

LAND USE APPLICATION SUMMARY

Property Location: 1610 West Franklin Avenue
Project Name: 1610 West Franklin Avenue Roof Deck Addition
Prepared By: Janelle Widmeier, Senior City Planner, (612) 673-3156
Applicant: Andrew Carlson and Lisa Hollingsworth
Project Contact: Andrew Carlson and Lisa Hollingsworth
Request: To allow a roof deck addition to a single-family dwelling.
Required Applications:

Variance	To reduce the minimum front yard requirement adjacent to Franklin Avenue West from 20 feet to 0 feet to allow a roof deck and stairs.
Variance	To increase the maximum lot coverage and maximum amount of impervious surface by 30 square feet to allow the stair/landing addition.

SITE DATA

Existing Zoning	R2 Two-family District SH Shoreland Overlay District
Lot Area	2,200 square feet
Ward(s)	7
Neighborhood(s)	Lowry Hill
Designated Future Land Use	Urban Neighborhood
Land Use Features	Not applicable
Small Area Plan(s)	Not applicable

Date Application Deemed Complete	June 18, 2016	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	August 16, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The existing single-family dwelling was permitted for construction in 1908. The existing front facing attached garage was permitted for construction in 2006.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The properties in the immediate area are predominantly single-family dwellings.

PROJECT DESCRIPTION. The applicant is proposing to construct a roof deck above the existing attached garage. To access the deck by way of a new entrance on the east side of the dwelling, a staircase would be constructed on the north side of a garage.

Adjacent to Franklin Avenue, a 20 foot front yard is required. A deck is a permitted obstruction provided it does not exceed 50 square feet and does not extend more than 4 feet into the required yard. Stairs and landings are also permitted obstructions provided stairs do not exceed eight feet in width, entrance landings do not exceed 36 square feet in area, and both are not more than the height of the level of the first floor or four feet above the average level of the adjoining natural grade, whichever is less. The stairs and landing would comply with the size requirements, but the stairs would extend above the level of the first floor and would be more than 4 feet above the natural grade. The proposed deck is 400 square feet in area and would extend more than 4 feet into the required yard. It would be setback 0 feet from the front lot line. A variance is required to reduce the front yard requirement.

The stair and landing would be located over an area that is currently pervious. In the R2 district, the maximum allowed amount of lot coverage is 45 percent and the maximum allowed amount of impervious surface coverage is 60 percent. The existing lot coverage is 63.3 percent. The addition of the stair and landing would increase the lot coverage to 64.6 percent. The existing impervious surface coverage is 79.3 percent. The proposed amount of impervious surface is 80.7 percent. Please note that these calculations only include the structures and hard cover within the lot line boundaries. Variances are required to increase the maximum lot coverage and maximum amount of impervious surface.

As shown on the survey, the existing garage extends into the public right-of-way. An encroachment permit was not obtained when the garage was constructed in 2006. The proposed deck would also extend into the public right-of-way. If the variances are approved, the applicant will need to obtain an encroachment permit for both the garage and the roof deck from the Public Works Department Right-of-Way Office.

RELATED APPROVALS.

Planning Case #	Application	Description	Action
<u>BZZ-3083</u>	Variances	Attached garage addition	<u>Approved on 7/20/06</u>

PUBLIC COMMENTS. As of the writing of this report, staff has not received any correspondence from the neighborhood group. Any correspondence received prior to the public meeting will be forwarded on to the Board of Adjustment for consideration.

ANALYSIS

YARD VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum front yard requirement adjacent to Franklin Avenue West from 20 feet to 0 feet to allow a roof deck and stairs based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property. The subject property is much smaller than an average-sized residential lot in Minneapolis. The footprint of the dwelling occupies over 60 percent of the site. The required yards cover almost all of the remaining lot area. With these existing conditions, there are limited opportunities for outdoor living space. The minimum front yard requirement is 20 feet adjacent to Franklin Avenue. The applicant is proposing to construct a roof deck over the existing attached garage. The existing garage extends 21 feet from the front of the dwelling and is 0 feet from the front lot line. The first floor elevation is lower than roof of the deck. The stairs would extend approximately five feet above the adjacent grade in order to connect the first floor of the dwelling to the roof deck.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The new deck would be located above the roof of the existing garage. It would be located 10 feet from the adjacent residence to the east, which also has an attached garage with a roof deck above. It would also be over 70 feet from the adjacent residence to the west. The stairs on the north side of the garage would extend approximately five feet above the adjacent grade in order to connect the first floor of the dwelling to the roof deck. A new decorative metal railing would be installed around the perimeter of the garage roof. The proposal would have minimal impacts on adjacent properties access to light, air and open space. To ensure the openness of the railing design, CPED staff is recommending that the railings be less than 50 percent opaque. With the adoption of the recommended condition of approval, the request is reasonable and consistent with the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity. The new deck would be located above the roof of the existing garage. It would be located 10 feet from the adjacent residence to the east, which also has an attached garage with a roof deck above. It would also be over 70 feet from the adjacent residence to the west. The applicant has provided photos of other similar roof decks located within close proximity to the subject property. The stairs would extend five feet above the adjacent grade in order to connect the first floor to the roof deck. The stairs would be set back four feet from the interior side lot line. Also, the design of the deck and stairs is compatible with the existing structure. The proposed variance will not be detrimental to the health, safety or welfare of the

public or those utilizing the property provided the proposed addition is constructed to current building codes.

Additional Standards for Variances within the SH Shoreland Overlay District

In addition, the Planning Commission shall consider, but not be limited to, the following factors when considering conditional use permit or variance requests within the SH Shoreland Overlay District:

1. *The prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

Because the deck would be located on the roof of the existing garage, minimal site excavation is necessary to allow the project. Only a footing is needed for the proposed stairs.

2. *Limiting the visibility of structures and other development from protected waters.*

The site is located two blocks from Lake of the Isles. The area between the lake and the subject property is developed with single-family dwellings and park land. The proposed deck and stairs would not be visible due to the existing development, topography and vegetation.

3. *The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

IMPERVIOUS SURFACE VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the maximum lot coverage and maximum amount of impervious surface by 30 square feet to allow the stair/landing addition based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property that were not created by the applicant. The site is a smaller than average-sized residential lot in Minneapolis. The existing lot coverage is 63.3 percent and the existing impervious surface coverage is 79.3 percent. With these existing conditions, there are limited opportunities for outdoor living space. The applicant is proposing to construct a roof deck above the front-facing attached garage. The first floor elevation of the dwelling is approximately 2.5 feet lower than the roof of the garage. To allow access to the roof of the garage, the applicant is proposing to add a door on the east side of the dwelling that would have access to a new staircase and landing. The addition of the stairs and landing would increase the lot coverage and amount of impervious surface by 30 square feet or to 64.6 percent and 80.7 percent respectively.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The maximum lot coverage requirements are established to preserve open space in residential districts. The maximum impervious surface requirements are established to provide benefits from landscaping including buffers between uses, on-site retention of stormwater, and preserving the residential character of an area. The applicant is requesting a variance to increase the maximum allowed lot coverage and impervious surface coverage to allow stairs and a landing that would provide access to the proposed roof deck. The proposed increase is only 30 square feet in area.

Given the small size of the lot, the request is reasonable and consistent with the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity. The applicant is requesting a variance to increase the maximum allowed lot coverage and impervious surface coverage to allow stairs and a landing that would provide access to the proposed roof deck. The proposed increase is only 30 square feet in area. Adding stairs and a landing would not result in the appearance of increased building bulk. With the small footprint of the addition, stormwater runoff would not be an issue. If granted, the proposed variance will not be detrimental to the health, safety or welfare of the public or those utilizing the property provided the proposed addition is constructed to current building codes.

