

LAND USE APPLICATION SUMMARY

Property Location: 3790 West Calhoun Parkway
Project Name: 3790 West Calhoun Parkway
Prepared By: Janelle Widmeier, Senior City Planner, (612) 673-3156
Applicant: Tom Austin
Project Contact: Robin Ganser, Coen Partners
Request: To allow a reflecting pool, a retaining wall, and pool equipment.
Required Applications:

Variance	To reduce the minimum front yard requirement adjacent to Sheridan Avenue South to allow a retaining wall not retaining natural grade.
Variance	To reduce the minimum front yard requirement adjacent to Sheridan Avenue South from 64.7 feet to 55 feet to allow a reflecting pool.
Variance	To reduce the minimum interior side yard requirement adjacent to the south lot line from 6 feet to 2 feet to allow pool mechanical equipment access doors.

SITE DATA

Existing Zoning	RI Single-family District SH Shoreland Overlay District
Lot Area	9,733 square feet
Ward(s)	13
Neighborhood(s)	Linden Hills
Designated Future Land Use	Urban Neighborhood
Land Use Features	Not applicable
Small Area Plan(s)	Not applicable

Date Application Deemed Complete	June 1, 2016	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	July 31, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The existing use is a single-family dwelling. It was permitted for construction in 1956. The site is a corner lot with frontage on West Calhoun Parkway (corner side lot line) and Sheridan Avenue South (front lot line). The subject property is located within the SH Shoreland Overlay District because it is within 1,000 feet of Lake Calhoun.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding properties are predominantly single-family dwellings. The subject property is across the street from the lake.

PROJECT DESCRIPTION. The applicant is proposing site improvements to the property of 3790 West Calhoun Parkway. The improvements include a one-foot deep reflecting pool and reconstructing the driveway. As part of the driveway replacement, a retaining wall along the north property would be rebuilt. Part of the retaining wall would not retain natural grade. The minimum front yard setback requirement along Sheridan Avenue is approximately 64.7 feet, which is created by the established setback of the residence on the adjacent property to the south. The reflecting pool and retaining wall not retaining natural grade would extend into the required front yard. Both are not permitted obstructions. Variances are required to reduce the minimum front yard requirement. (Please note that the public hearing notice identified the location of the reflecting pool in the corner side yard in error.) Pool equipment for the reflecting pool is proposed to be located on the south side of the dwelling. The pool equipment would be located below grade and would be covered by metal doors to allow access. The at-grade doors would be set back 2 feet from the side lot line. The minimum interior side yard requirement is 6 feet. The doors for below-grade pool equipment are not a permitted obstruction, and therefore, require a variance to the interior side yard requirement.

PUBLIC COMMENTS. As of the writing of this report, no comments have been received from the neighborhood group. Any correspondence received prior to the public meeting will be forwarded on to the Zoning Board of Adjustment for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum front yard requirement adjacent to Sheridan Avenue South to allow a retaining wall not retaining natural grade based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property that were not created by the applicant. The dwelling has an attached garage that is accessed from Sheridan Avenue. The large existing driveway/parking court has a curved retaining wall on its north side. The applicant is proposing to reconstruct the driveway, reduce its size, and establish a landscape buffer. The natural grade of the site slopes gradually toward the lake. The retaining wall would be reconstructed as well, but straightened to align with the north lot line. By straightening the wall, parts of the wall would not retain natural grade.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The applicant is proposing to replace an existing retaining wall as part of reconstructing the adjacent driveway. The wall would be approximately 2.5 feet in height and constructed of Lithocrete concrete to match the driveway. The visibility of the proposed wall from the parkway would be similar to the existing wall. A 6-foot wide landscape buffer would be established between the retaining wall and the driveway. The proposal would have no impacts on the adjacent properties access to light, air and open space. The request is reasonable and consistent with the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity and would not be detrimental to the health, safety or welfare of the public or those utilizing the property. The applicant is proposing to replace an existing retaining wall as part of reconstructing the adjacent driveway. The wall would be approximately 2.5 feet in height and constructed of Lithocrete concrete to match the driveway. The visibility of the proposed wall from the parkway would be similar to the existing wall. A 6-foot wide landscape buffer would be established between the retaining wall and the driveway. The proposal would have no impacts on the adjacent properties access to light, air and open space.

Additional Standards for Variances within the SH Shoreland Overlay District

In addition, the Zoning Board of Adjustment shall consider, but not be limited to, the following factors when considering conditional use permit or variance requests within the SH Shoreland Overlay District:

1. *The prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

The site is near Lake Calhoun. The applicant has indicated that a silt fence will be located along the north lot line to prevent erosion and debris from leaving the site during construction. After construction, the retaining wall and vegetation would prevent erosion.

2. *Limiting the visibility of structures and other development from protected waters.*

The visibility of the proposed wall from the lake would be similar to the existing wall. The tallest part of the wall would be approximately 2.5 feet.

3. *The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum front yard requirement adjacent to Sheridan Avenue South from 64.7 feet to 55 feet to allow a reflecting pool based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property that were not created by the applicant. There are limited options where outdoor living spaces can be located. The site is triangular in shape. The existing dwelling was constructed at the rear of the property in the southwest corner. The dwelling located at the adjacent property of 3800 Sheridan Avenue South is set back significantly more from the front lot line along Sheridan Avenue than the other residences on the block. The existing setback of the subject dwelling is 54 feet from the front lot line. The reflecting pool, including the pool deck hardscaping, would not extend past the front wall. However, approximately one-third of the reflecting pool would extend into the required front yard because of the setback of the adjacent dwelling.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The reflecting pool, including the pool deck hardscaping, would be approximately 17 feet from the Calhoun Parkway sidewalk at the closest point. The pool decking would not be elevated above natural grade. The proposal would have no impacts on adjacent properties access to light, air and open space and would not result in an amount of impervious surface exceeding the amount allowed in the RI district. The proposal also includes a drainage plan to increase the amount of stormwater retained on the site and to reduce runoff to the surrounding areas. The request is reasonable and consistent with the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity and would not be detrimental to the health, safety or welfare of the public or those utilizing the property. The reflecting pool, including the pool deck hardscaping, would be approximately 17 feet from the Calhoun Parkway sidewalk at the closest point. The pool decking would not be elevated above natural grade. The proposal would have no impacts on adjacent properties access to light, air and open space and would not result in an amount of impervious surface exceeding the amount allowed in the RI district. The proposal also includes a drainage plan to increase the amount of stormwater retained on the site and to reduce runoff to the surrounding areas.

Additional Standards for Variances within the SH Shoreland Overlay District

In addition, the Zoning Board of Adjustment shall consider, but not be limited to, the following factors when considering conditional use permit or variance requests within the SH Shoreland Overlay District:

1. *The prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

The site is near Lake Calhoun. The applicant has indicated that a silt fence will be located along the north lot line to prevent erosion and debris from leaving the site during construction. After construction, vegetation would prevent erosion.

2. *Limiting the visibility of structures and other development from protected waters.*

The visibility of the proposed pool from the lake would be minimal because the decking would be at natural grade.

3. *The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum interior side yard requirement adjacent to the south lot line from 6 feet to 2 feet to allow pool mechanical equipment access doors based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property that were not created by the applicant. There are limited options where the pool equipment can be located. The site is triangular in shape. The existing dwelling was constructed at the rear of the property in the southwest corner. The dwelling located at the adjacent property of 3800 Sheridan Avenue South is set back significantly more from the front lot line along Sheridan Avenue than the other residences on the block, which creates a larger front yard requirement for the subject property. The north side of the property where most of the remaining open space is located is highly visible from the parkway and the lake. The applicant has proposed to locate the pool mechanical equipment below-grade on the south side of the dwelling. Metal doors are proposed at ground level to provide access to the equipment. Obstructions located completely below-grade are not subject to the yard requirements. However, the variance is necessary to allow the access doors because they would be located at-grade.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The setback between the subject dwelling and the south lot line is 7.8 feet. The pool mechanical equipment would be located in a below-grade vault with structural metal access doors to minimize any aesthetic and noise impacts on the adjacent property to the south. The vault would have a 5-foot wide by 5-foot long footprint and would be set back 2 feet from the south lot line. The proposed location is adjacent to a tuck-under garage for the neighboring dwelling, which is set back 8.5 feet from the shared lot line. The proposal would have no impacts on the adjacent properties access to light, air and open space. The request is reasonable and consistent with the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity and would not be detrimental to the health, safety or welfare of the public or those utilizing the property. The setback between the subject dwelling and the south lot line is 7.8 feet. The pool mechanical equipment would be located in a below-grade vault with structural metal access doors to minimize any aesthetic and noise impacts on the adjacent property to the south. The vault would have a 5-foot wide by 5-foot long footprint and would be

set back 2 feet from the south lot line. The proposed location is adjacent to a tuck-under garage for the neighboring dwelling, which is set back 8.5 feet from the shared lot line. The proposal would have no impacts on the adjacent properties access to light, air and open space.

