



CPED STAFF REPORT

Prepared for the Zoning Board of Adjustment
 BOA Agenda Item #3
 August 11, 2016
 BZZ-7810

LAND USE APPLICATION SUMMARY

Property Location: 2000 Cedar Lake Parkway
Project Name: 2000 Cedar Lake Parkway Additions
Prepared By: [Janelle Widmeier](#), Senior City Planner, (612) 673-3156
Applicant: Jeffrey and Brenda Laux
Project Contact: Jeffrey Laux
Request: Additions to a single-family dwelling.
Required Applications:

Variance	To reduce the minimum front yard requirement adjacent to Cedar Lake Parkway to allow a building addition, a roof deck and a wall.
Variance	To allow development on a steep slope in the SH Shoreland Overlay District to allow building additions, retaining walls and at-grade improvements.

SITE DATA

Existing Zoning	RI Single-Family District SH Shoreland Overlay District
Lot Area	9,899 square feet
Ward(s)	7
Neighborhood(s)	Bryn Mawr Neighborhood Association
Designated Future Land Use	Urban Neighborhood
Land Use Features	Not applicable.
Small Area Plan(s)	Not applicable.

Date Application Deemed Complete	July 21, 2016	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	September 19, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The existing use is a single-family dwelling. It was permitted for construction in 1954. The existing dwelling is considered a one-story building because more than 50 percent of the perimeter of the lower level is located more than 6 feet below-grade. The site is a corner lot. The front lot line is adjacent to Cedar Lake Parkway and the corner side lot line is adjacent to Franklin Avenue West. The site is not adjacent to a public alley.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding properties are predominately single-family dwellings. Cedar Lake is located across the street to the east.

PROJECT DESCRIPTION. The applicant is proposing to expand the single-family dwelling located at the property of 2000 Cedar Lake Parkway. A two-level addition is proposed to the rear of the dwelling with a new two-stall tuck under garage with access to Franklin Avenue. The existing tuck-under garage would be converted to habitable space and the curb cut and driveway would be shifted to align with the new garage entrance. The rear addition would also include a vestibule for roof-top access to a proposed roof deck that would extend over the roof of the existing dwelling (the roof top vestibule is only a second story addition because more than 50 percent of the perimeter of the lower level would be located more than 6 feet below-grade even with the construction of the rear addition). On the south side of the dwelling, a one-story, screen porch addition is proposed. A courtyard and patio are proposed on the sides of the porch addition. A retaining wall is proposed to be reconstructed adjacent to the patio and an existing deck. A series of retaining walls were also constructed on the south side of the property, which require approval.

The entire site is on a steep slope (an average 18 percent slope or greater measured over a horizontal distance of 50 feet or more, with a height of 10 feet or greater). In the SH Overlay District, a variance is required to allow development on a steep slope or within 40 feet of a steep slope. Development is defined as the erection, construction, reconstruction, relocation or enlargement of any structure. Structures include, but are not limited to, buildings, walls, canopies, decks, patios, and any objects or things permanently attached to the structure.

The roof deck, screen porch and adjacent retaining wall would also encroach in the required front yard. In the RI district, the minimum front yard requirement is 25 feet or the established setback created by a line joining those parts of closest principal buildings originally designed for residential purposes nearest to the front lot line, whichever is greater. The adjacent residential structure to the south is set back 60 feet from the front lot line. Therefore the minimum front yard requirement is 60 feet. Approximately 75 percent (156 square feet) of the screen porch and one-third (161 square feet) of the roof deck would extend into the required front yard. The proposed wall would be approximately 7 feet tall and 15 feet long. Most of the wall would retain the existing grade, but part of the wall would extend more than 3 feet above grade. A variance is required to reduce the minimum front yard requirement to allow these obstructions.

Please note that the applicant will need to work with the Public Works Department for the proposed curb cut alterations.

PUBLIC COMMENTS. As of the writing of this report, staff has not received any correspondence from the neighborhood group. Any correspondence received prior to the public meeting will be forwarded on to the Board of Adjustment for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum front yard requirement adjacent to Cedar Lake Parkway to allow a building addition, a roof deck and a wall, based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property. The minimum front yard requirement is 60 feet adjacent to Cedar Lake Parkway created by the established setback of the property to the south. The required front yard covers nearly 40 percent of the property. The existing dwelling is set back 40 to 46 feet from the front lot line. The site is located entirely on a steep slope. However, the porch would be located on an area of the site that is relatively flat and would not require significant excavation or disturbance to the slope. Likewise, a roof deck provides additional outdoor living space without impacting the slope. The wall would replace an existing crumbling stone retaining wall. Most of the wall would retain natural grade to stabilize the slope, but the wall height would stay level and not follow the slope. The design of the wall is reflective of the modern architectural design of the dwelling.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The proposal would comply with all other yard requirements and with all other residential district regulations, including maximum floor area ratio, height, lot coverage and impervious surface. The larger addition, which would add the most building bulk, would be located to the rear of the dwelling and outside of any required yards. Both the roof deck and screen porch would not extend beyond the front wall of the existing dwelling. Each obstruction is designed to be compatible with the modern architectural style of the dwelling. The proposal would not have any impacts on the adjacent properties access to light, air and open space because the subject property sits at a much lower elevation. The request is reasonable and consistent with the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity. Each obstruction is designed to be compatible with the modern architectural style of the dwelling. The proposal would not have any impacts on the adjacent properties access to light, air and open space because the subject property sits at a much lower elevation. Both the roof deck and screen porch would not extend beyond the front wall of the existing dwelling. If granted, the proposed variance will not be detrimental to the health, safety

or welfare of the public or those utilizing the property provided the structures are constructed to current building codes.

FINDINGS REQUIRED BY THE MINNEAPOLIS CODE FOR DEVELOPMENT IN THE SHORELAND OVERLAY DISTRICT

1. *Prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

The site is located across the street from Cedar Lake. The applicant has submitted an erosion control plan. Soil disturbance would be limited to the areas where construction is proposed. A silt fence and straw wattles would be installed to prevent soil erosion during construction. After construction, the applicant is proposing to maintain the existing grading and plant landscaping. The Public Works Department reviewed the erosion control plan and requested that additional details and notes be added to the plan. The notes and details are also attached for reference.

2. *Limiting the visibility of structures and other development from protected waters.*

Because the site is located across the street from Cedar Lake, the proposed structures would have some visibility from the protected waters. To lessen the visibility of the screen porch addition, it would not exceed the height of the existing dwelling and would not extend beyond the existing front wall. The roof deck would likely not be visible because the railing would be setback 10 feet from the eave edge on the sides adjacent to each street. Visibility of both the porch and deck would also be reduced by the existing tree canopy. Also, no additional trees would need to be removed to allow for the proposal that would increase visibility. The wall would replace an existing retaining wall that is in need of repair. To minimize its visibility, the wall height would not extend above the first floor level.