Additional Standards for Variances within the SH Shoreland Overlay District

In addition, the Planning Commission shall consider, but not be limited to, the following factors when considering conditional use permit or variance requests within the SH Shoreland Overlay District:

1. *The prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

Because the deck would be located on the roof of the existing garage, minimal site excavation is necessary to allow the project. Only a footing is needed for the proposed stairs. Once construction is complete, landscaping would remain around the stairs and landing.

2. *Limiting the visibility of structures and other development from protected waters.*

The site is located two blocks from Lake of the Isles. The area between the lake and the subject property is developed with single-family dwellings and park land. The proposed deck and stairs would not be visible due to the existing development, topography and vegetation.

3. *The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Zoning Board of Adjustment adopt staff findings for the applications by Andrew Carlson and Lisa Hollingsworth for the property located at 1610 West Franklin Avenue:

A. Variance to reduce the minimum front yard requirement.

Recommended motion: **Approve** the application for a variance to reduce the minimum front yard requirement adjacent to Franklin Avenue West from 20 feet to 0 feet to allow a roof deck and stairs, subject to the following conditions:

1. Railings shall be less than 50 percent opaque.
2. Approval of the final site, landscaping, and elevation plans by the Department of Community Planning and Economic Development.
3. All site improvements shall be completed by July 14, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

B. Variance to increase maximum lot coverage and allowed impervious surface.

Recommended motion: **Approve** the variance to increase the maximum lot coverage to 64.6 percent and to increase the maximum amount of impervious surface to 80.7 percent to allow a stair/landing addition, subject to the following conditions:

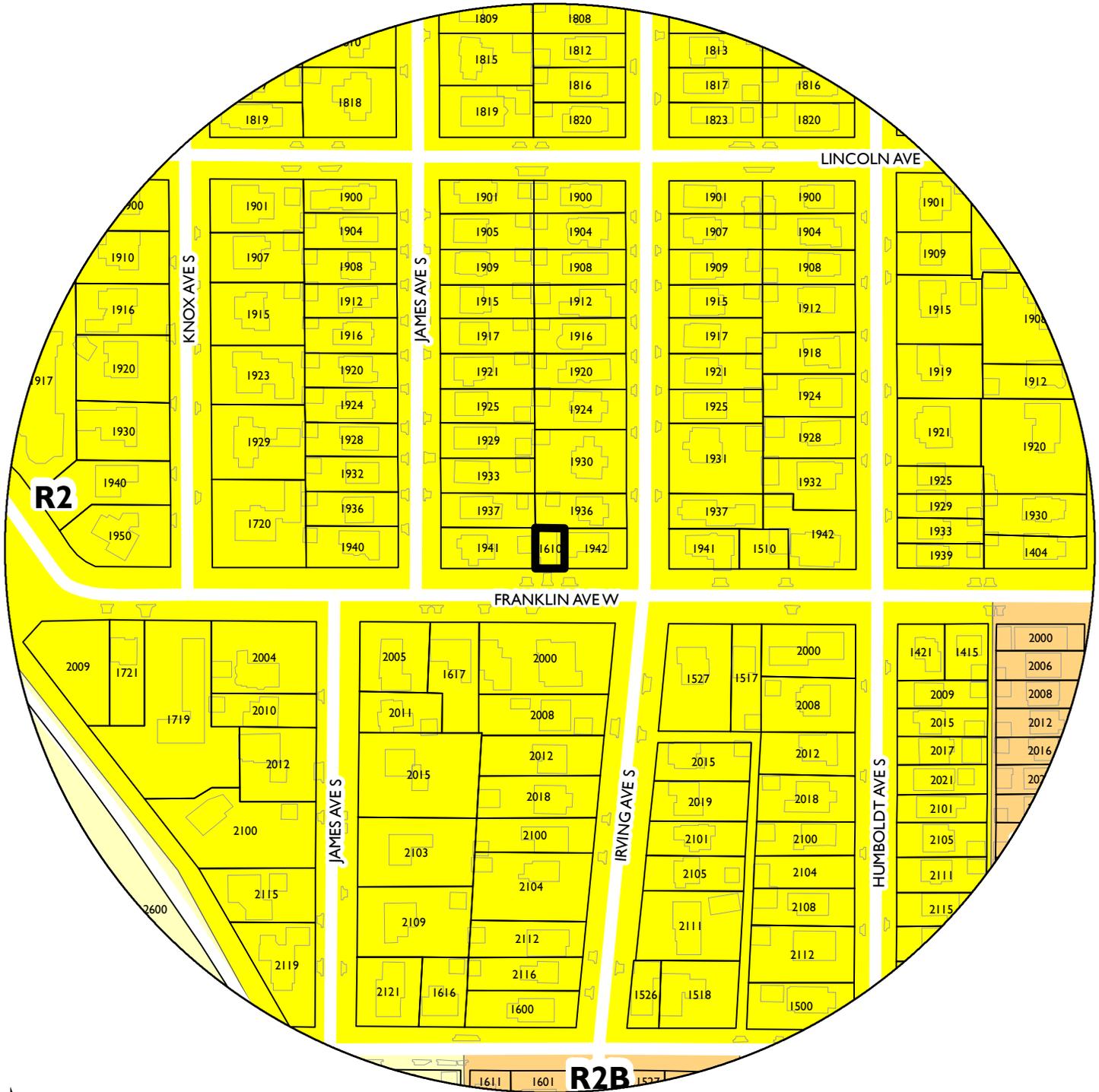
1. Approval of the final site, elevation and floor plans by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by July 14, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

1. Zoning map
2. Written description and findings submitted by applicant
3. Site survey
4. Site plan
5. Plans
6. Elevations
7. Photos

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

1610 West Franklin Avenue

FILE NUMBER

BZZ-7768

APPLICATION FOR VARIANCE FOR GARAGE PATIO PROJECT
AMENDED 6/21/16

ANDREW CARLSON and LISA HOLLINGSWORTH
1610 W. Franklin Avenue, Minneapolis, MN 55405
612-590-0202, 612-590-0931, acarlson@briggs.com, lisa.hollingsworth@gmail.com

I. STATEMENT OF PROPOSED USE AND DESCRIPTION

The homeowners want to build a deck on top of the existing garage. The house has very little outdoor space, and the deck will provide a new outdoor living area. Because the deck will be on top of the existing garage, it will not have any significant negative effect on neighbors, public spaces such as the sidewalk, or the neighborhood. As part of the same project, the homeowners plan to rebuild the steps to the front door, to make them match.

Existing Structure

The property, at 1610 W. Franklin Avenue, is on a very small lot on the north side of Franklin Avenue, between Irving Avenue and James Avenue, in the Lowry Hill neighborhood. At approximately 2,600 square feet (finished area), the house is fairly small compared to most of the neighboring houses. In 2007 or so, the prior owner substantially remodeled the entire house, including building a two-car garage on the front (south side) of the house very near the sidewalk. The current homeowners' understanding is that the garage and related work required a variance, which was granted. The garage is fairly close to the sidewalk, but it does not impede foot traffic. The garage and related work increased the living space and increased the value of the house. Photos showing the house are below.

View from southwest



View from southeast





As shown in the next photo, the wooden steps up to the front door, and some of the woodwork around the door, are weathered and need to be updated.