Additional Standards for Variances within the SH Shoreland Overlay District

In addition, the Zoning Board of Adjustment shall consider, but not be limited to, the following factors when considering conditional use permit or variance requests within the SH Shoreland Overlay District:

1. *The prevention of soil erosion or other possible pollution of public waters, both during and after construction.*
The proposed pool mechanical equipment location is relatively flat. Once construction is complete, landscaping would be installed to prevent erosion.
2. *Limiting the visibility of structures and other development from protected waters.*
The pool mechanical equipment would be located below-grade and would not be visible from Lake Calhoun. The access doors would also not be visible because they would be located behind the dwelling.
3. *The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.*
This standard is not applicable for the proposed development.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Zoning Board of Adjustment adopt staff findings for the applications by Tom Austin for the property located at 3790 West Calhoun Parkway:

A. Variance to reduce the minimum front yard requirement to allow a retaining wall.

Recommended motion: **Approve** the application for a variance to reduce the minimum front yard requirement adjacent to Sheridan Avenue South to allow a retaining wall not retaining natural grade, subject to the following conditions:

1. Approval of the final site plans by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by June 23, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

B. Variance to reduce the minimum front yard requirement to allow a reflecting pool.

Recommended motion: **Approve** the application for a variance to reduce the minimum front yard requirement adjacent to Sheridan Avenue South from 64.7 feet to 55 feet to allow a reflecting pool, subject to the following conditions:

1. Approval of the final site plans by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by June 23, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

C. Variance to reduce the minimum interior side yard requirement to allow pool equipment.

Recommended motion: **Approve** the application for a variance to reduce the minimum interior side yard requirement adjacent to the south lot line from 6 feet to 2 feet to allow pool mechanical equipment access doors, subject to the following conditions:

1. The pool mechanical equipment shall be located below grade.
2. Approval of the final site plans by the Department of Community Planning and Economic Development.
3. All site improvements shall be completed by June 23, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

1. Zoning map
2. Written description and findings submitted by applicant
3. Site survey
4. Site plan
5. Photos

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

3790 West Calhoun Parkway

FILE NUMBER

BZZ-7739

Statement of proposed use and description of the project

The owner of this property is interested in updating and improving the property to fully utilize and enjoy his home in its residential context; additionally he seeks to have the same attention to detail and design in the site as exists in the renovated home. To achieve this, the design embraced the entire site and oriented the most used areas to view the lake. The site improvements begin by removing existing site walls, consolidating several redundant walls and installing cleaner, more purposeful walls; transparency has always been a key tenant to the design. The driveway is being removed, reconfigured with a smaller foot print and paved with a more elegant and long-lasting material. In between the driveway and house will be a sunken lawn. This lawn will be a more private retreat for the owner. It will be flanked by a row of trees and overlook a shallow reflecting pool and Lake Calhoun. The owner has taken great care to make the site ecologically sensitive, hidden underneath the surface will be a complex drainage system ensuring a large portion of rainwater is dealt with on site, reducing the stress to the Cities' storm water system.

Variance:

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.**

Our client's lot has a unique combination of circumstances that make it difficult to create an outdoor environment that utilizes the site. The original house was constructed very close to both the rear setback and the interior side setback, leaving little space to develop a meaningful yard behind the house. The front yard is also impacted by a unique condition wherein the neighboring house location creates an imposed front yard setback that is 45' farther than the 25' setback set by the City code. The client hopes to receive a variance for both the front and side yard setback restrictions. Only a small area of the proposed design will impact the setbacks; additionally the walls and reflecting pool that do impact the setbacks are within the 25' front yard offset and block average offset. The new walls will actually reduce the amount of walls that are on the existing site.

- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.**

We believe the design proposed for this property is in keeping with the spirit and intent of the ordinance. The use and function of the site is of a purely residential and leisurely nature. The impacted portion of the property has largely been kept to the location of existing site improvements.

- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.**

If the variance is approved, the proposed landscape will help enhance the character of the neighborhood and surrounding park land. The proposed landscape will elevate the appearance and experience of the property for both the owner and also the users of the adjacent park land. By eliminating old deteriorating retaining walls and plant material that was poorly maintained by past owners, it will provide a much needed update. No updates will have a negative impact on adjacent properties.

Shoreland Overlay district:

- 1. The prevention of soil erosion or other possible pollution of public waters, both during and after construction.**

The use of silt fences during landscape improvements will prevent eroded soils from polluting public waters. All disturbed soils will be sodded and maintained at the conclusion of the project.

- 2. Limiting the visibility of structures and other development from protected waters.**

Visibility of the structure will be limited by the use of trees and perennial grasses.

Variance: Pool equipment and pad location.

All water feature mechanical equipment and associated support pad will be located within a sub-grade vault with structural metal doors. This location will reduce noise created by the equipment and it will eliminate any visual disturbance for the neighbor.

Variance:

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.**

Our client's lot has a unique combination of circumstances that make it difficult to create an outdoor environment that utilizes the site. The original house was constructed very close to both the rear setback and the interior side setback, leaving little space to develop a meaningful yard behind the house. The front yard is also impacted by a unique condition wherein the neighboring house location creates an imposed front yard setback that is 45' farther than the 25' setback set by the City code. The client hopes to receive a variance for both the front and side yard setback restrictions. Only a small area of the proposed design will impact the setbacks; additionally the walls and reflecting pool that do impact the setbacks are within the 25' front yard offset and block average offset. The new walls will actually reduce the amount of walls that are on the existing site.

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Shoreland Overlay district:

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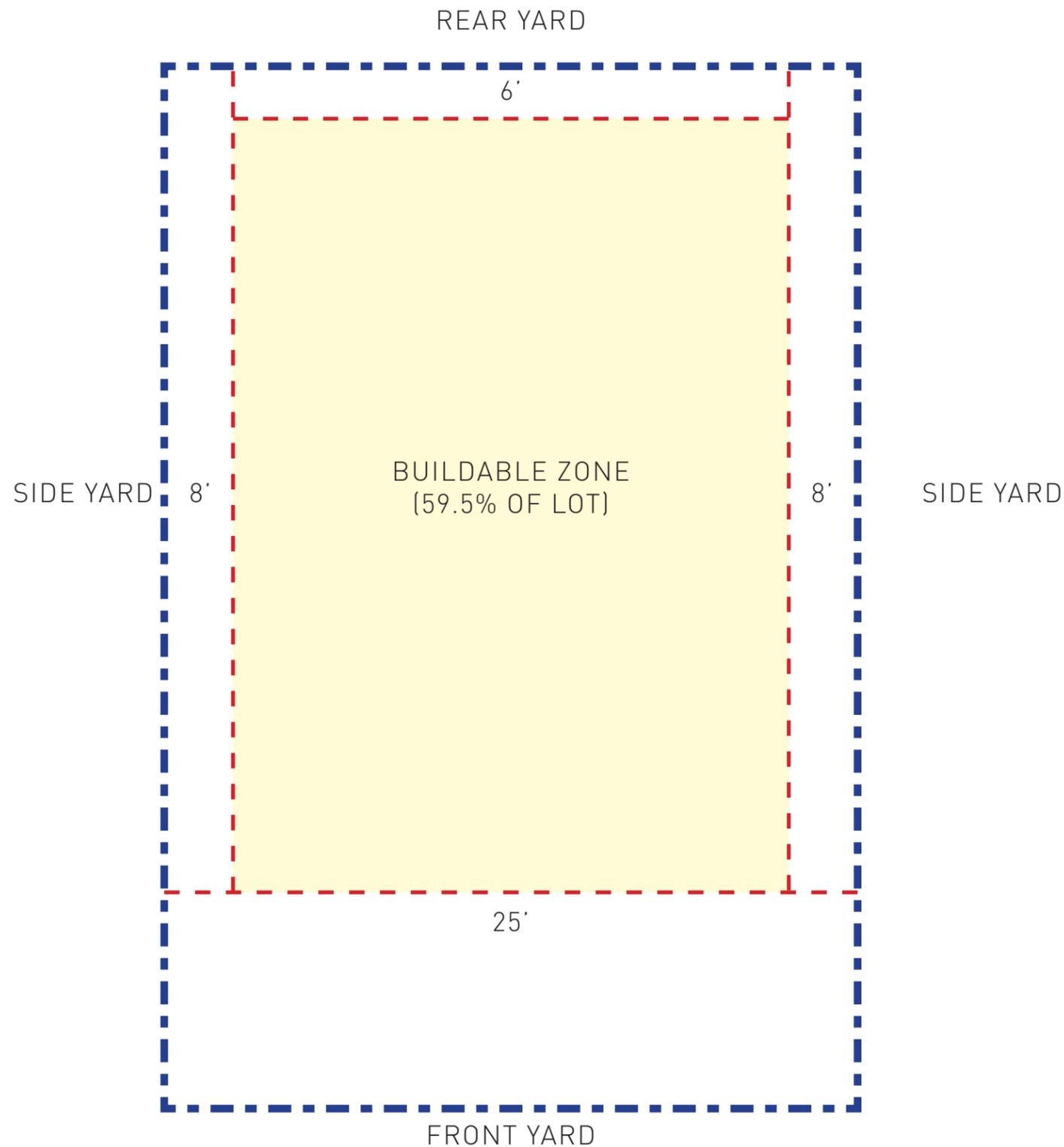
The use of silt fences during landscape improvements will prevent eroded soils from polluting public waters. All disturbed soils will be sodded and maintained at the conclusion of the project.

- 2. Limiting the visibility of structures and other development from protected waters.**

Visibility of the structure will be limited by the use of trees and perennial grasses.

AUSTIN RESIDENCE

VARIANCE PACKAGE



MAJOR PROPERTY CODE OUTLINES

INTERIOR:

- WALLS/SOLID FENCE UP TO 6' HEIGHT FROM GRADE
- TRANSPARENT FENCE (60% OPAQUE) UP TO 8'
- STRUCTURES MUST BE AT LEAST 5' AWAY FROM NEIGHBOR'S HOUSE

REAR:

- WALLS/SOLID FENCE UP TO 6'
- TRANSPARENT FENCE (60% OPAQUE) UP TO 8'
- RETAINING WALLS CAN BE AS HIGH AS NECESSARY TO RETAIN SAME AMOUNT OF GRADE AS WHAT IS EXISTING
- TO ACHIEVE OPTIMAL SCREENING AND RETAINING CONDITIONS, WALL AND FENCE MUST BE SEPARATED BY 6-12", WITH SEPARATE FOOTINGS

CORNER SIDE YARD:

- PATIO STRUCTURES MUST BE OUTSIDE OF 8' SETBACK

FRONT:

- DRIVEWAY MUST NOT EXCEED 25' WIDTH
- SHOW CONFORMANCE TO NEW CODES WITH IMPERVIOUS PAVEMENT CALCULATIONS

REAR YARD

6'

BUILDABLE ZONE
(41.0% OF LOT)

72' IMPOSED FRONT YARD

8'

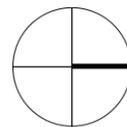
8'

CORNER SIDE YARD

25'

FRONT

INTERIOR
SIDE YARD



MAJOR PROPERTY CODE OUTLINES

INTERIOR:

- WALLS/SOLID FENCE UP TO 6' HEIGHT FROM GRADE
- TRANSPARENT FENCE (60% OPAQUE) UP TO 8'
- STRUCTURES MUST BE AT LEAST 5' AWAY FROM NEIGHBOR'S HOUSE

REAR:

- WALLS/SOLID FENCE UP TO 6'
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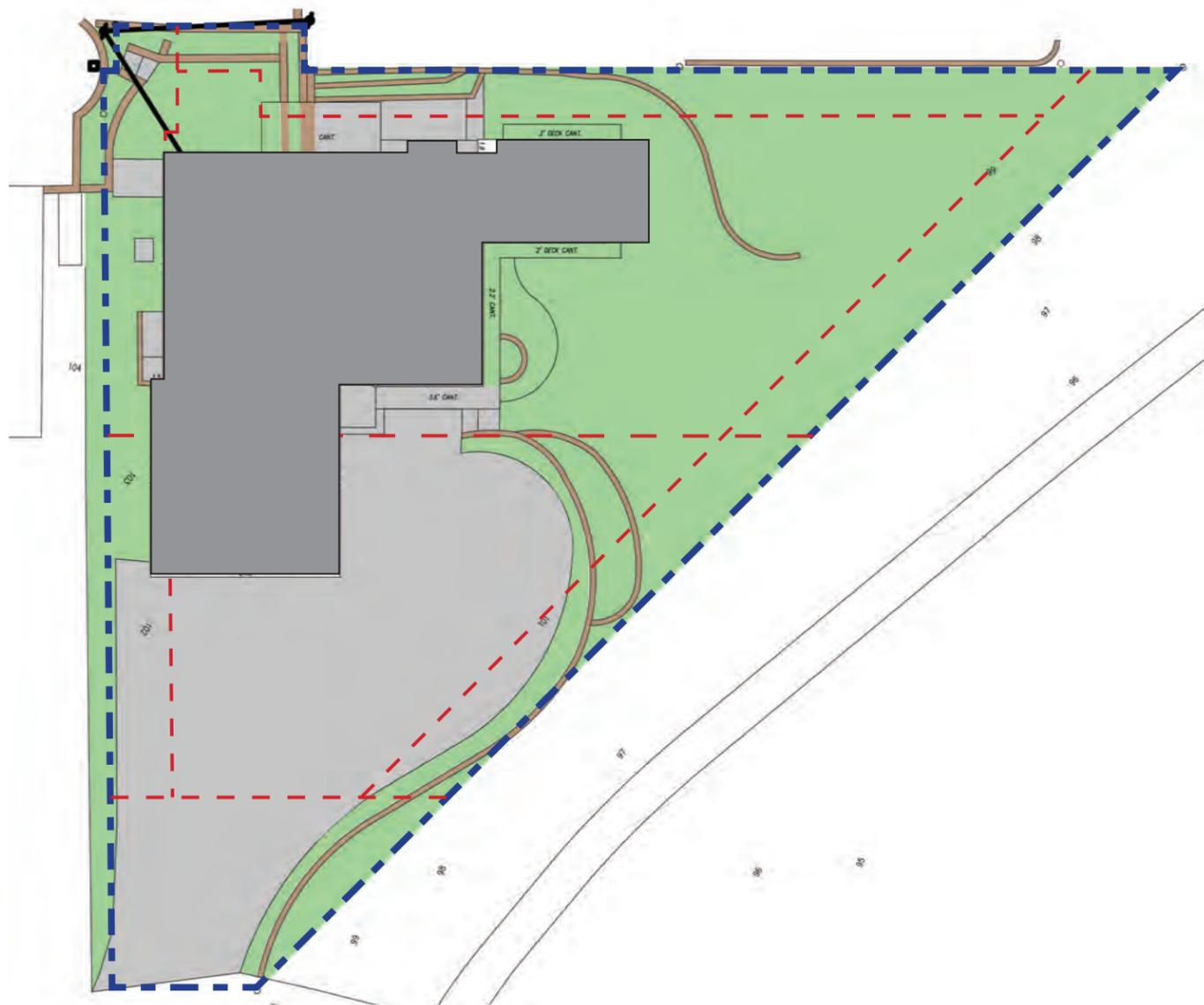
CORNER SIDE YARD:

- PATIO STRUCTURES MUST BE OUTSIDE OF 8' SETBACK

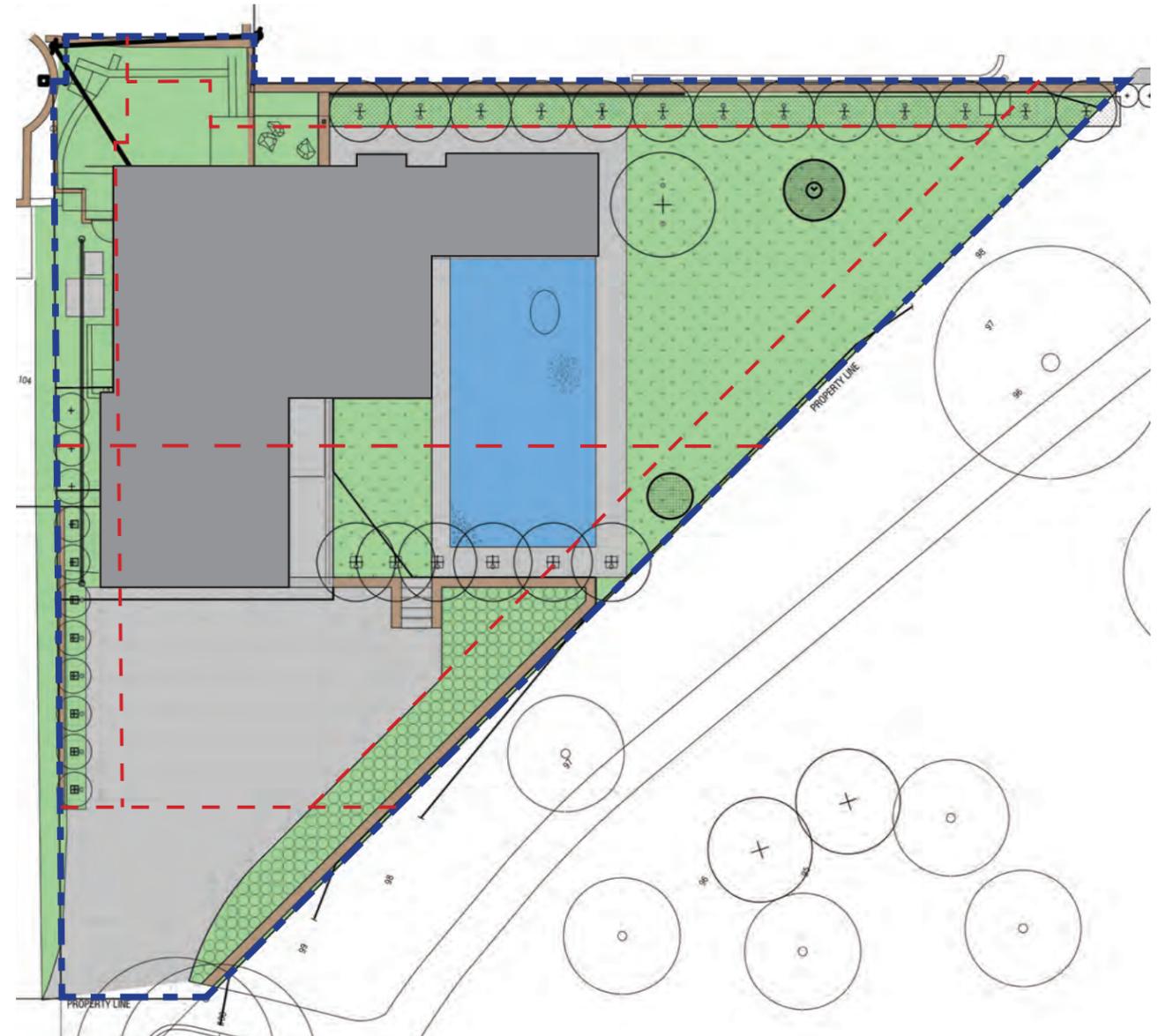
FRONT:

- DRIVEWAY MUST NOT EXCEED 25' WIDTH
- SHOW CONFORMANCE TO NEW CODES WITH IMPERVIOUS PAVEMENT CALCULATIONS

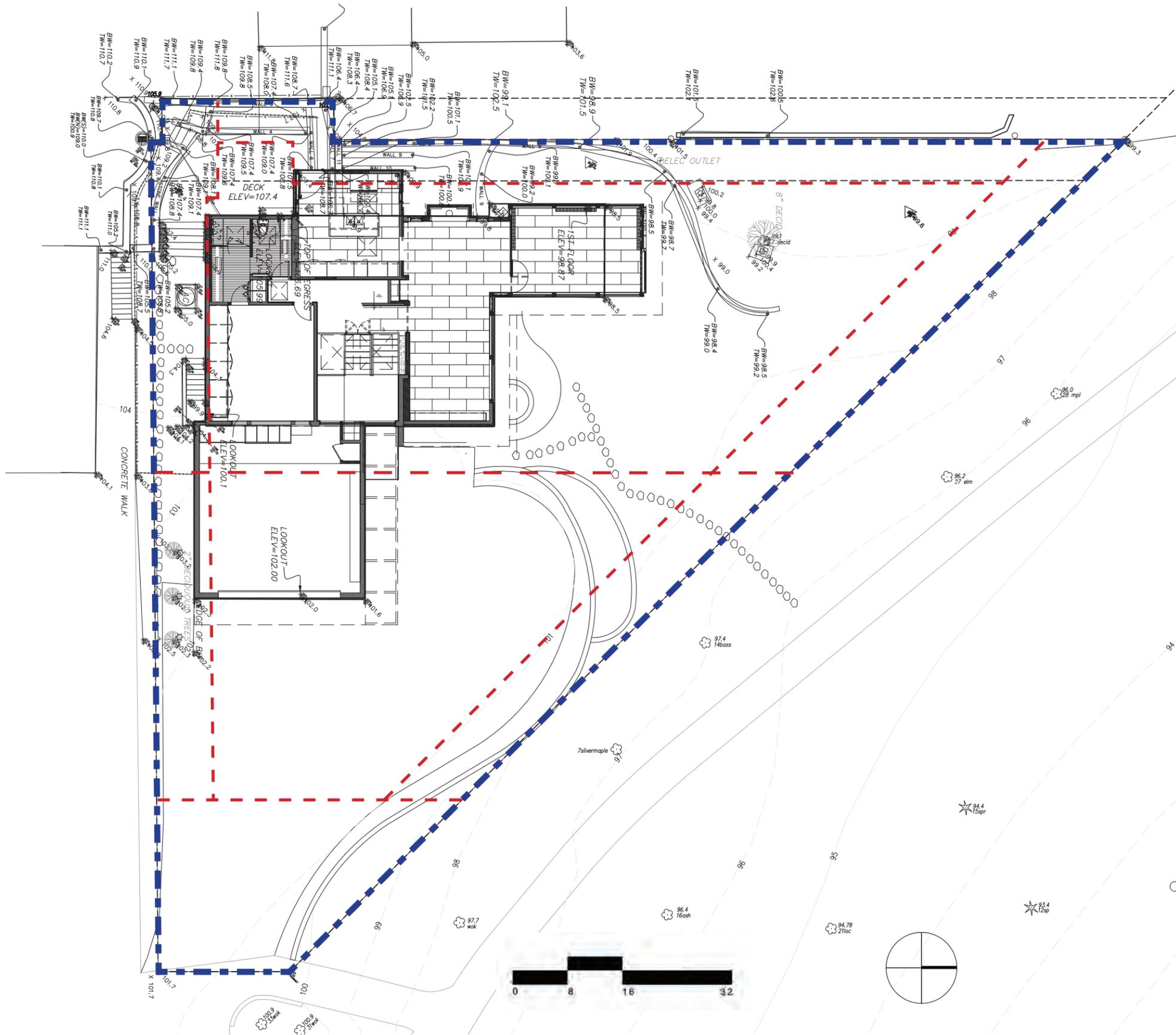




EXISTING

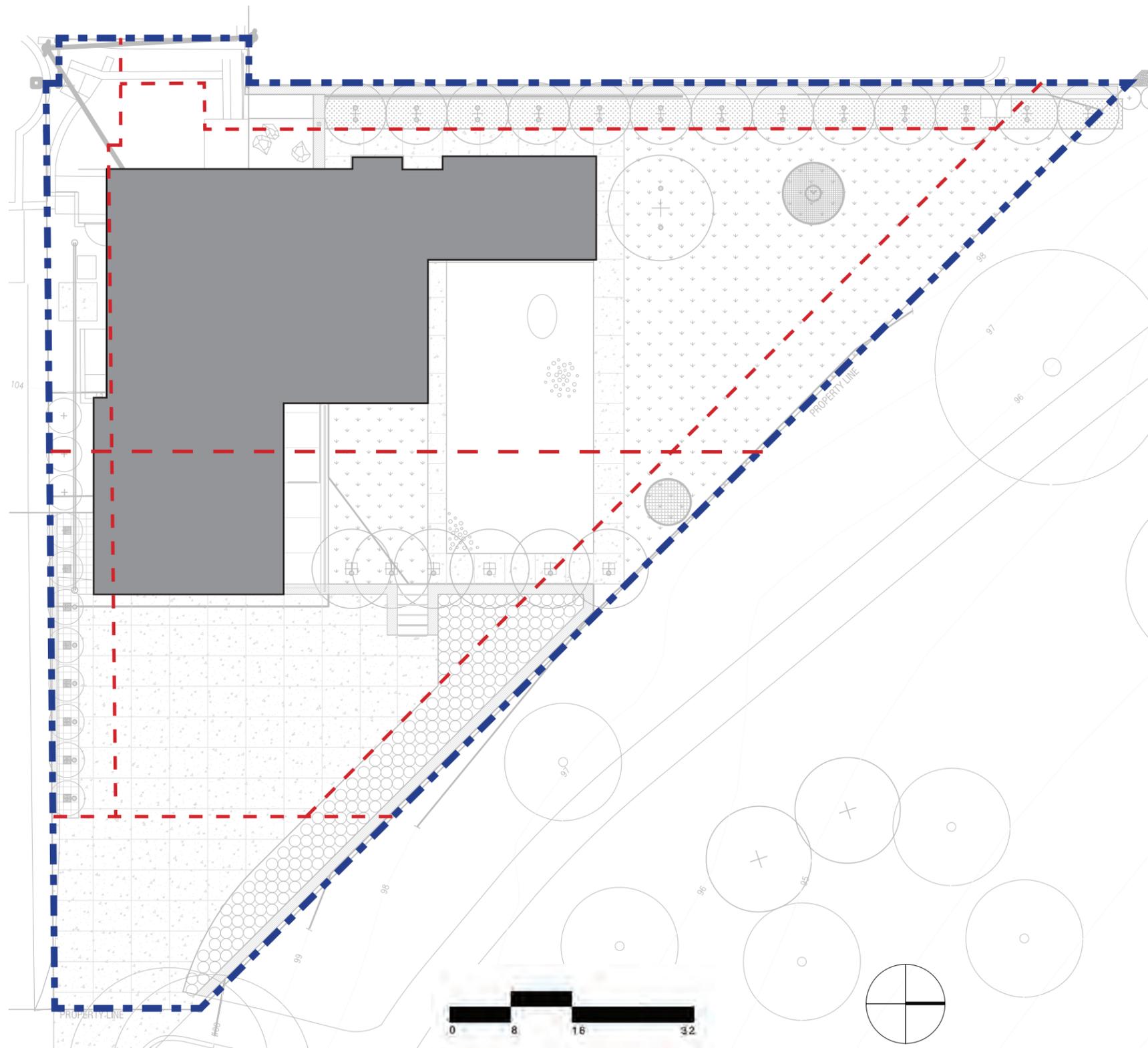


PROPOSED



IMPERVIOUS AREA CALCULATIONS:

- TOTAL:**
 9733 TOTAL SF LOT
- 52.8% IMPERVIOUS (60% MAX ALLOWED)
- 2,129 BUILDING
 2,572 DRIVEWAY
 283 WALLS
 159 OTHER
-
- 5,143 SF
- 4,590 PERVIOUS
- 90' OF RETAINING WALL IN CORNER
 AND FRONT YARD SETBACKS



MAJOR PROPERTY CODE OUTLINES

INTERIOR:

- WALLS/SOLID FENCE UP TO 6' HEIGHT FROM GRADE
- TRANSPARENT FENCE (60% OPAQUE) UP TO 8'
- STRUCTURES MUST BE AT LEAST 5' AWAY FROM NEIGHBOR'S HOUSE

REAR:

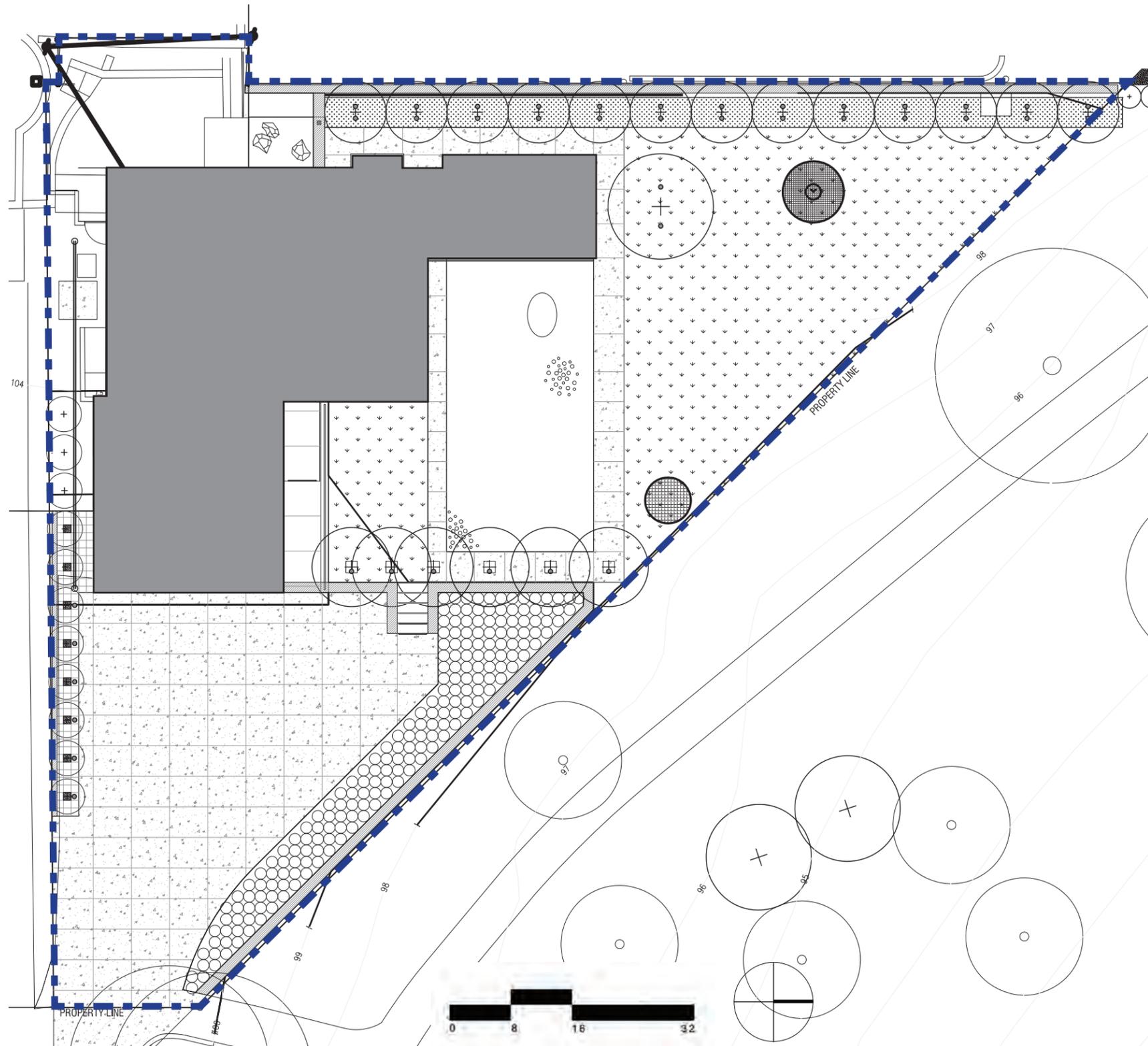
- WALLS/SOLID FENCE UP TO 6'
- TRANSPARENT FENCE (60% OPAQUE) UP TO 8'
- RETAINING WALLS CAN BE AS HIGH AS NECESSARY TO RETAIN SAME AMOUNT OF GRADE AS WHAT IS EXISTING