3. *The suitability of the protected water to safely accommodate types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to allow development on a steep slope in the SH Shoreland Overlay District allow building additions, retaining walls and at-grade improvements, based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property. The entire site is on a steep slope. Because the site is located in the SH overlay district, developing in this area requires a variance. The dwelling cannot be expanded without needing a variance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The request is reasonable and consistent with the intent of the ordinance and the comprehensive plan. The SH Shoreland Overlay District is established to preserve and enhance the environmental qualities of surface waters and the natural and economic values of shoreland areas within the city, to

provide for the efficient and beneficial utilization of those waters and shoreland areas, to comply with the requirements of state law regarding the management of shoreland areas, and to protect the public health, safety and welfare. In order to ensure that adverse environmental impacts are minimal, development on or within 40 feet of a steep slope in the SH Overlay District can only be approved through a variance. Development allowed by variance is subject to the following conditions:

1. *Development must currently exist on the steep slope or within forty (40) feet of the top of a steep slope within five hundred (500) feet of the proposed development.*

Development currently exists on the subject property and adjacent properties that are located on the steep slope and within 40 feet of the steep slope.

2. *The foundation and underlying material shall be adequate for the slope condition and soil type.*

The applicant has indicated that the soils are largely comprised of gravel and clay with black top soil. If the variance is approved, the development footings and foundation are required to comply with the building code requirements, which include being founded in material with an embedment and setback from the slope surface sufficient to provide vertical and lateral support for the footing without detrimental settlement. The applicant will be required to work closely with the Construction Code Services Section of CPED during the duration of the development to ensure that all procedures are followed in order to comply with city and other applicable requirements to meet this condition.

3. *The development shall present no danger of falling rock, mud, uprooted trees or other materials.*

The area of the site impacted by construction is limited by the size of the additions and structures. The applicant has submitted an erosion control plan. Soil disturbance would be limited to the areas where construction is proposed. A silt fence and straw wattles would be installed to prevent soil erosion during construction. After construction, the applicant is proposing to maintain the existing grading and plant landscaping. Some trees have been removed within the last couple of years. No additional trees would need to be removed to allow for the proposal. If the plans are approved and implemented in the manner required by the building code and in accordance with the soil erosion plan, the development should present no danger of falling rock, mud, uprooted trees, or other environmental issues.

4. *The view of the developed slope from the protected water shall be consistent with the natural appearance of the slope, with any historic areas, and with the surrounding physical context.*

Because the site is located across the street from Cedar Lake, the proposed structures would have some visibility from the protected water. To lessen the visibility of the screen porch addition, it would not exceed the height of the existing dwelling and would not extend beyond the existing front wall. The roof deck would likely not be visible because the railing would be setback 10 feet from the eave edge on the sides adjacent to each street. The vestibule providing access to the roof deck would only be 100 square feet in area and would be set back 40 feet from the front wall of the dwelling. The rear addition would also be recessed from the existing north wall of the dwelling and would have a roofline only two feet taller than the existing roofline. Visibility of all of the additions would also be reduced by the existing tree canopy. Also, no additional trees would need to be removed to allow for the proposed development that would increase visibility. The wall would replace an existing retaining wall that is in need of repair. The retaining walls follow the slope of the site and require little modifications to grade.

Landscaping has been or would be planted on the slope to be consistent with the natural appearance of the slope. The site is not located in an historic area. The proposed development would also be consistent with the surrounding physical context. Surrounding development is predominantly single-family dwellings of moderate to large scaled structures. The proposed footprint (20 percent lot coverage) and bulk (0.2 floor area ratio) of the dwelling would be well below what is allowed.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting the variances would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity. Areas of the steep slope have been already been altered by development. The additions to the dwelling would be moderate in size. The retaining walls follow the slope of the site, require little modifications to grade, and will stabilize the slope. Landscaping has been or would be planted on the slope. The existing grading is proposed to be maintained once construction is complete. If granted, the proposed variance will not be detrimental to the health, safety or welfare of the public or those utilizing the property provided the proposed construction is built to current building codes and the erosion control is implemented using best practices.

Additional Standards for Variances within the SH Shoreland Overlay District

In addition, the Zoning Board of Adjustment shall consider, but not be limited to, the following [factors](#) when considering conditional use permit or variance requests within the SH Shoreland Overlay District:

1. *Prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

The site is located across the street from Cedar Lake. The applicant has submitted an erosion control plan. Soil disturbance would be limited to the areas where construction is proposed. A silt fence and straw wattles would be installed to prevent soil erosion during construction. After construction, the applicant is proposing to maintain the existing grading and plant landscaping. The Public Works Department reviewed the erosion control plan and requested that additional details and notes be added to the plan. The notes and details are also attached for reference.

2. *Limiting the visibility of structures and other development from protected waters.*

Because the site is located across the street from Cedar Lake, the proposed structures would have some visibility from the protected water. To lessen the visibility of the screen porch addition, it would not exceed the height of the existing dwelling and would not extend beyond the existing front wall. The roof deck would likely not be visible because the railing would be setback 10 feet from the eave edge on the sides adjacent to each street. The vestibule providing access to the roof deck would only be 100 square feet in area and would be set back 40 feet from the front wall of the dwelling. The rear addition would also be recessed from the existing north wall of the dwelling and would have a roofline only two feet taller than the existing roofline. The additions to the dwelling would be moderate in size. The proposed footprint (20 percent lot coverage) and bulk (0.2 floor area ratio) of the dwelling would be well below what is allowed. Visibility of all of the additions would also be reduced by the existing tree canopy. Also, no additional trees would need to be removed to allow for the proposal that would increase visibility. The wall would replace an existing retaining wall that is in need of repair. The retaining walls follow the slope of the site and require little modifications to grade. Landscaping has been or would be planted on the slope to be consistent with the natural appearance of the slope.