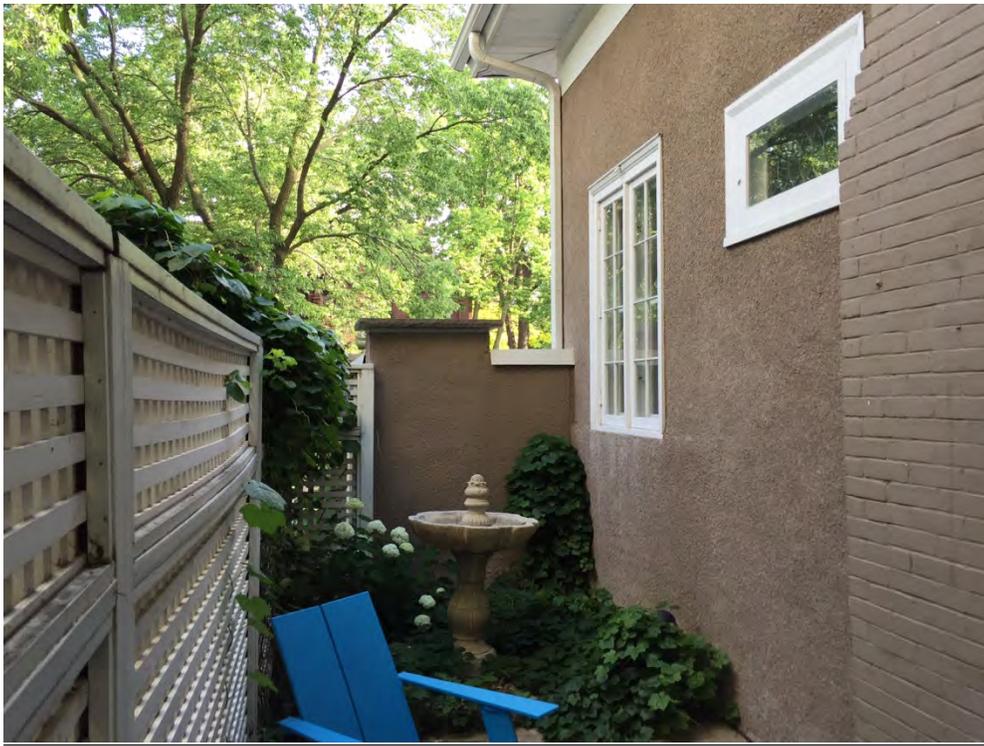
Description of Project

The homeowners plan to build a deck on the garage. The access to the deck will be from a new door, to be built on the east side of the house where there is currently a window. The door will open onto a small landing, with a few steps down to the left to the rest of the backyard, and a few steps up to the right to the new deck. The landing and stairs will have a steel frame. The deck itself will be the same footprint as the garage, approximately 20' x 20'. The deck will have a custom cast iron railing over a capstone along the edge of the garage. The decking will be made of a fairly new weatherproof tile product called MBrico (<http://www.mbricotiledecks.com/>). To support the weight of the deck, steel beams will be installed in the roof of the garage.

In addition, the existing wooden steps to the front door will be replaced by concrete steps, which will have an iron railing to coordinate with the deck. The woodwork and front door will be repaired and painted. There will also be a new garage door, and new exterior lights.

The accompanying plans show the project in detail.

A photo showing the location of the stairs to the deck is set forth below.



The window seen above will be converted to a door. That door will open onto a landing located roughly where the fountain is now. From the landing there will be three or four steps up to the deck level on top of the garage, and three or four steps down to the ground level. The corner of the garage shown in the photo will be lowered to accommodate the rise of the stairs, as shown in the plans.

II. VARIANCE—REQUIRED FINDINGS

The property is in an area zoned R-2. The homeowners understand that the City anticipates that the project will require a variance from the R-2 yard requirement (20 feet of front yard), and from the R-2 lot coverage requirement. The homeowners have learned that the project will also require a variance relating to the stairs, because they would extend more than four feet in height above grade.

- (1) Practical difficulties exist in complying with these requirements because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

The house was constructed in approximately 1905. The garage was added onto the house by the prior owner in approximately 2007.

The house is situated on a lot with minimal exterior yard. On each side of the home and in the rear of the home, there is very little space, roughly 5 feet on the west, 2.5 feet on the north, and roughly 8 feet on the east (see survey). This lack of outdoor space is the reason that the homeowners would like to add outdoor living space on top of the garage. There is no way to add outdoor living space to the property without building a deck on top of the garage. When the garage was added, it required a variance, which was granted. The planned outdoor living space will be on top of the garage, and so is within the footprint of the already-granted variance for the garage.

It will be necessary to build a staircase from ground level in the side yard to the level of the deck on the top of the garage, in order to have a means to access the deck. The staircase will not be visible from the street, and will be minimal in size, as shown in the plans.

The current homeowners did not create these unique circumstances. The current homeowners' understanding is that the relationship between the house and the very small lot has existed since the house was built. The height of the garage as compared to ground level at the side of the house is a circumstance unique to the property, and there is no practical way to build the project without these stairs. The decision to add outdoor living space is not based on economic considerations. The homeowners have no intention to sell the property at this time.

- (2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

An attractive, well-designed rooftop deck is a reasonable use for the property and the neighborhood. The use of stairs, and the specific design of the stairs, is a reasonable way

to access the deck and will not be out of keeping with the spirit of the ordinance and the comprehensive plan.

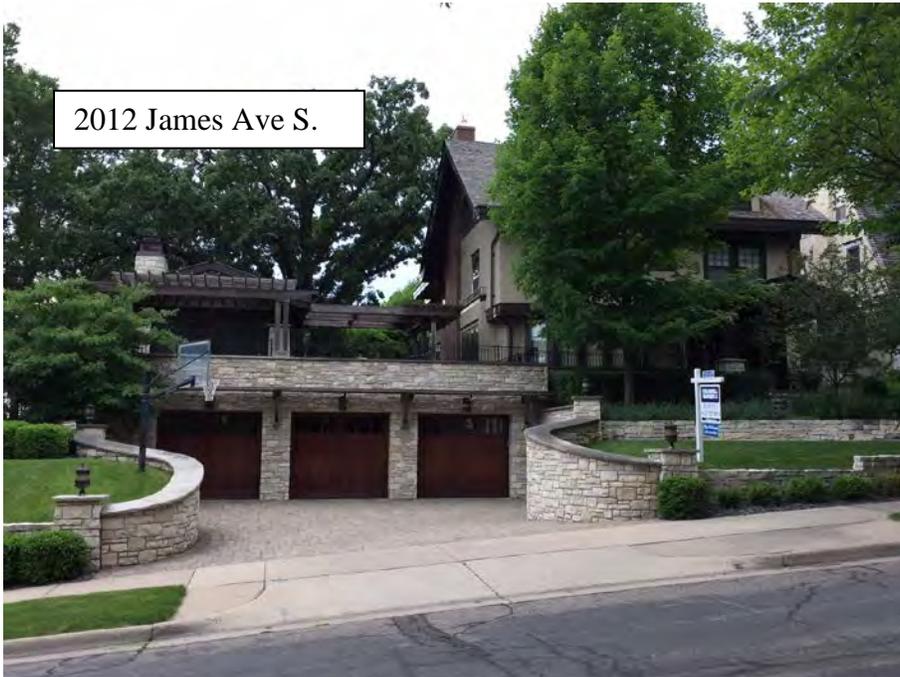
- (3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

Many of the homes in the neighborhood share a common problem of small lots and/or limited outdoor living space. As a result, garage rooftop decks or patios are a common feature of the neighborhood. There are several within a block or two of the property, as follows.





2012 Irving Ave S.



2012 James Ave S.



Thus, the proposed variance will not alter the character of the locality. This variance will have no impact on the health, safety, or welfare of the general public. Also, it will have no effect on the use of the sidewalk in front of the house. Just as in the photos above, the access stairs to the deck will not be on the front of the house. The project# will not be detrimental to the health, safety or welfare of those utilizing the property or nearby properties.

III. SHORELAND OVERLAY DISTRICT OR MISSISSIPPI RIVER CRITICAL OVERLAY DISTRICT VARIANCE

The homeowners understand that the property is within the Shoreland Overlay District around Lake of the Isles.

- (1) The prevention of soil erosion or other possible pollution of public waters, both during and after construction.

This property is far enough away from any protected waters (roughly two blocks from the north tip of Lake of the Isles) that no soil erosion or other possible pollution of public waters will occur either during or after construction. Also, the work contemplated will involve only a minimal disturbance of soils – just one small footing (for the stairs to the deck from the backyard) will be poured.

