survey, the proposed survey, our proposed house architectural plans, aerial photos of the block, street view photos of our house and house directly to the north of our property and a rendering of our proposed house.

We will be having a neighborhood meeting at our property on Wednesday, March 23rd to present our proposal to the neighborhood. We also plan on meeting with the Armatage Neighborhood Association to ask for your blessing for our land use variance approval.

If you have any questions, please feel free to contact me.

Thank you for your time.

Sean Stevens

Construction Manager | Concept Homes

<image001.png>

601 Carlson Parkway, Suite 1050 | Minnetonka, MN 55305

Dear Neighbor,

Our company, Concept Homes, will be building a new home at 6052 Thomas Ave S, Minneapolis. We will soon be preparing the site and existing home for demolition.

We would like to share the plans and survey with the neighbors and discuss any questions or concerns you may have. We will be available on Wednesday March 23 at the above address from 1:00 – 2:00 p.m. There will be a full set of plans and a site survey available for viewing at this meeting. Should this meeting time not work with your schedule, you are welcome to contact me and we can schedule an alternate time to meet individually.

Demolition of the existing home will commence on or around April 15th and construction of the new home will begin shortly thereafter. Please know we will make every effort to monitor our subcontractors and craftsmen to ensure sensitivity to your neighborhood and maintain a clean job site. The initial stages of construction do require larger vehicles such as a backhoe trailer and cement trucks, so we will be working diligently in trying to prevent parking issues and appreciate your patience during these stages.

We look forward to the opportunity to bring a new home to Thomas Avenue. If you have any concerns or questions throughout the duration of our construction phase, please feel free to contact me at 612-518-2602 or at sean@concepthomes.com

Sincerely,

Sean Stevens
Construction Manager | Concept Homes

601 Carlson Parkway | Suite 1050 | Minnetonka, MN 55305
P: 612-518-2602 | F: 952.314.7566 | www.concepthomes.com
License #: BC678719

From: [Ziring, Emily](#)
To: [Sean Stevens](#)
Cc: [Brandt, Alyssa J.](#)
Subject: RE: 6052 Thomas variance request
Date: Wednesday, March 16, 2016 10:00:09 AM
Attachments: [image001.png](#)

Thank you, Sean. Please make sure this gets to the Armatage Neighborhood Coordinator directly:
anacoordinator@armatage.org

Thank you.

Emily Ziring
Senior Policy Aide to Council Member Linea Palmisano
City of Minneapolis, 13th Ward
phone: 612-673-3199

Subscribe to 13th ward newsletters & updates [here](#).

From: Sean Stevens [mailto:sean@concepthomes.com]
Sent: Wednesday, March 16, 2016 11:58 AM
To: Ziring, Emily
Cc: Brandt, Alyssa J.
Subject: FW: 6052 Thomas variance request

Emily, our company is applying for a general land use variance for 6052 Thomas Ave S. Please note the attached letter the City has requested that we send you describing our intent.

Call me if you have any questions.

Thanks

Sean Stevens

Construction Manager | Concept Homes



601 Carlson Parkway, Suite 1050 | Minnetonka, MN 55305
P: 612-518-2602 | F: 952.314.7566 | www.concepthomes.com