3. *The suitability of the protected water to safely accommodate types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Zoning Board of Adjustment adopt staff findings for the application by Jeffrey and Brenda Laux for the property located at 2000 Cedar Lake Parkway:

A. Variance to reduce the minimum front yard requirement.

Recommended motion: **Approve** the variance to reduce the established front yard requirement adjacent to Cedar Lake Parkway to allow a building addition, a roof deck and a wall, subject to the following conditions:

1. No trees shall be removed to allow for the proposed development.
1. Approval of the final site, elevation and floor plans by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by August 11, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

B. Variance to allow development on a steep slope in the SH Shoreland Overlay District.

Recommended motion: **Approve** the variance to allow development on or within 40 feet of the top of a steep slope in the SH Shoreland Overlay District allow building additions, retaining walls and at-grade improvements, subject to the following conditions:

2. No trees shall be removed to allow for the proposed development.
3. Approval of the final site, elevation and floor plans by the Department of Community Planning and Economic Development.
4. All site improvements shall be completed by August 11, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

1. Zoning map
2. Written description and findings submitted by applicant
3. Site survey from 2014
4. Site survey/site plan from 2016
5. Floor plans
6. Building elevations
7. Photos

ADVANCE SURVEYING & ENGINEERING CO.
 5300 S. Hwy. No. 101 Minnetonka, MN 55345 Phone (952) 474 7964 Fax (952) 225 0502 WWW.ADVSUR.COM

SURVEY FOR: **JEFF LAUX**

SURVEYED: November, 2014

DRAFTED: November 20, 2014

LEGAL DESCRIPTION:

Lot 1 and the North 15 feet of Lot 2, Block 6, McNair Park, Hennepin County, Minnesota.

SCOPE OF WORK & LIMITATIONS:

1. Showing the length and direction of boundary lines of the above legal description. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct, and that any matters of record, such as easements, that you wish shown on the survey, have been shown.
2. Showing the location of existing improvements we deemed important.
3. Setting new monuments or verifying old monuments to mark the corners of the property.
4. Showing elevations on the site at selected locations to give some indication of the topography of the site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site.

STANDARD SYMBOLS & CONVENTIONS:

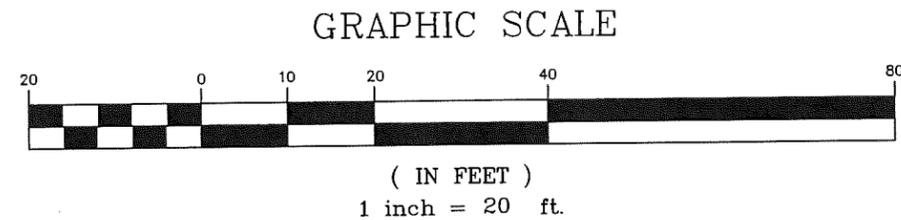
"●" Denotes 1/2" ID pipe with plastic plug bearing State License Number 9235, set, unless otherwise noted.

CERTIFICATION:

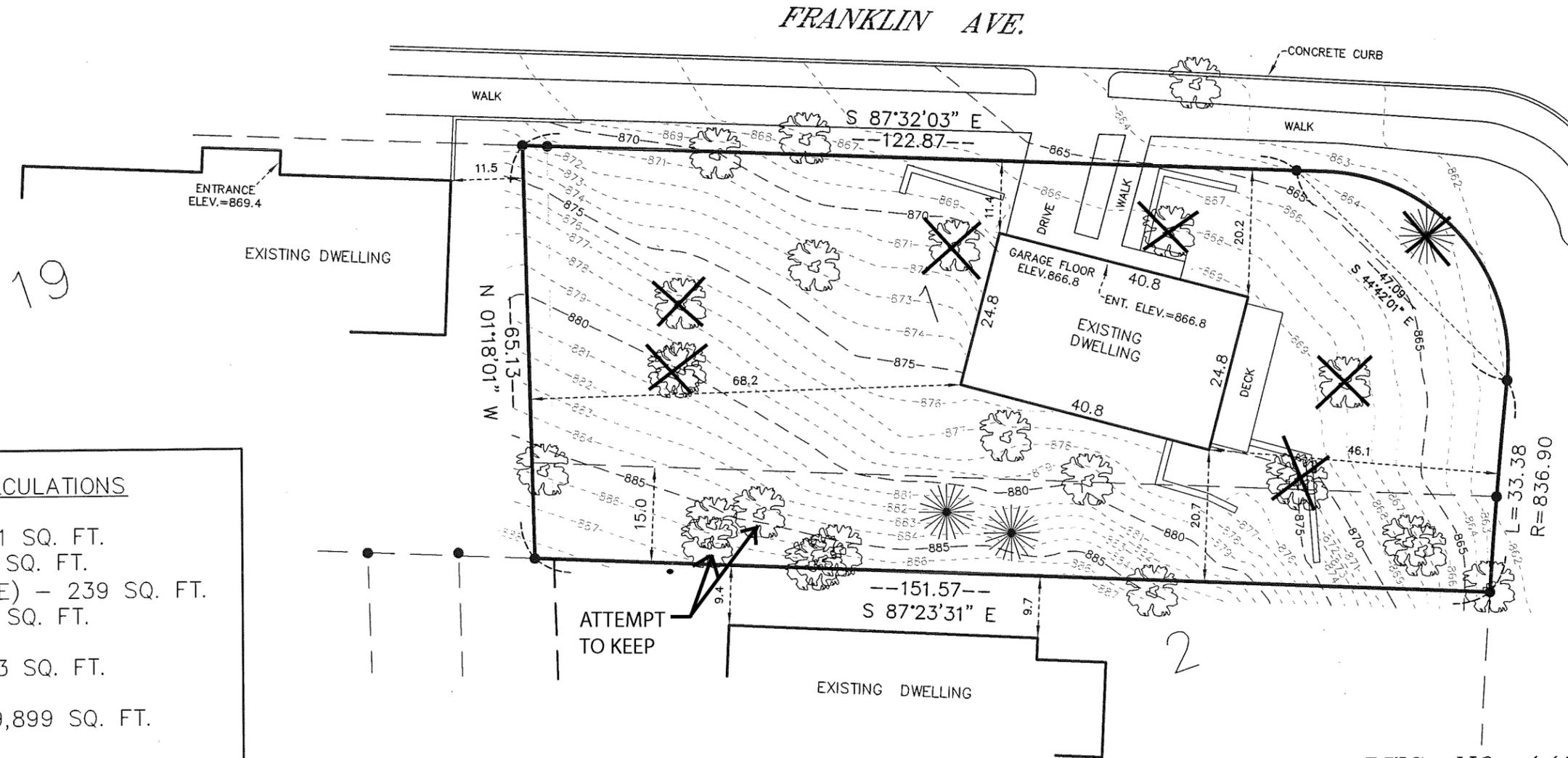
I hereby certify that this plan, specification, report or survey was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer and Licensed Land Surveyor under the laws of the state of Minnesota.

Signature: *James H. Parker* Typed Name: James H. Parker Reg. No.: 9235

Date: November 20, 2014



BENCHMARK:
 MANHOLE
 ELEV.=867.5



HARDCOVER CALCULATIONS

HOUSE - 1,011 SQ. FT.
 DESK - 136 SQ. FT.
 CONCRETE (WALK/DRIVE) - 239 SQ. FT.
 WALLS - 97 SQ. FT.