CORNER SIDE YARD:

- PATIO STRUCTURES MUST BE OUTSIDE OF 8' SETBACK

FRONT:

- DRIVEWAY MUST NOT EXCEED 25' WIDTH
- SHOW CONFORMANCE TO NEW CODES WITH IMPERVIOUS PAVEMENT CALCULATIONS



IMPERVIOUS AREA CALCULATIONS:

TOTAL:

9733 TOTAL SF LOT

59.2% IMPERVIOUS (60% MAX ALLOWED)

2,215 BUILDING

1,768 DRIVEWAY

300 WALLS

740 WATER FEATURE

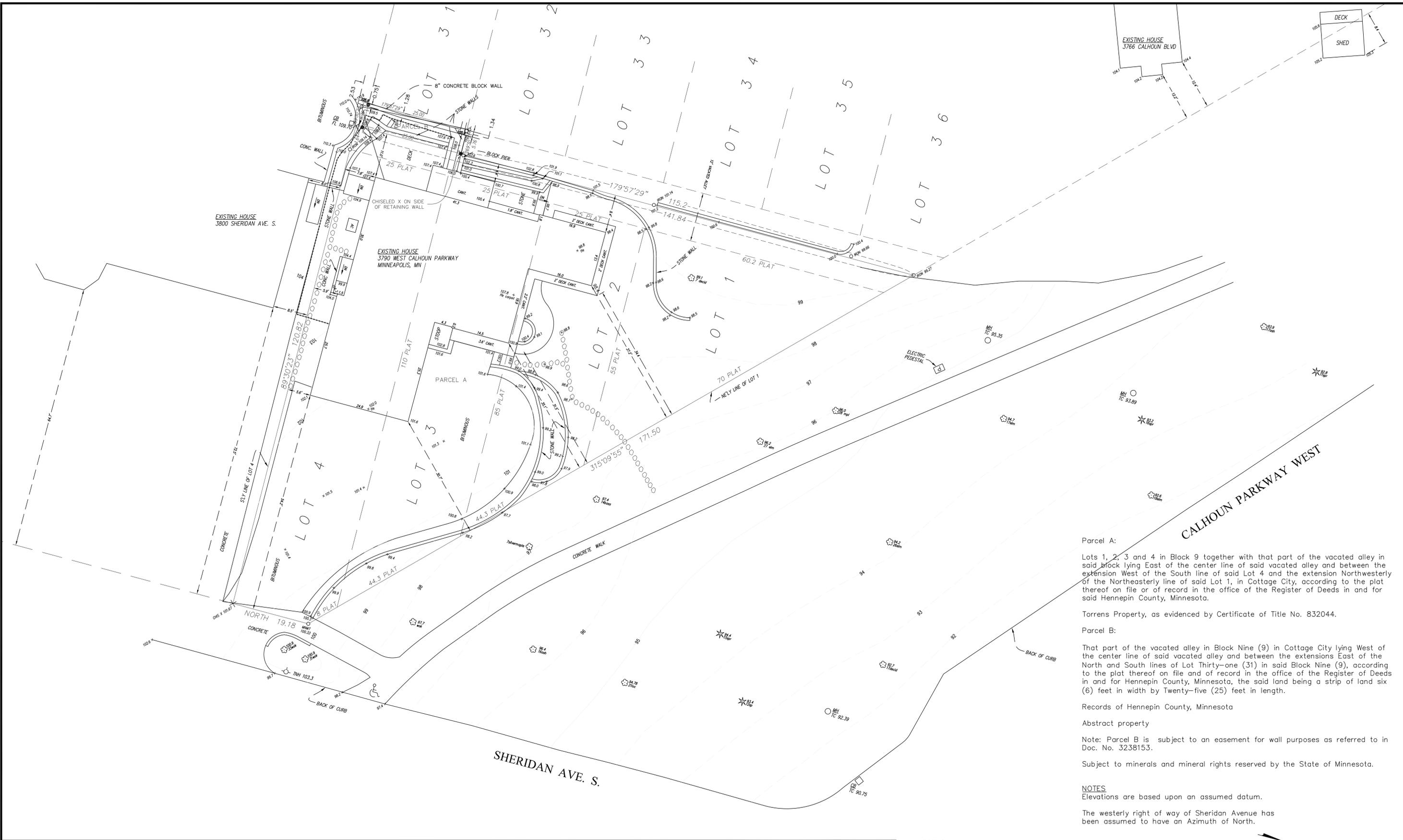
684 WALKS

52 OTHER

5,759 SF

3,974 PERVIOUS

82' OF RETAINING WALL IN CORNER
AND FRONT YARD SETBACKS



Parcel A:
 Lots 1, 2, 3 and 4 in Block 9 together with that part of the vacated alley in said block lying East of the center line of said vacated alley and between the extension West of the South line of said Lot 4 and the extension Northwesterly of the Northeastly line of said Lot 1, in Cottage City, according to the plat thereof on file or of record in the office of the Register of Deeds in and for said Hennepin County, Minnesota.

Torrens Property, as evidenced by Certificate of Title No. 832044.

Parcel B:
 That part of the vacated alley in Block Nine (9) in Cottage City lying West of the center line of said vacated alley and between the extensions East of the North and South lines of Lot Thirty-one (31) in said Block Nine (9), according to the plat thereof on file and of record in the office of the Register of Deeds in and for Hennepin County, Minnesota, the said land being a strip of land six (6) feet in width by Twenty-five (25) feet in length.

Records of Hennepin County, Minnesota
 Abstract property

Note: Parcel B is subject to an easement for wall purposes as referred to in Doc. No. 3238153.

Subject to minerals and mineral rights reserved by the State of Minnesota.

NOTES
 Elevations are based upon an assumed datum.

The westerly right of way of Sheridan Avenue has been assumed to have an Azimuth of North.

I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE _____ REG. NO. 19522

KIM A. REAUME
 REGISTERED LAND SURVEYOR
 763-475-1314
 763-475-1015 FAX
 3305 GARLAND LANE N.
 PLYMOUTH, MINNESOTA 55447

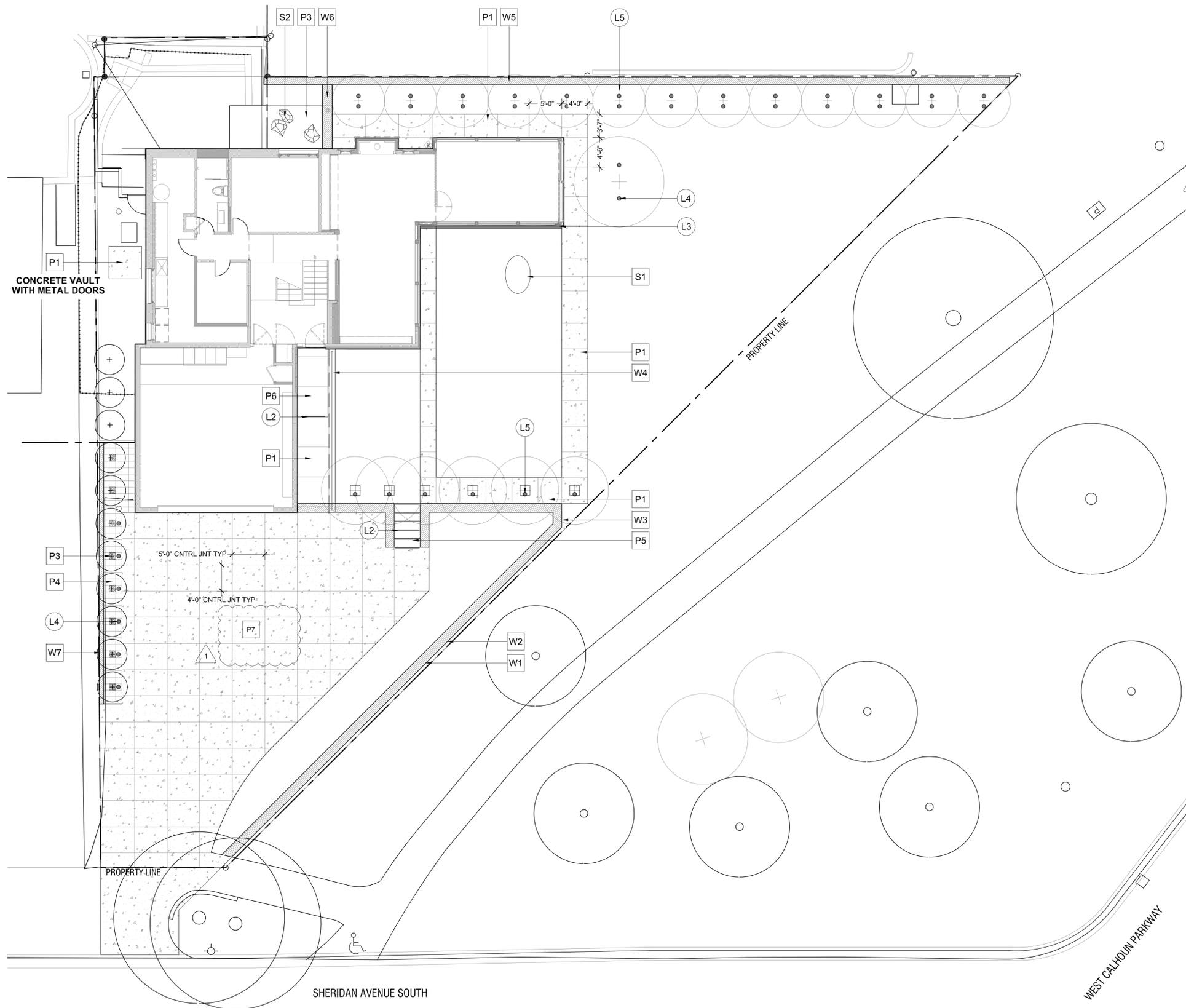
BOOK	30	PAGE	44
PROJECT NO	2001-97e		
REVISIONS	PARCEL B (02-07-2005) KR 7" SILVER MAPLE LOCATED (08-30-06) KR		