- (2) Limiting the visibility of structures and other development from protected waters.

No part of the house is visible from protected waters, or indeed from any waters at all.
This deck structure will not be visible from protected waters.

- (3) The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.

This deck will not generate the use of any watercraft.

SITE ADDRESS: 1610 FRANKLIN AVE. W
MINNEAPOLIS, MN 55405

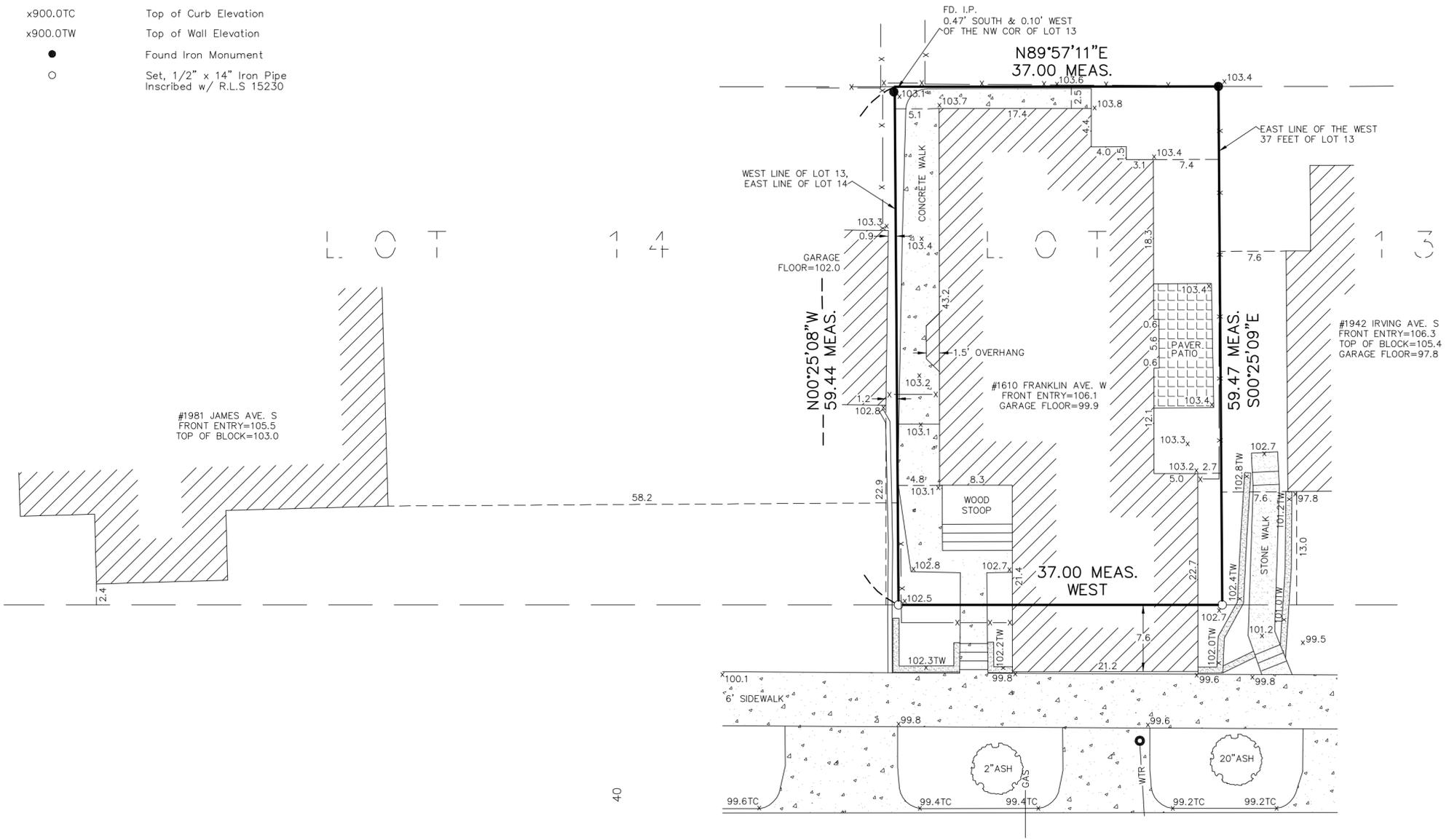
EXISTING CONDITION SURVEY FOR: ANDREW CARLSON & LISA HOLLINGSWORTH



SCALE: 1 INCH = 10 FEET

Legend

- x — x — Fence
- WTR — Water Main
- GAS — Underground Gas
- Water Shutoff
- ▣ Concrete
- ▬ Concrete Curb
- ▬ Stone Retaining Wall
- x900.0 Existing Elevation
- x900.0TC Top of Curb Elevation
- x900.0TW Top of Wall Elevation
- Found Iron Monument
- Set, 1/2" x 14" Iron Pipe
Inscribed w/ R.L.S 15230



EXISTING AREA CALCULATION:

Lot Area = 2,200 SF
 IMPERVIOUS SURFACE:
 House = 1,332 SF
 Wood Stoop = 60 SF
 Paver Patio = 52 SF
 Concrete Walk = 301 SF

Total = 1,745 SF
 = 79.3%

NOTE:

House area does not include portion south of property line. Actual house area = 1,494 SF.

PROPERTY DESCRIPTION:

The West 37 feet of Lot 13, Block 2,
 GREEN'S THIRD ADDITION TO MINNEAPOLIS,
 Hennepin County, Minnesota.

NOTES:

- All existing building dimensions are measured to the finished siding and not the building foundation.
- No Search Was Made For Any Easements.
- The location of all utilities shown are from either observed evidence in the field and/or from plans furnished by the utility companies and are approximate. Utility companies should be notified for exact location before doing any excavation.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

W. BROWN LAND SURVEYING, INC.

Woodrow A. Brown
 Woodrow A. Brown, R.L.S. MN REG 15230

Dated: 05-25-2016

FRANKLIN AVENUE WEST

W. BROWN LAND SURVEYING, INC.
 8030 Cedar Avenue So., Suite 228.
 Bloomington, MN 55425
 Bus: (952) 854-4055
 Fax: (952) 854-4268

Drawing: 98-16	Date: 05-25-2016 Scale: 1 Inch = 10 Feet	1 of 1
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CARLSON/ HOLLINGSWORTH RESIDENCE

1610 W. Franklin Ave.
Minneapolis, MN 55405

Owners: Andrew Carlson, Lisa Hollingsworth
Designer: TF, TM, JL
Contractor: Bluestem Construction