 TOTAL - 1,483 SQ. FT.
 AREA OF LOT - 9,899 SQ. FT.
 COVERAGE - 15.0%

CEDAR LAKE PKWY. WP/JHP

DWG. NO. 140921 WP

ADVANCE SURVEYING & ENGINEERING CO.

5300 S. Hwy. No. 101 Minnetonka, MN 55345 Phone (952) 474 7964 Fax (952) 225 0502 WWW.ADV SUR.COM

SURVEY FOR: **BRENDA LAUX**

LAST REVISED DATE: July 18, 2016

LEGAL DESCRIPTION:

Lot 1 and the North 15 feet of Lot 2, Block 6, McNair Park, Hennepin County, Minnesota.

SCOPE OF WORK & LIMITATIONS:

1. Showing the length and direction of boundary lines of the above legal description. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct, and that any matters of record, such as easements, that you wish shown on the survey, have been shown.
2. Showing the location of existing improvements we deemed important.
3. Setting new monuments or verifying old monuments to mark the corners of the property.
4. Showing elevations on the site at selected locations to give some indication of the topography of the site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site.
5. Survey information (boundary and site plan) prior to June 23, 2016, is based on previous surveys completed by James Parker, RLS No. 9235, Advance Surveying & Engineering Co. The original survey date of said previous survey is November 20, 2014. This survey does not purport to verify the previous survey information and should be considered an update thereof.

STANDARD SYMBOLS & CONVENTIONS:

"●" Denotes found iron monument, unless otherwise noted.

CERTIFICATION:

I hereby certify that this plan, specification, report or survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.

Signature: *Wayne W. Preuhs*

Typed Name: Wayne W. Preuhs

Reg. No: 43503

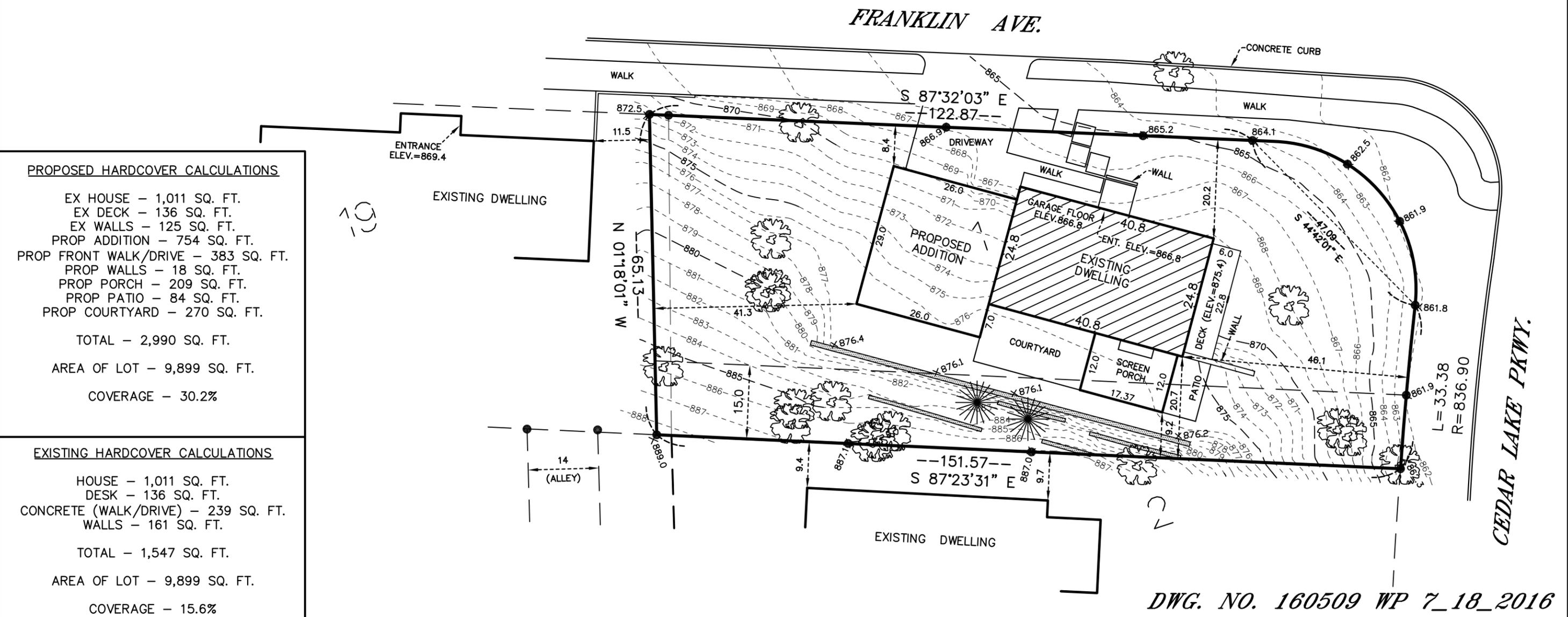
Date: July 18, 2016

BENCHMARK:
MANHOLE
ELEV.=867.5

GRAPHIC SCALE



(IN FEET)



PROPOSED HARDCOVER CALCULATIONS

- EX HOUSE - 1,011 SQ. FT.
- EX DECK - 136 SQ. FT.
- EX WALLS - 125 SQ. FT.
- PROP ADDITION - 754 SQ. FT.
- PROP FRONT WALK/DRIVE - 383 SQ. FT.
- PROP WALLS - 18 SQ. FT.
- PROP PORCH - 209 SQ. FT.
- PROP PATIO - 84 SQ. FT.
- PROP COURTYARD - 270 SQ. FT.

TOTAL - 2,990 SQ. FT.

AREA OF LOT - 9,899 SQ. FT.

COVERAGE - 30.2%

EXISTING HARDCOVER CALCULATIONS

- HOUSE - 1,011 SQ. FT.
- DESK - 136 SQ. FT.
- CONCRETE (WALK/DRIVE) - 239 SQ. FT.
- WALLS - 161 SQ. FT.

TOTAL - 1,547 SQ. FT.

AREA OF LOT - 9,899 SQ. FT.

COVERAGE - 15.6%

DWG. NO. 160509 WP 7_18_2016

Soil Erosion and Sediment Control Plan

Brenda Laux Residence * 2000 Cedar Lake Parkway * Minneapolis, MN 55416

Chapter 52 requires a formal Soil Erosion and Sediment Control Plan for projects that involve "land disturbance activities which are in excess of either five thousand (5,000) square feet or five hundred (500) cubic yards of earth moved. This project involves moving soils in four (4) identified and limited zones which, when combined, total 1,910 square feet of area and less than 244 cubic yards of soil volume. Both of these units of measure being less than half of what is needed to trigger the requirement for a Soil Erosion and Sediment Control Plan.