CERTIFICATE OF SURVEY AND TOPOGRAPHY SURVEY FOR TOM AUSTIN

- LEGEND**
- DENOTES IRON FOUND
 - × CHISELED "X" REPRESENTING PROPERTY CORNER
 - ☼ DECIDUOUS TREE
 - * CONIFEROUS TREE
 - STAGGERED STONE WALK

TREE ABBREVIATIONS
 BASS BASSWOOD
 MPL MAPLE
 SPR SPRUCE
 WOK WHITE OAK

SCALE IN FEET



GROUND SURFACING SCHEDULE

DESCRIPTION	REFERENCE
P1 CIP LITHOCRETE, FINISH TO BE APPROVED BY OWNER & L. ARCH	ENTRANCE WALK, POOL COPING AND PATIO, CNTRL JNT PER PLAN
P2 SITE CAST LITHOCRETE PAVERS, FINISH TO BE APPROVED BY OWNER & L. ARCH	WEST TREE PITS
P3 AGGREGATE	DRESSER TRAP ROCK 3" LAYER OF 1/4" WASHED
P4 12"X12" LITHOCRETE PAVERS	ALONG THE SOUTH PROPERTY LINE, BETWEEN TO THE EXISTING BIRCH TREES; PRECAST TO MATCH CIP
P5 STAIR, PRECAST LITHOCRETE TREAD/RISER	NORTH WEST SIDE OF AUTO COURT TO LAWN.
P6 STEP, CIP LITHOCRETE	ENTRANCE WALK
P7 CIP LITHOCRETE OVER SNOWMELT SYSTEM	AUTO COURT, CNTRL JNT PER PLAN; SEE DETAIL 3/L601

WALL SCHEDULE

DESCRIPTION	REFERENCE
W1 RETAINING WALL 1	AUTO COURT, PRECAST LITHOCRETE PANELS. (TO MATCH CIP)
W2 RETAINING WALL 2	AUTO COURT EAST OF STAIRS, PRECAST LITHOCRETE PANELS (TO MATCH CIP)
W3 RETAINING WALL 3	LOWER GARDEN, WEST OF STAIRS, PRECAST LITHOCRETE PANELS (TO MATCH CIP)
W4 RETAINING WALL 4	WALKWAY TO ENTRY, PRECAST LITHOCRETE PANELS (TO MATCH CIP)
W5 SITE WALL	WEST SITE BOUNDARY, STONE WALL, TO MATCH HOUSE
W6 RETAINING WALL 5	OUTSIDE OF THE STUDY, TEMPORARY WITH PRECAST LITHOCRETE FINISH
W7 SITE WALL-ADD ALTERNATE	CIP LITHOCRETE SITE WALL, 4' HEIGHT WITH CONTINUOUS FTG TO FROST

SITE ELEMENTS SCHEDULE

DESCRIPTION	QNTY	REFERENCE
S1 SCULPTURE	1	WHITE MARBLE SCULPTURE, IN THE WATER FEATURE
S2 ZEN GARDEN	1	(3) 30" DIA. FRACTURED GRANITE BOULDERS, SITE PLACED
S3 LITTER TROUGH	1	CUSTOM STAINLESS STEEL REMOVEABLE TROUGH FOR YARD WASTE. SEE 5-L604

LIGHTING SCHEDULE

DESCRIPTION	QNTY	REFERENCE
L1 FLUSH-MOUNT DRIVEWAY AND LIGHTS	10	AUTO COURT ALONG THE BIRCH TREES AND NORTH RETAINING WALL EDGE
L2 LED STEP LIGHT RECESSED INTO RISER/WALL	25 LF	STEP LIGHTS MOUNTED UNDER STAIR NOSING
L3 SWIMMING POOL STRIP LIGHT RECESSED UNDER THE COPING	32 LF	IN THE WATER FEATURE
L4 FLUSH-MOUNT UPLIGHTS (IN PAVING)	2	AT THE APPLE TREE
L5 GROUND-MOUNTED TREE UPLIGHTS	20	UNDER THE BIRCH TREES IN THE LOWER GARDEN; PEAR TREE ALONG THE WEST SITE WALL

EDGING

DESCRIPTION	QNTY	REFERENCE
E1 ALUMINUM EDGING, PERMOLOC PERMASTRIP OE.	285 LF	BIRCH TREES AND APPLE TREES AT LAWN

GENERAL NOTES:

- SEE SHEET L001 FOR GENERAL NOTES.
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- ELECTRICAL CONTRACTOR, MECHANICAL CONTRACTOR, AND IRRIGATION CONTRACTOR TO COORDINATE W/ PAVING, CONCRETE, AND WALL CONTRACTORS ON SLEEVE LOCATIONS UNDER HARDSCAPED SURFACES AND WALLS.
- REFER TO SHEET EXISTING CONDITIONS PLAN FOR BOUNDARY INFORMATION. ALL CONSTRUCTION STAKING MUST BE PERFORMED BY A REGISTERED LAND SURVEYOR.
- DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS ARE TO BE USED FOR ALL LAYOUT WORK.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY LAYOUT DISCREPANCIES.
- AUTOCAD FILE AVAILABLE TO CONTRACTOR UPON REQUEST FOR FIELD LAYOUT.

AUSTIN RESIDENCE
 MINNEAPOLIS, MN 55410
CONSTRUCTION DOCUMENTS
 3790 WEST CALHOUN PARKWAY

LANDSCAPE ARCHITECT
 coen-partners minneapolis
 400 1st avenue north suite 210
 minneapolis mn 55401
 t 612.341.8070 f 612.339.5907
 www.coenpartners.com

ARCHITECT
 JIM JENNINGS ARCHITECTURE,
 49 RODGERS ALLEY
 SAN FRANCISCO CA 94103
 415-551-0827
 http://www.jimjenningsarchitecture.com/

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 YERIGAN CONSTRUCTION COMPANY
 101 RAILROAD AVENUE
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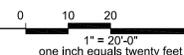
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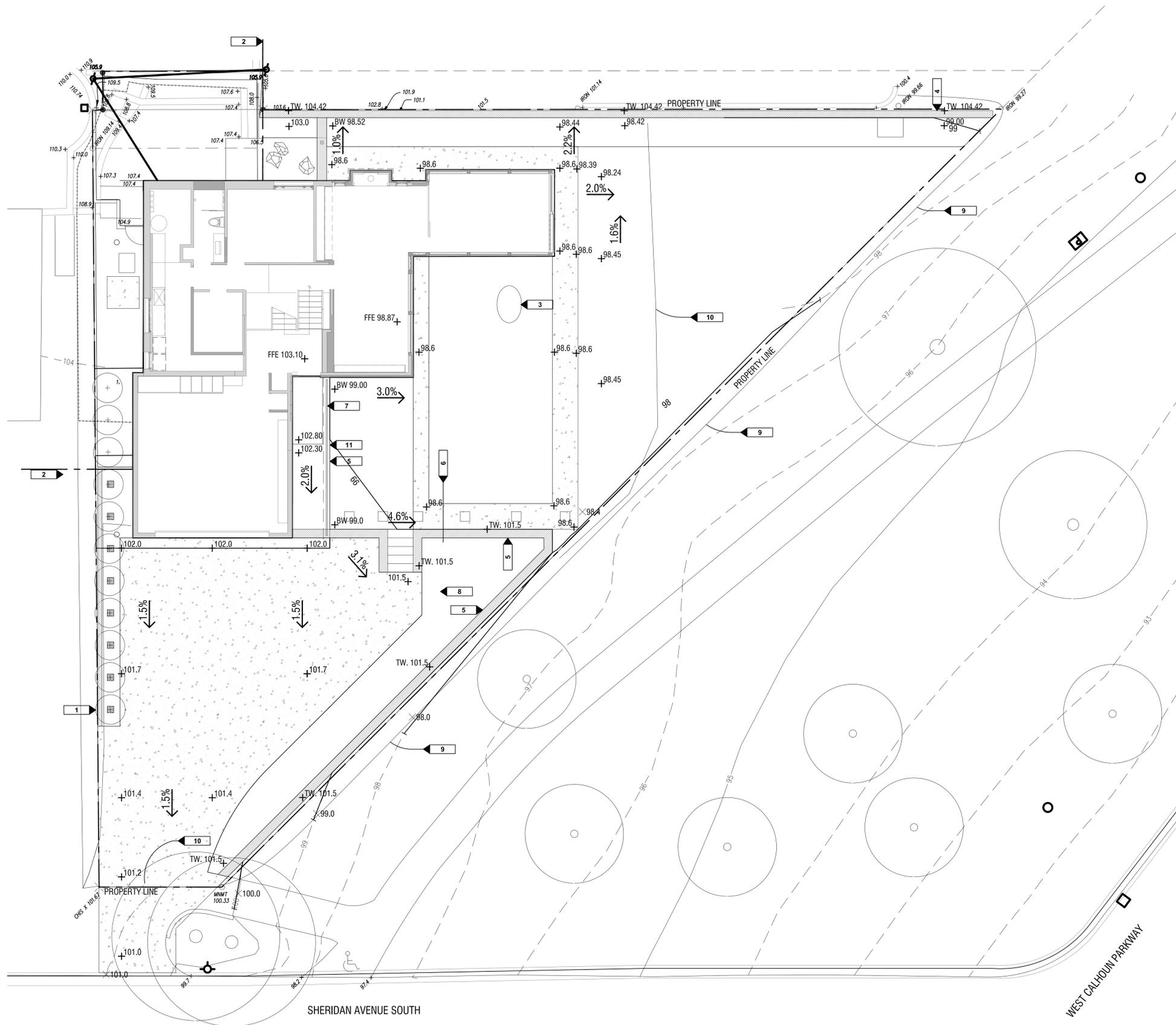
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 date: 06-23-2016
 scale: AS SHOWN
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sheet title
 SURFACING, WALL, ELEMENTS
 LIGHTING PLAN