Drawing List

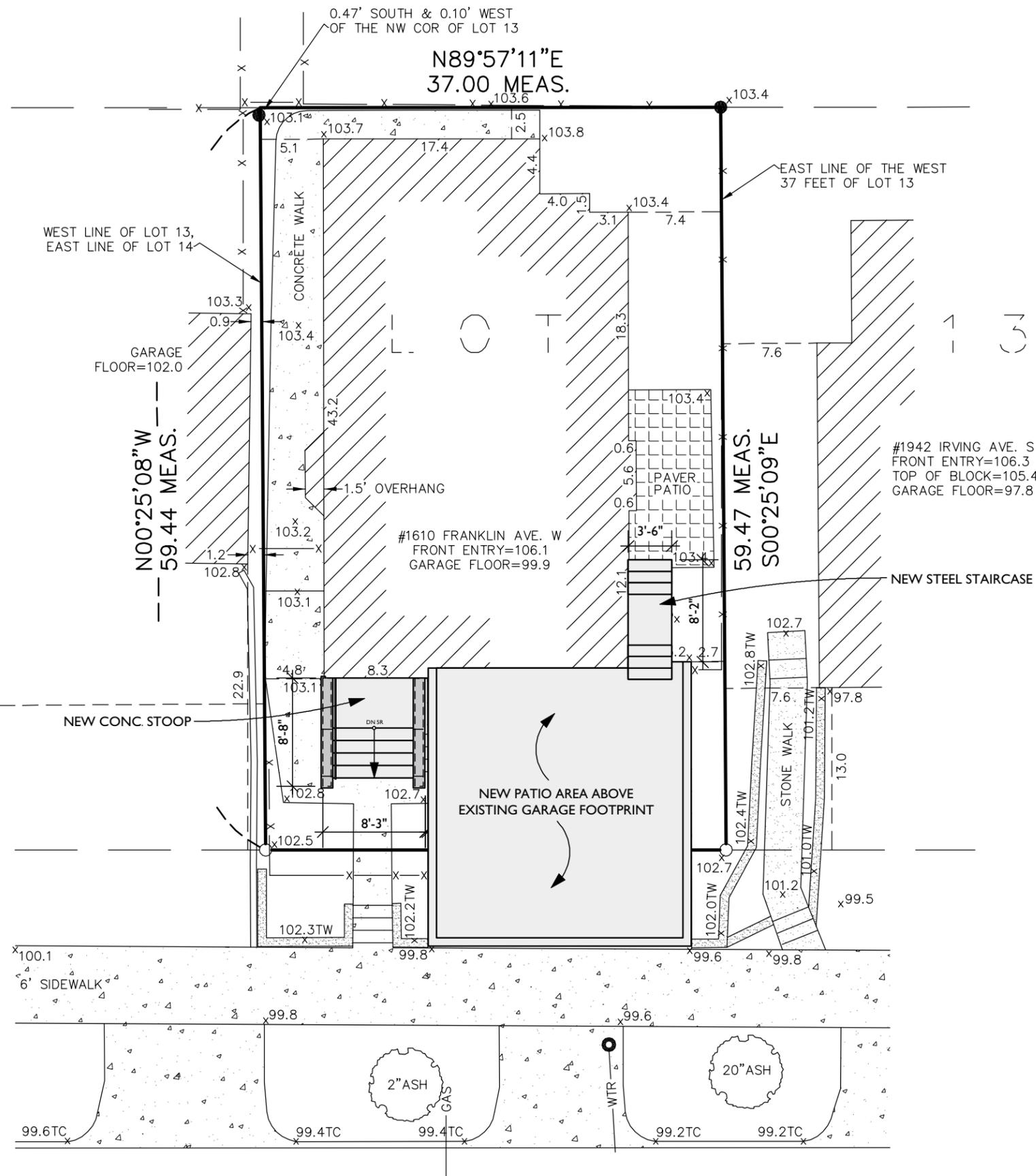
S-1	Site Plan
A-0	Foundation Plan
A-1	Proposed Floor Plan
A-2.0	West Elevation
A-2.1	South Elevation
A-2.2	East Elevation
A-2.3	Isometric Views
A-3	Section Views
A-4	Detail Sheet

Issued:
June 8, 2016

Project Engineer:
Dave Wagner
A.M. Structural Engineering
(715) 426-4930
112 East Maple Street
River Falls WI 54022



6542 West Lake Street, St. Louis Park MN. 952.926.0164
MN Lic #BC225441

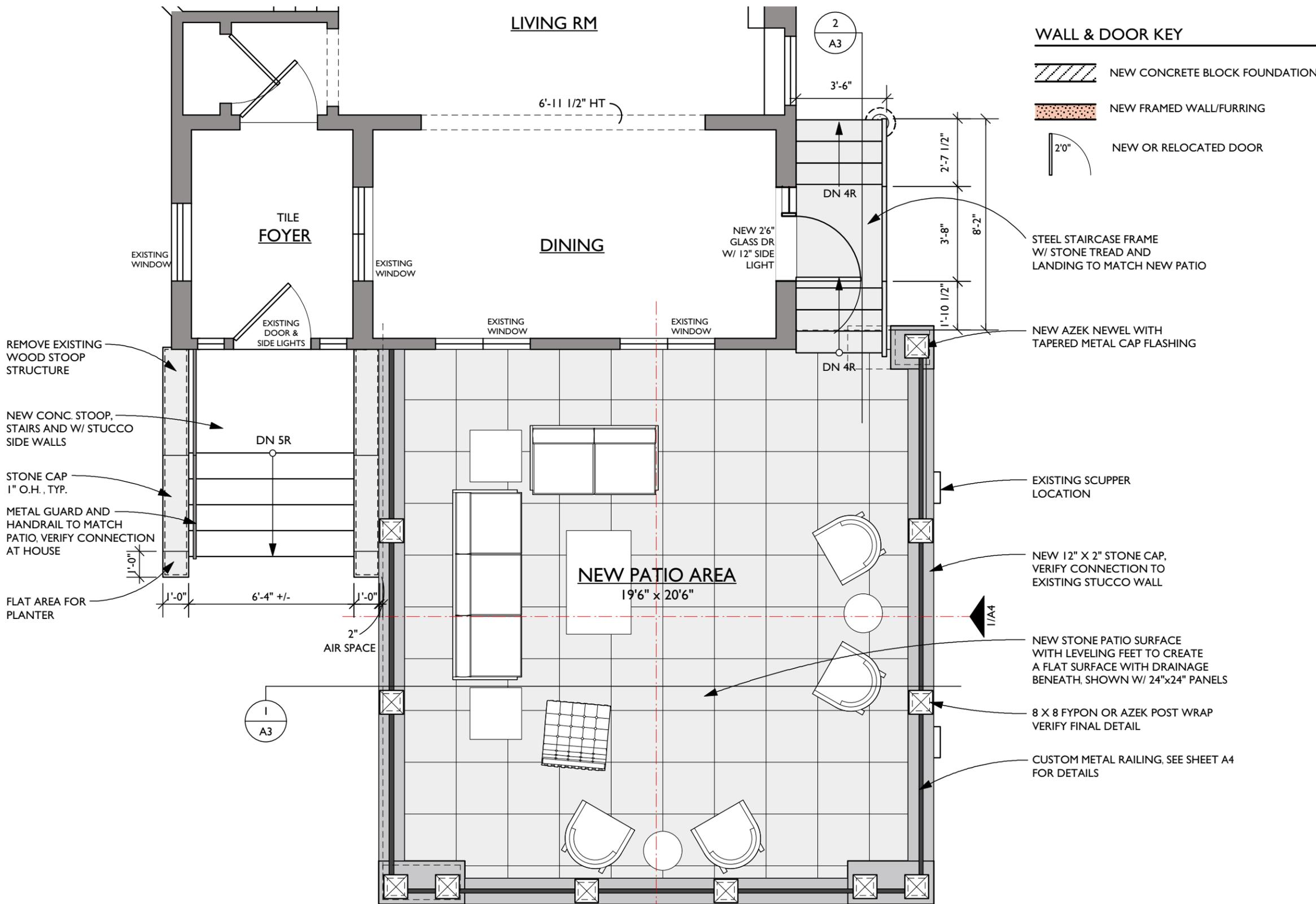


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 Bluestem CONSTRUCTION		
Project: C/H Residence		
Owner: Andrew Carlson & Lisa Hollingsworth		
Project Address: 1610 W. Franklin Ave Minneapolis, MN 55405		
Design Firm: Bluestem Construction 6542 West Lake Street Saint Louis Park, MN 55426		
Designer: JL, TF, TM	Interior: Interiors	
No.	Date	Issue Notes
Drawing Title: Site Plan		
Project Manager: T. Ferraro	Project ID:	
Drawn By: JALIN, TM	Scale: Not to Scale	
Reviewed by:	Drawing No. S-1	
Date: April 25, 2016		
CAD File Name:		
_____ of _____ 6		