Nevertheless, this project is located across Cedar Lake Parkway from Cedar Lake and is situated next to a steep slope. Accordingly, practices will be implemented during the life of the project to eliminate site erosion and prevent soils from leaving the site.

As documented on the Soil Erosion and Sediment Control Plan, the total area of disturbed soils is 1,910 square feet. The total lot area measures 9,899 square feet. Thus, less than 20% of the lot area is being disturbed and none of the areas to be disturbed are close to the two adjacent properties and each of the two adjacent properties are at a higher elevation than the subject property. Accordingly, the only downhill erosion to be controlled is to Franklin Avenue to the north and to Cedar Lake Parkway to the east. Both of these are easily managed and controlled as set forth in the Soil Erosion and Sediment Control Plan. Also note that all areas not disturbed contain in-place vegetation including trees, shrubs, grasses groundcover and lawn.

Zone A: This is the only meaningful excavation and simply involves digging in a two stall tuck under garage immediately west of the existing dwelling. The existing slope in the new garage excavation is 25% sloping down from the south to the north as shown on the Soil Erosion and Sediment Control Plan. The southernmost corner of this new garage foundation is at least 25' from the south property line and the excavation for the garage will have no impact on the dwelling to the south.

Zone B: There are no elevation changes in Zone B but this area is included in the analysis as the new concrete flatwork for the entry walk and entry landing are in this zone and soils will be disturbed during this work

Zone C: This work in this area includes digging the footing for the new concrete retaining wall that replaces the existing dry-stack flag-stone wall. As illustrated on the Soil Erosion and Sediment Control Plan this small area excavation is situated about 30 feet from the curb line at Cedar Lake Parkway and both straw wattle sock and silt fence protections are in place.

Zone D: This area of work involves the 48" excavation for frost footings at the perimeter of the new screen porch located immediately adjacent to the existing dwelling. The area of the screen porch installation is flat and fully contained.



APPROVED: HRS	DATE: 4/07
DRAWN: CXD	DATE: 3/03
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	

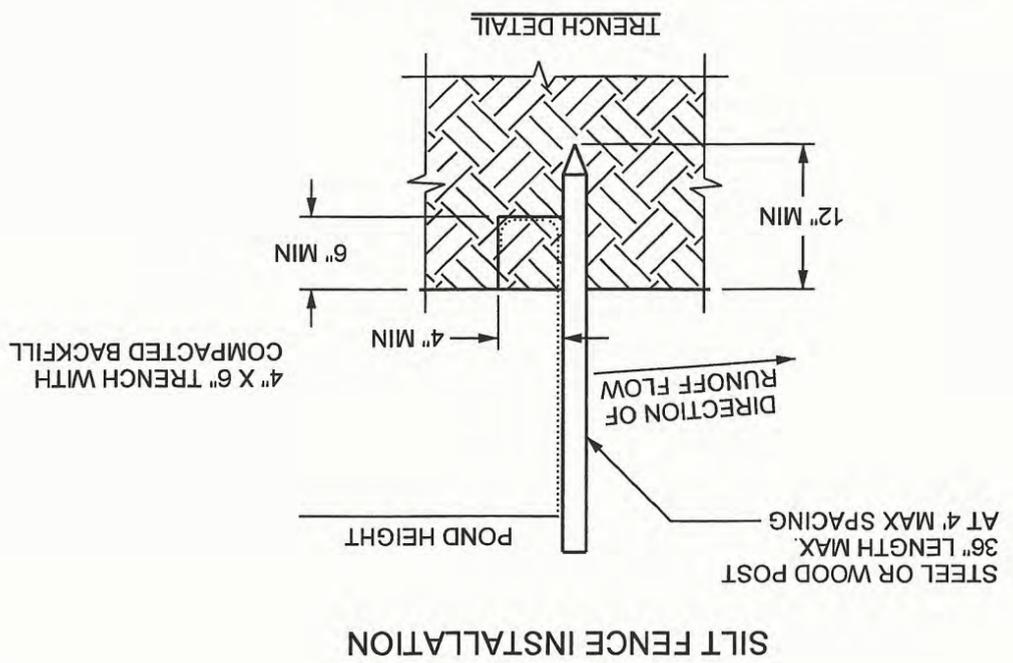
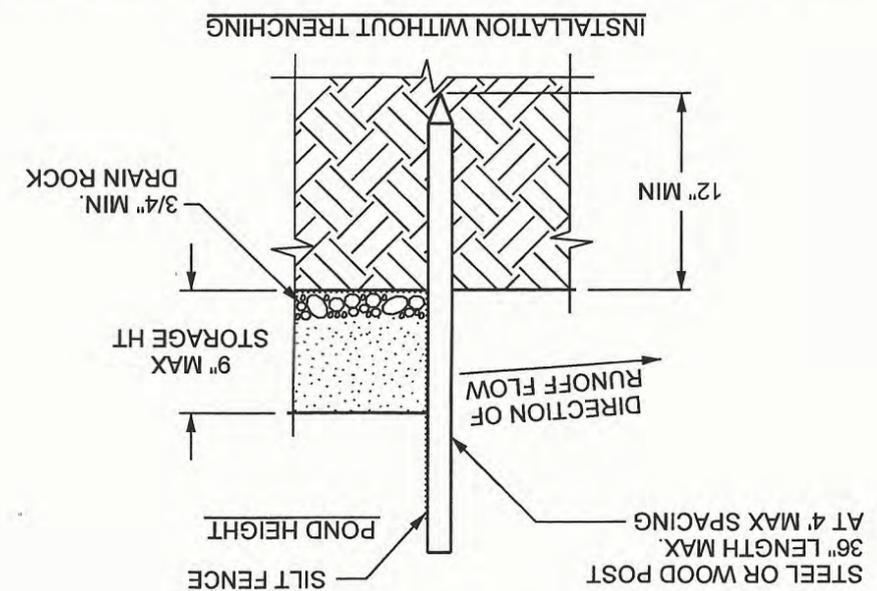
SEDIMENT CONTROL -- SILT FENCE

STANDARD
PLATE
NO.
SEWR-8001

REFERENCES:
MINNEAPOLIS CUSTOM MNDOT SPEC. REF. 2573, 3886, 3889, 2 TYPE 1 NOT TO SCALE

- NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY, REQUIRED WHEN 1/3 FULL WITHIN 24 HOURS OF DISCOVERY.
 3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND PERMANENTLY STABILIZED ALSO SEE SEWR-8009.