1 SURFACING, WALL, ELEMENTS & LIGHTING PLAN

Scale: 1" = 20'-0"





KEYED NOTES:

- 1 EXISTING TREES, SAVE AND PROTECT
- 2 DESIGN BOUNDARY LINE
- 3 SCULPTURAL ELEMENT
- 4 FREESTANDING SITE WALL
- 5 RETAINING WALL
- 6 STAIR
- 7 GUARD RAILING
- 8 PLANTING BED
- 9 EROSION CONTROL, SILT FENCE
- 10 EROSION CONTROL, SILT SOCK
- 11 STOOP

GENERAL NOTES:

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 3790 WEST CALHOUN PARKWAY

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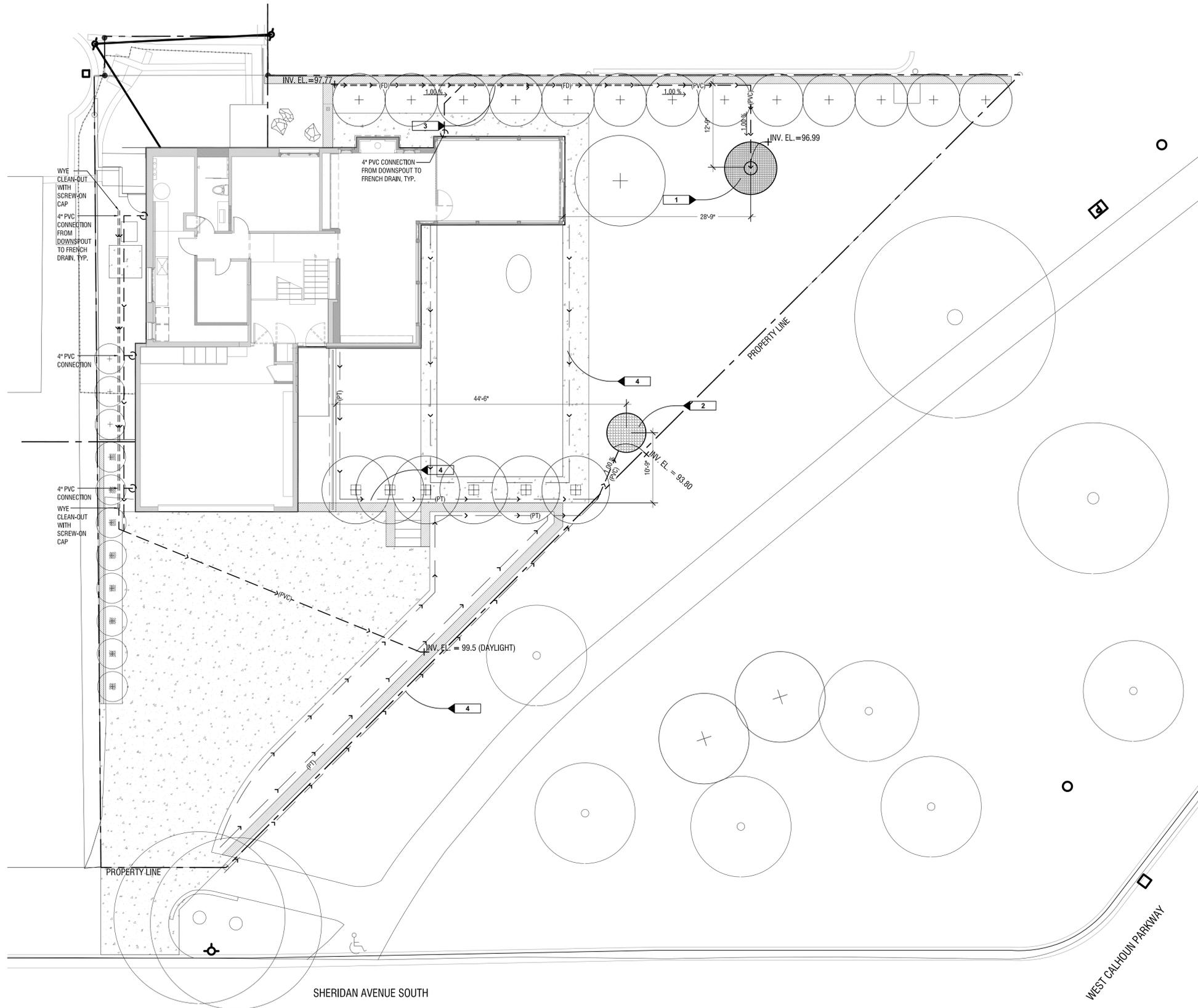
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GRADING PLAN

1 GRADING PLAN
 Scale: 1/8" = 1'-0"





KEYED NOTES:

- 1 DRYWELL (TRENCH DRAIN) SEE 1-L604
- 2 DRYWELL (WALL FOOTINGS) SEE 2-L604
- 3 FRENCH DRAIN
- 4 WALL FOOTING DRAIN TILE

LEGEND:

- (PT)
- (FD) FRENCH DRAIN
- (PVC)
- STORMWATER INFILTRATION STRUCTURE

GENERAL NOTES:

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 3790 WEST CALHOUN PARKWAY

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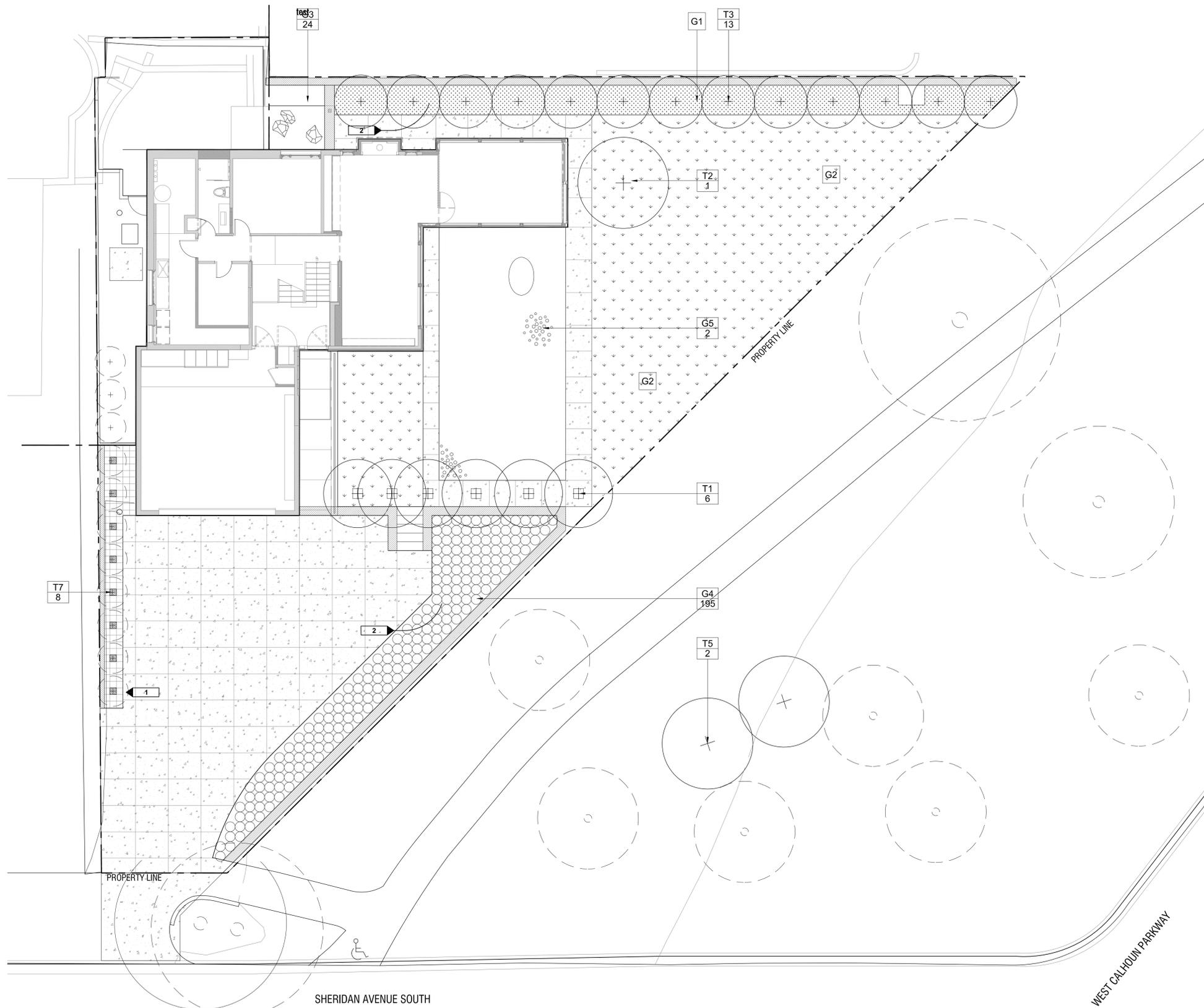
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DRAINAGE PLAN

1 DRAINAGE PLAN
 Scale: 1/8" = 1'-0"





KEYED NOTES:

- 1 EXISTING TREES, SAVE AND PROTECT
- 2 PLANTING BED

GENERAL NOTES:

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PLANTING SCHEDULE

PLANTINGS - TREES

KEY	MATERIAL	QTY	COMMENTS
T1	WHITESPIRE BIRCH	6	4" Cal. Free-form branching. Trees must be full form and maturing. Landscape Architect to approve trees prior to delivery to site. Landscape Architect to field verify final locations and approve final planting.
T2	APPLE TREE	1	Specimen apple spaded from apple farm. Free-form branching. Tree must be full form and fully mature. Landscape Architect to approve trees prior to delivery to site. Landscape Architect to field verify final locations and approve final planting.
T3	CHANTICLEER PEAR	13	4" Cal. Free-form branching. Trees must be full form and maturing. Landscape Architect to approve trees prior to delivery to site. Landscape Architect to field verify final locations and approve final planting.
T4	COTTONEASTER LUCIDUS	14	#25 Cont. Plant 36" O.C. Trees must be full form and maturing. Landscape Architect to approve trees prior to delivery to site. Landscape Architect to field verify final locations and approve final planting.
T5	BLACK HILLS SPRUCE	2	12'-14' tall. Free-form branching. Trees must be full form and maturing. Landscape Architect to approve trees prior to delivery to site. Landscape Architect to field verify final locations and approve final planting.
T6	BOXWOOD BUXUS "WILSON"	49	15 gallon. Plant 24" O.C.