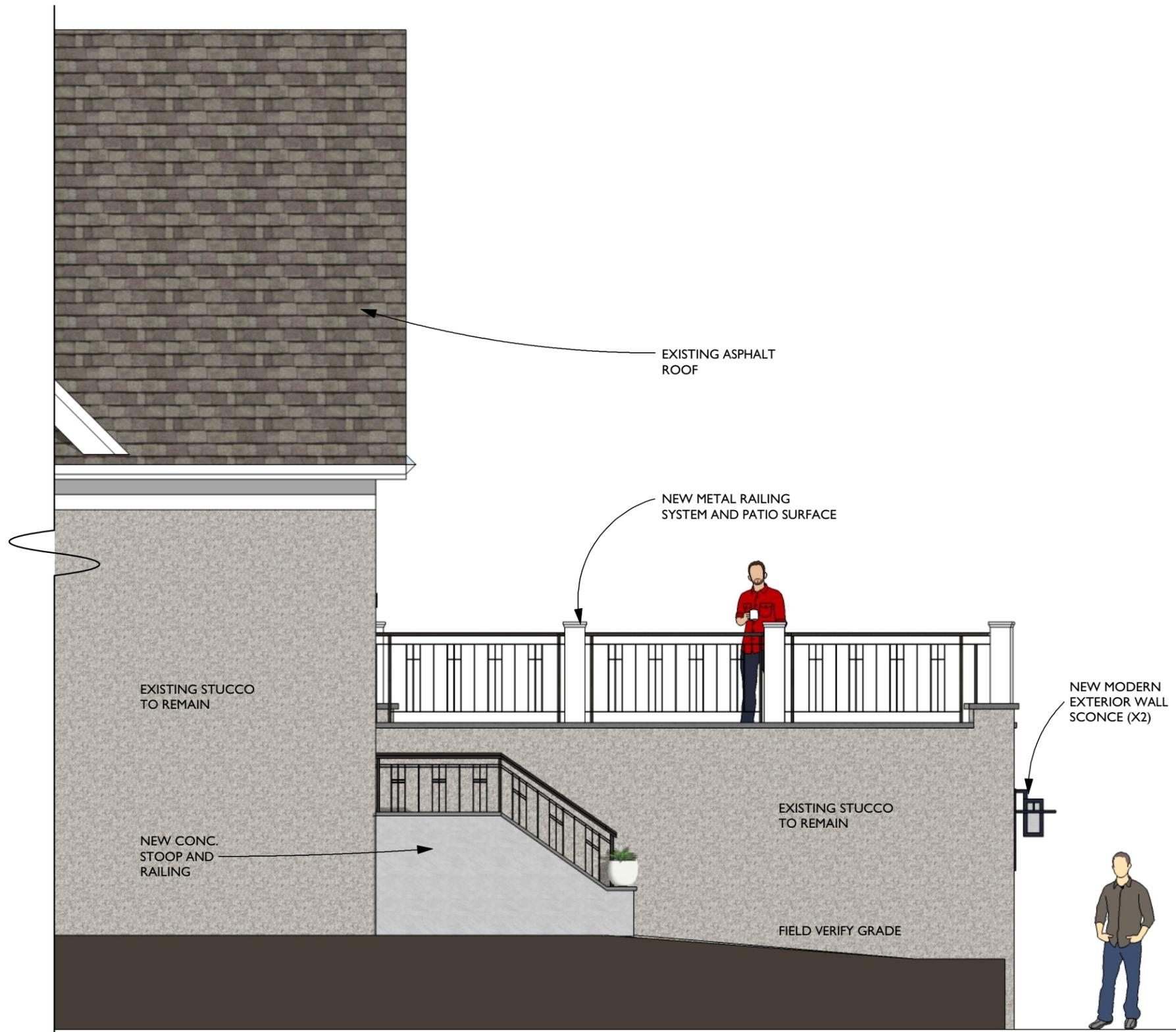
WALL & DOOR KEY

- NEW CONCRETE BLOCK FOUNDATION
- NEW FRAMED WALL/FURRING
- NEW OR RELOCATED DOOR



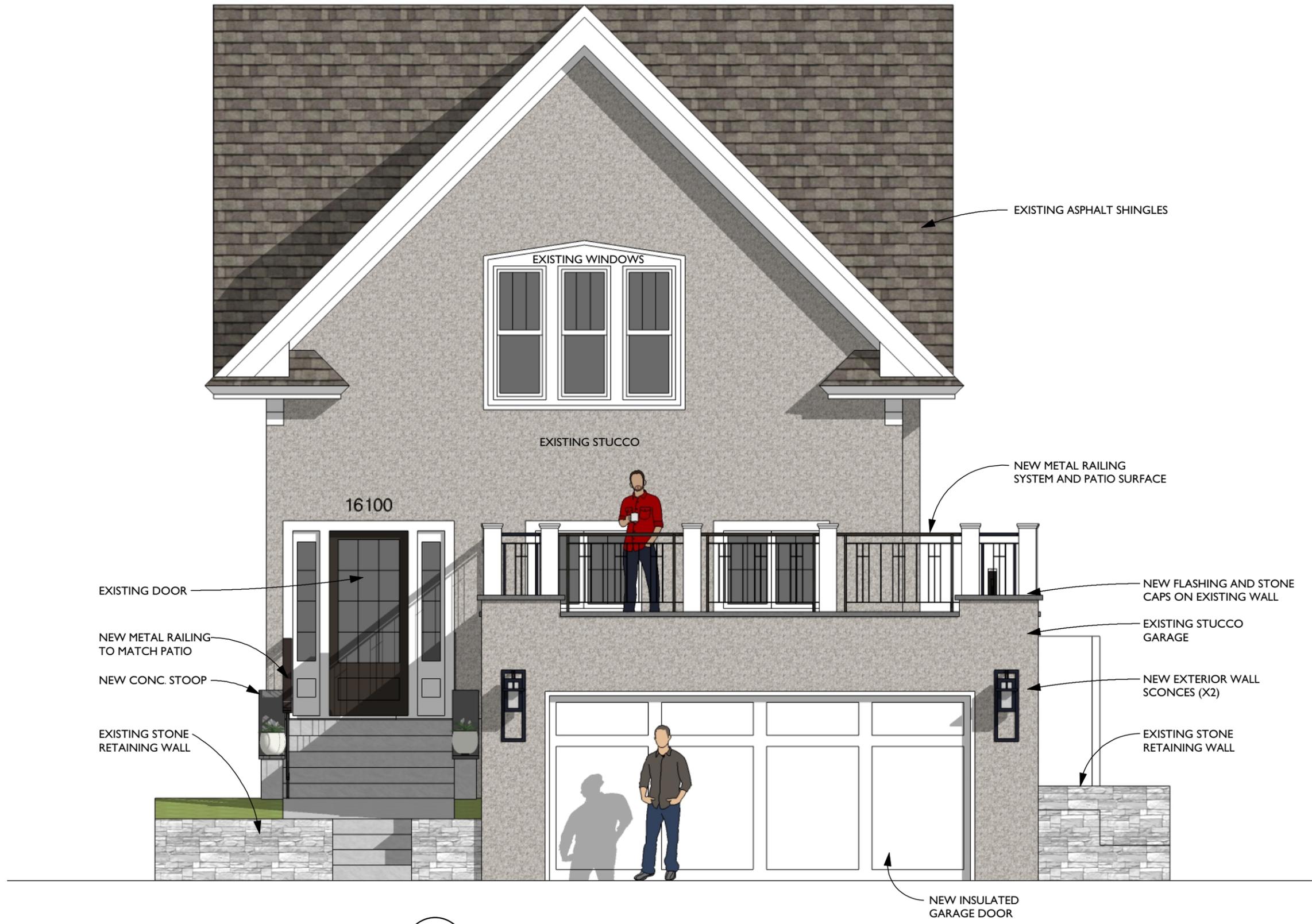
PROPOSED FLOOR PLAN
 1/4" = 1'0"