USE HI-FLOW FILTER FABRIC, 200 GAL. PER MINUTE PER SQUARE FOOT



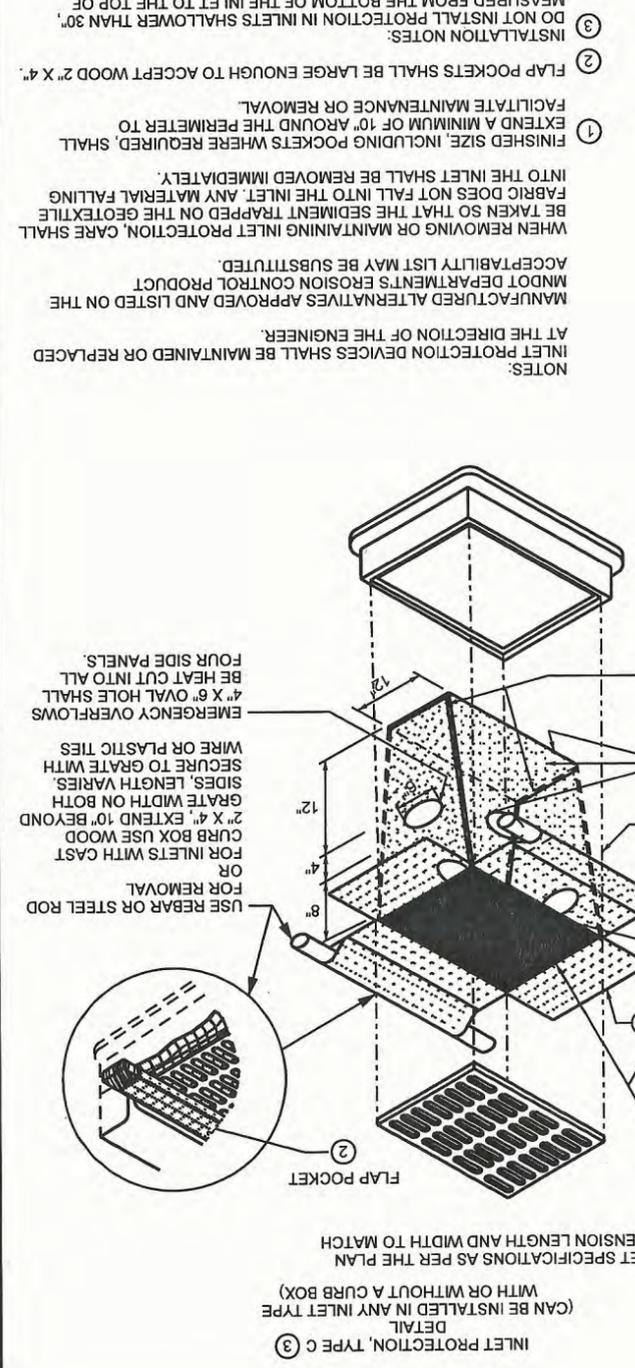
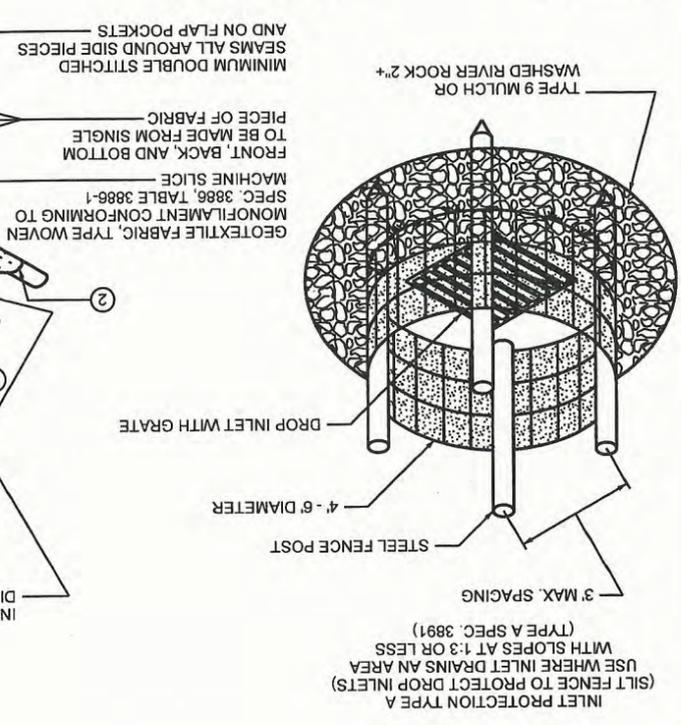
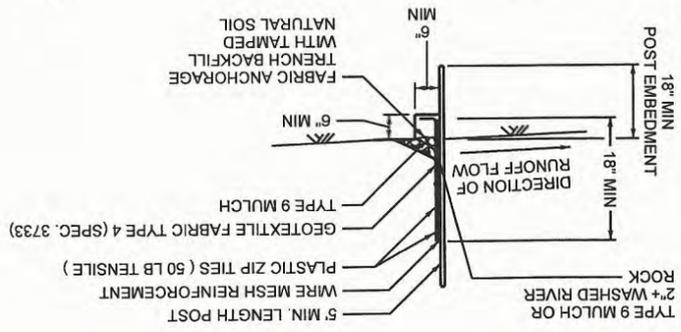
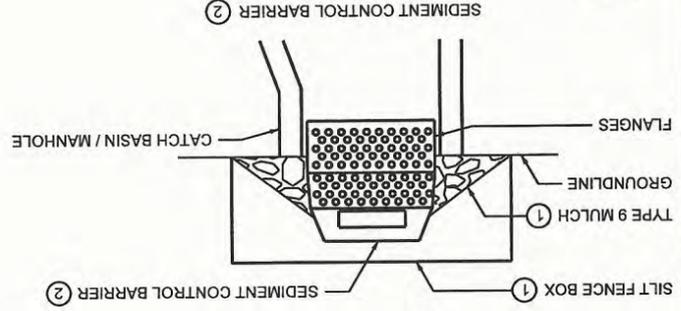
APPROVED: HRS	DATE: 4/07
DRAWN: DCD	DATE: 1/05
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	

INLET PROTECTION TYPE A & C

STANDARD
PLATE
NO.
SEWR-8003

REFERENCES:
MINNEAPOLIS CUSTOM MNDOT SPEC. REF. 3891 NOT TO SCALE

- NOTES:
1. USE INLET PROTECTION TYPE A OR TYPE 9 MULCH, AS DIRECTED BY THE ENGINEER.
 2. PAID FOR AS SEDIMENT CONTROL BARRIER.
- THE SEDIMENT CONTROL BARRIER SHALL BE A METAL OR PLASTIC/POLYETHYLENE RISER SIZED TO FIT INSIDE THE CATCH BASIN/MANHOLE. HAVE PERFORATIONS TO ALLOW FOR WATER INFILTRATION. HAVE AN OVERFLOW OPENING, FLANGES AND A LID/COVER.