PLANTINGS - PERENNIALS AND GROUNDCOVERS

KEY	MATERIAL	QTY	COMMENTS
G1	PACHYSANDRA	-	Quarts. Plants must be full form and maturing. Landscape Architect to approve final planting and field verify final locations. Plant 12" O.C. in grid pattern.
G2	SOD		
G3	EQUISETUM	24	1 gallon. Plant 12" O.C.
G4	PRAIRIE DROPSEED	91	Gallons. Plants must be full form and maturing. Landscape Architect to approve final planting and field verify final locations. Plant 18" O.C. in grid pattern.
G5	WATER LILY	2	Gallons. Plants must be full form and maturing. Landscape Architect to approve final planting and field verify final locations.

PLANTINGS - TREES, ADD ALTERNATE

KEY	MATERIAL	QTY	COMMENTS
T7	BIRCH	8	Replacement for existing trees if deemed un-salvageable with add alternate wall (W7) Free-form branching. Trees must be full form and maturing. Landscape Architect to approve trees prior to delivery to site. Landscape Architect to field verify final locations and approve final planting.

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 MINNEAPOLIS, MN 55410
CONSTRUCTION DOCUMENTS
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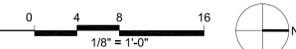
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PLANTING PLAN

1 PLANTING PLAN
 Scale: 1/8" = 1'-0"



L400
 sheet number



AUSTIN RESIDENCE / EXISTING SITE PHOTOS

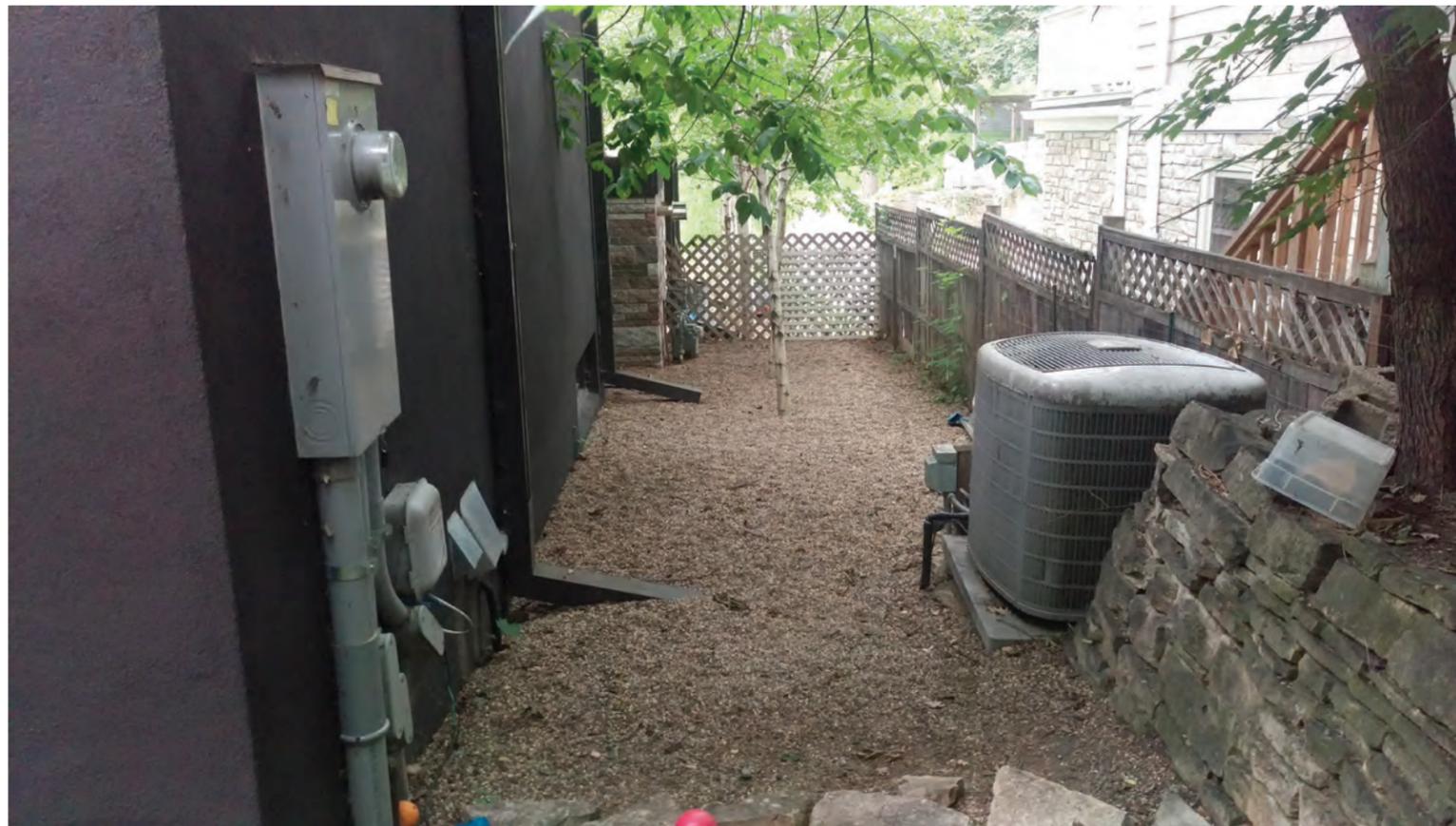
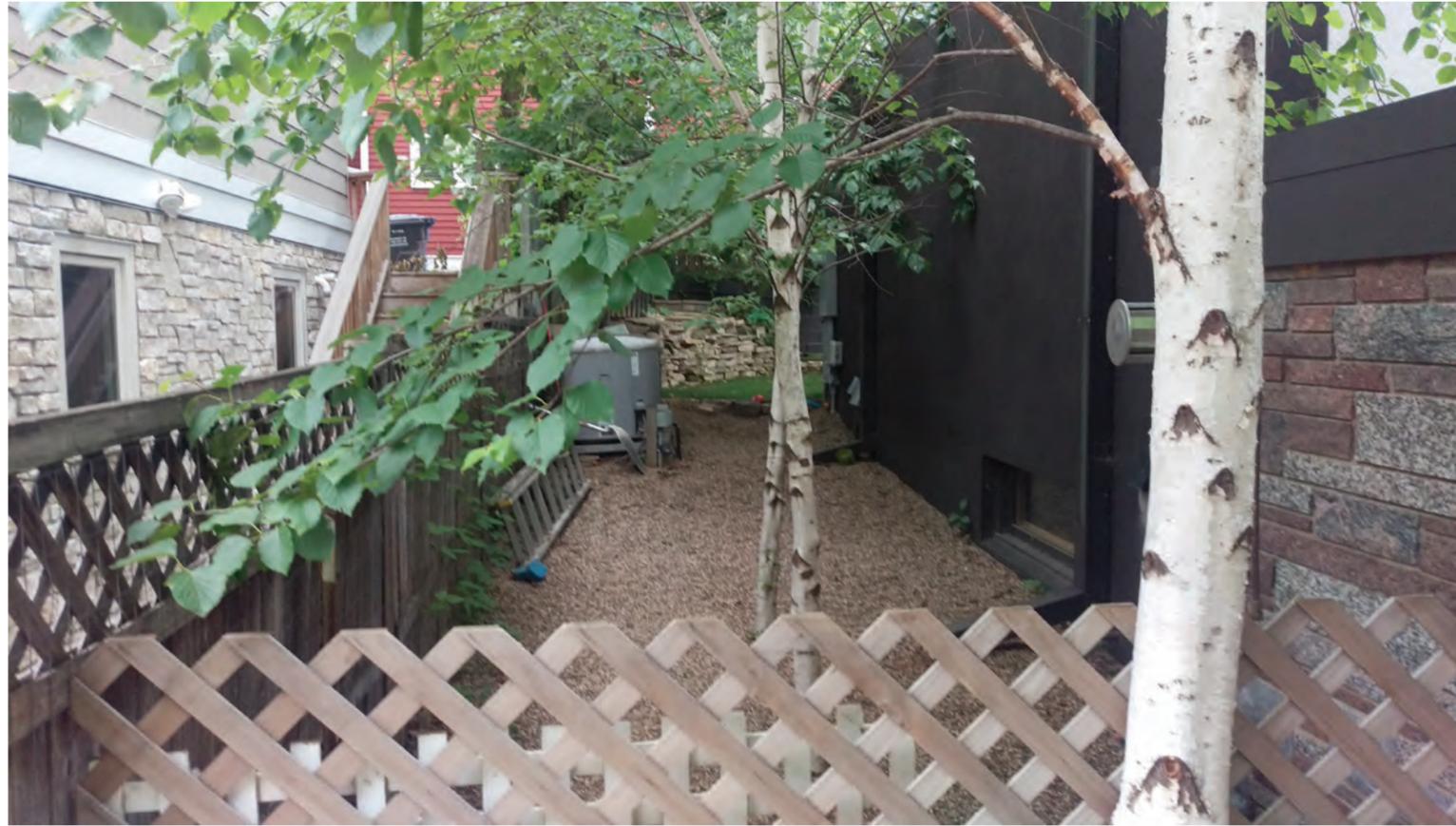


AUSTIN RESIDENCE / EXISTING SITE PHOTOS



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AUSTIN RESIDENCE / VAULT DOORS