Project: C/H Residence	
Owner: Andrew Carlson & Lisa Hollingsworth	
Project Address: 1610 W. Franklin Ave Minneapolis, MN 55405	
Design Firm: Bluestem Construction 6542 West Lake Street Saint Louis Park, MN 55426	
Designer: J.L., T.F., T.M.	Interior: Interiors
No.	Date
Issue Notes	
Drawing Title: Proposed Floor Plan	
Project Manager: T. Ferraro	Project ID:
Drawn By: JALIN, TM	Scale: 1/4" = 1'-0"
Reviewed by:	Drawing No.:
Date: April 25, 2016	A-1
CAD File Name:	of 6



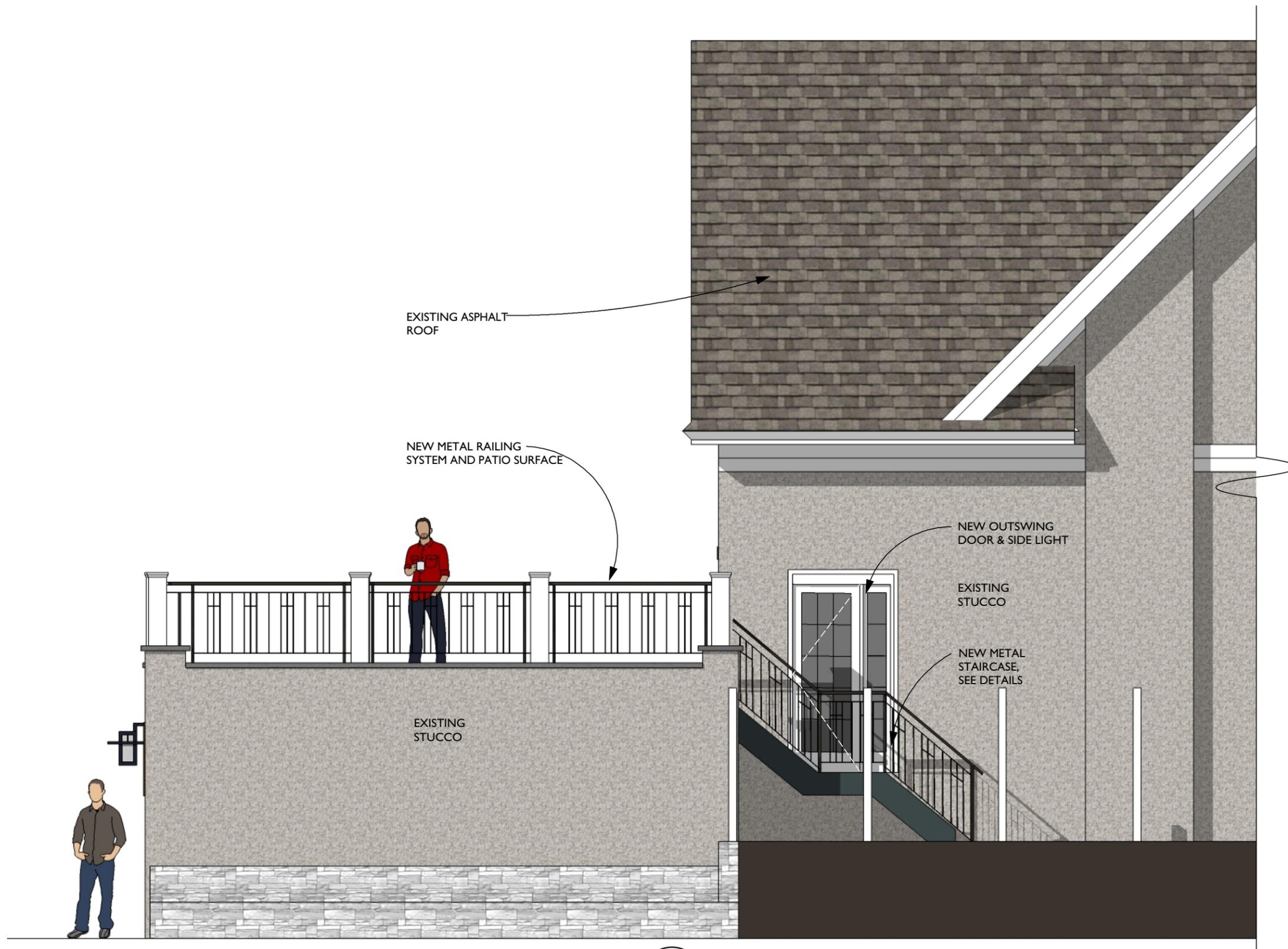
1 WEST ELEVATION
A2.0 1/4" = 1'-0"

Project: C/H Residence		
Client: Andrew Carlson & Lisa Hollingsworth		
Project Address: 1610 W. Franklin Ave Minneapolis, MN 55405		
Design Firm: Bluestem Construction 6542 West Lake Street Saint Louis Park, MN 55426		
Designer: JL, TF, TM	Interior: Interiors	
No.	Date	Issue Notes
Drawing Title: West Elevation		
Project Manager: T. Ferraro	Project ID:	
Drawn By: JALIN, TM	Scale: 1/4" = 1'-0"	
Reviewed by:	Drawing No. A-2.0	
Date: April 25, 2016	of	
CAD File Name:	6	



1 SOUTH ELEVATION
 A2.1 1/4" = 1'-0"

 Bluestem CONSTRUCTION		
Project: C/H Residence		
Owner: Andrew Carlson & Lisa Hollingsworth		
Project Address: 1610 W. Franklin Ave Minneapolis, MN 55405		
Design Firm: Bluestem Construction 6542 West Lake Street Saint Louis Park, MN 55426		
Designer: JL, TF, TM	Interior: Interiors	
No.	Date	Issue Notes
Drawing Title: South Elevation		
Project Manager: T. Ferraro	Project ID:	
Drawn By: JALIN, TM	Scale: 1/4" = 1'-0"	
Reviewed by:	Drawing No. A-2.1	
Date: April 25, 2016	of	
CAD File Name:	6	