EROSION AND SEDIMENT CONTROL NOTES

INSTALL PERIMETER EROSION CONTROLS AS INDICATED IN PLANS PRIOR TO START OF WORK. HAY BALES ARE NOT ALLOWED AS EROSION & SEDIMENT CONTROL DEVICE IN MINNEAPOLIS.

ESTABLISH ROCK CONSTRUCTION ENTRANCES PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES. 1 1/2" - 3" WASHED AGGREGATE IS RECOMMENDED FOR ROCK ENTRANCES, A GEOTEXTILE FABRIC IS REQUIRED.

REMOVE ALL SOILS AND SEDIMENTS DEPOSITED ONTO PUBLIC AND/OR PRIVATE PAVEMENT AREAS WITHIN 24 HOURS OF DEPOSITION. REMOVAL OF TRACKING MATERIALS SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN TRACKING OCCURS. SWEEPING MAY BE ORDERED AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION AND IN SUCH A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.

INSTALL INLET PROTECTION IN ALL DOWNSTREAM CATCH BASINS WHICH RECEIVE RUNOFF FROM THE DISTURBED AREA. CATCH BASIN INSERTS ARE REQUIRED AT ALL LOCATIONS NOT WITHIN THE DISTURBED AREA WHICH RECEIVE RUNOFF (MNDOT TYPE C INLET PROTECTION). NOTE HAY BALES AND SILT FENCE WRAPPED GRATES ARE NOT EFFECTIVE AND ARE NOT APPROVED FOR USE AS INLET PROTECTION DEVICES.

LOCATE ALL SOIL AND DIRT PILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. ALL STOCK PILES THAT REMAIN IN PLACE FOR 7 DAYS OR MORE SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPING OR OTHER MEANS. TEMPORARY STOCK PILES LOCATED ON PAVED SURFACES MUST BE AT LEAST 2 FEET OR MORE AWAY FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF REMAINING MORE THAN 24 HOURS.

MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A WEEKLY BASIS AND REPLACE DETERIORATED, DAMAGED OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PERFORMED WHENEVER THE DEVICE IS 30% FULL. FAILURE TO MAINTAIN EROSION CONTROL DEVICES MAY LEAD TO FURTHER ENFORCEMENT ACTION. WEEKLY INSPECTIONS REQUIRED AND AFTER EACH 1/2" OR MORE RAIN EVENT WITHIN 24 HRS.

READY MIXED CONCRETE AND BATCH PLANT WASHOUTS PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY, DESIGNATE CONCRETE WASHOUT AND MIXING LOCATIONS IN THE EROSION CONTROL PLANS. UNDER NO CIRCUMSTANCES MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO THE PUBLIC STORM DRAIN.

TEMPORARILY OR PERMANENTLY STABILIZE ALL DENUDED AREAS WHICH HAVE BEEN FINISH GRADED WITHIN 7-14 DAYS (SLOPE DEPENDENT). USE SEEDING AND MULCHING, EROSION CONTROL MATTING AND/OR SODDING WITH TEMPORARY STAKING IN GREEN SPACE AREAS. USE EARLY APPLICATION OF GRAVEL BASE FOR AREAS DESIGNATED FOR PAVED SURFACING.

REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL AND NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED, MINIMUM VEGETATION COVER OF 70% REQUIRED, ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED UNTIL THE SITE HAS 70% ESTABLISHED VEGETATIVE COVER AND ALL PAVED AREAS HAVE BEEN STABILIZED WITH THE SELECTED PAVEMENT TYPE.

ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY OTHER PERMITTING AGENCIES, IT IS THE RESPONSIBILITY OF THE PROJECT ENGINEER TO VERIFY THAT THE CITY AND ALL OTHER AGENCY REQUIREMENTS ARE MET.

MINNEAPOLIS CUSTOM
MNDOT SPEC. REF. 2573
NOT TO SCALE



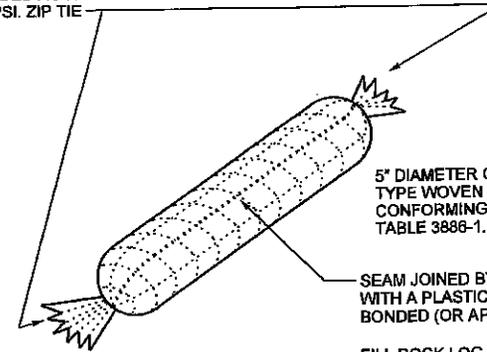
MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS

DRAWN: DCD	DATE: 806
APPROVED: HRS	DATE: 307

EROSION CONTROL NOTES

STANDARD
PLATE
NO.
SEWR-8007

ENDS SECURELY CLOSED TO PREVENT
LOSS OF OPEN GRADED AGGREGATE FILL
SECURED WITH 50 PSI. ZIP TIE



5" DIAMETER GEOTEXTILE SOCK,
TYPE WOVEN MONOFILAMENT
CONFORMING TO MNDOT SPEC. 3886,
TABLE 3886-1. MACHINE SLICE

SEAM JOINED BY TWO ROWS OF STITCHING
WITH A PLASTIC MESH BACKING OR HEAT
BONDED (OR APPROVED EQUIVALENT)

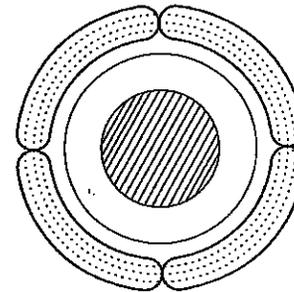
FILL ROCK LOG WITH 45 LBS.
OF OPEN GRADED AGGREGATE
CONSISTING OF SOUND, DURABLE
PARTICLES OF CRUSHED QUARRY
ROCK OR GRAVEL CONFORMING
TO THE FOLLOWING GRADATION

GRADATION	
SIEVE SIZE	PERCENT PASSING
1 1/2 INCH	100
1 INCH	95-100
3/4 INCH	85-95
3/8 INCH	30-65
NO. 4	10-35
NO. 10	3-20
NO. 40	0-8
NO. 200	0-3

NOTE: CRUSHED CONCRETE OR
BITUMINOUS SHALL NOT BE USED
FOR OPEN GRADED AGGREGATE.