EXISTING ASPHALT ROOF

NEW METAL RAILING SYSTEM AND PATIO SURFACE

EXISTING STUCCO

NEW OUTSWING DOOR & SIDE LIGHT

EXISTING STUCCO

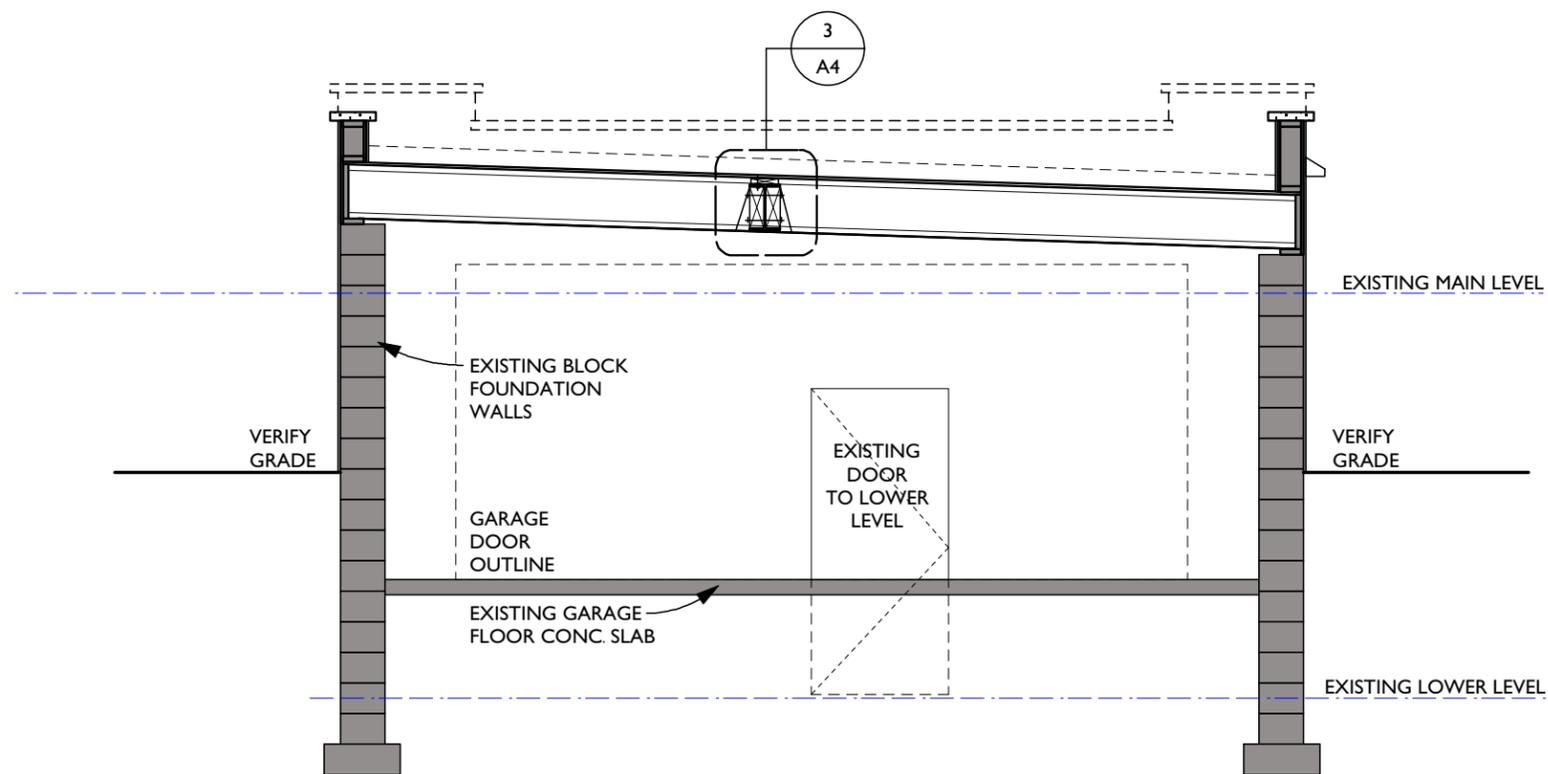
NEW METAL STAIRCASE, SEE DETAILS

1 EAST ELEVATION
A2.2 1/4" = 1'-0"

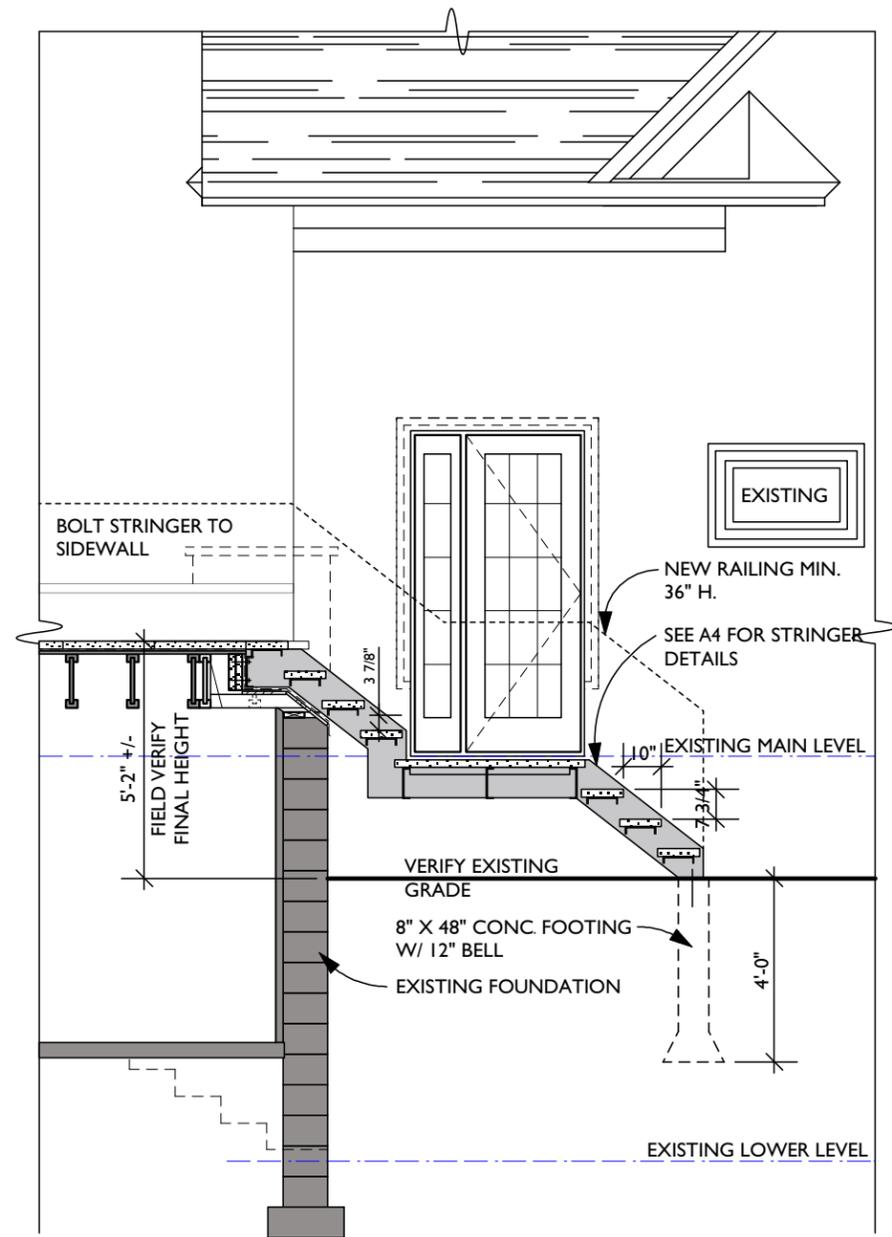
 Bluestem CONSTRUCTION		
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Design Firm: Bluestem Construction 6542 West Lake Street Saint Louis Park, MN 55426		
Designer: JL, TF, TM	Interior: Interiors	
No.	Date	Issue Notes
Drawing Title: East Elevation		
Project Manager: T. Ferraro	Project ID:	
Drawn By: JALIN, TM	Scale: 1/4" = 1'-0"	
Reviewed by:	Drawing No. A-2.2	
Date: April 25, 2016	of	
CAD File Name:	6	



 Bluestem CONSTRUCTION	
Project: C/H Residence	
Client: Andrew Carlson & Lisa Hollingsworth	
Project Address: 1610 W. Franklin Ave Minneapolis, MN 55405	
Design Firm: Bluestem Construction 6542 West Lake Street Saint Louis Park, MN 55426	
Designer: J.L., T.F., T.M.	Interior: Interiors
No.	Date
Issue Notes	
Drawing Title: Isometric Views	
Project Manager: T. Ferraro	Project ID: _____
Drawn By: JALIN, TM	Scale: Not to Scale
Reviewed by: _____	Drawing No. A-2.3
Date: April 25, 2016	_____ of _____
CAD File Name: _____	6



1 GARAGE SECTION
A3 1/4"=1'0"



2 STAIR SECTION
A3 1/4"=1'0"

Project: C/H Residence	
Owner: Andrew Carlson & Lisa Hollingsworth	
Project Address: 1610 W. Franklin Ave Minneapolis, MN 55405	
Design Firm: Bluestem Construction 6542 West Lake Street Saint Louis Park, MN 55426	
Designer: J.L., T.F., T.M.	Interior: Interiors
No.	Date
Issue Notes	
Drawing Title: Section Views	
Project Manager: T. Ferraro	Project ID:
Drawn By: JALIN, TM	Scale: 1/4" = 1' 0"
Reviewed by:	Drawing No.:
Date: April 25, 2016	A-3 of 6
CAD File Name:	