PAYMENT SHALL INCLUDE ALL MATERIALS,
FILLING OF LOG PLACEMENT, MAINTENANCE,
& REMOVAL. 80% OF BID PRICE SHALL BE
PAID UPON PROPER PLACEMENT WITH THE
FINAL 20% PAID UPON REMOVAL

INLET PROTECTION
WITH FILTER LOG
DO NOT USE IN LIVE TRAFFIC AREAS



BUTT JOINTS

FILTER LOGS MNDOT SPEC. 3897

STRAW BIOROLL
WOOD FIBER BIOROLL
COMPOST LOG

GRAIN AND SEED FREE OF WEEDS, 6-9 MONTH POLYPROPYLENE NETTING
EXCELSIOR FIBER LOG, 6-9 MONTH POLYPROPYLENE NETTING
30-40% WEED FREE COMPOST (3890, GRADE 2), 8" DIAMETER
GEOTECHNICAL CYLINDRICAL BAG
ROCK LOG 4"-6" DIAMETER, SEE SIEVE SIZE CHART ABOVE

FIBER LOG MNDOT SPEC. 3895
12" DIAMETER COCONUT FIBER (COIR),
OUTER COIR NETTING REQUIRED, MINIMUM 5 YEAR LIFE

MINNEAPOLIS CUSTOM
MNDOT SPEC. REF. 3897
NOT TO SCALE



MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS

DRAWN: BCD	DATE: 407
APPROVED: HRS	DATE: 407

SEDIMENT CONTROL -- FILTER LOG

STANDARD
PLATE
NO.
SEWR-8008

L A U X R E S I D E N C E
 2003 CEDAR LAKE PARKWAY
 MINNEAPOLIS, MN 55416

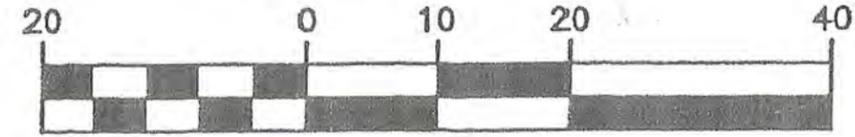
**SOIL EROSION AND
 SEDIMENT CONTROL PLAN**

July 2016

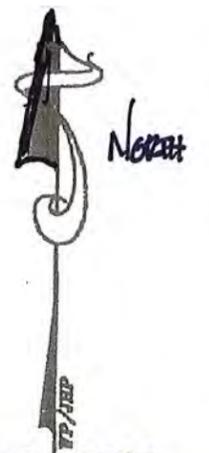
BENCHMARK:
 ○ MANHOLE
 ELEV.=867.5

ZONE	SQ. FT.	CU. YDS.
A	1200	177.71
B	200	7.40
C	60	8.80
D	450	49.90
TOTALS	1910	243.87

GRAPHIC SCALE

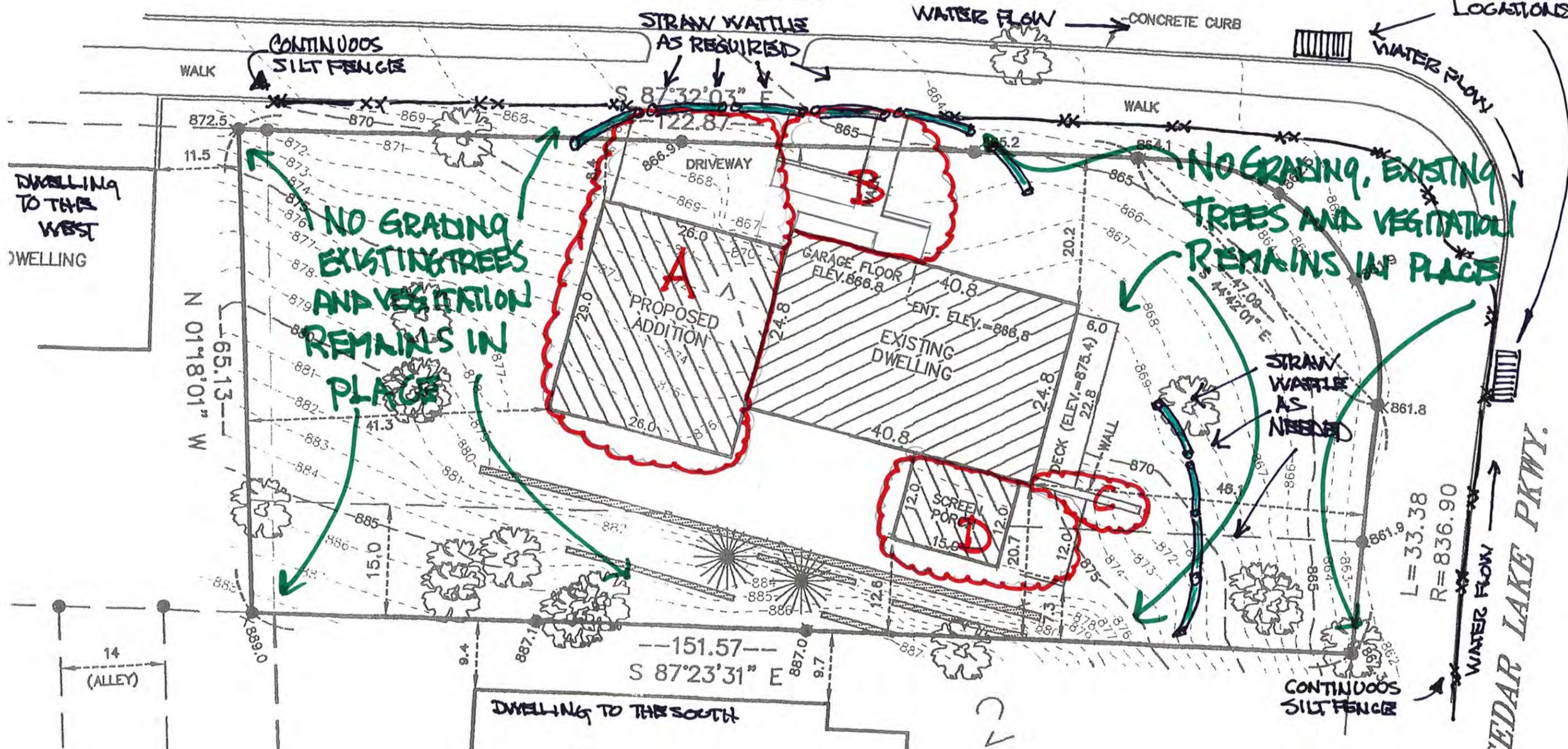


(IN FEET)



STORMWATER
 GRATE EROSION
 CONTROL WATTLE
 AT BOTH GRATE
 LOCATIONS

FRANKLIN AVE.



L=33.38
 R=836.90

EDAR LAKE PKWY.



DESIGN FILTER

3101 E. FRANKLIN AVE., MINNEAPOLIS, MN 55406

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY REGISTERED ARCHITECT UNDER THE STATE OF MINNESOTA.

PRINT NAME: _____

SIGNED: _____

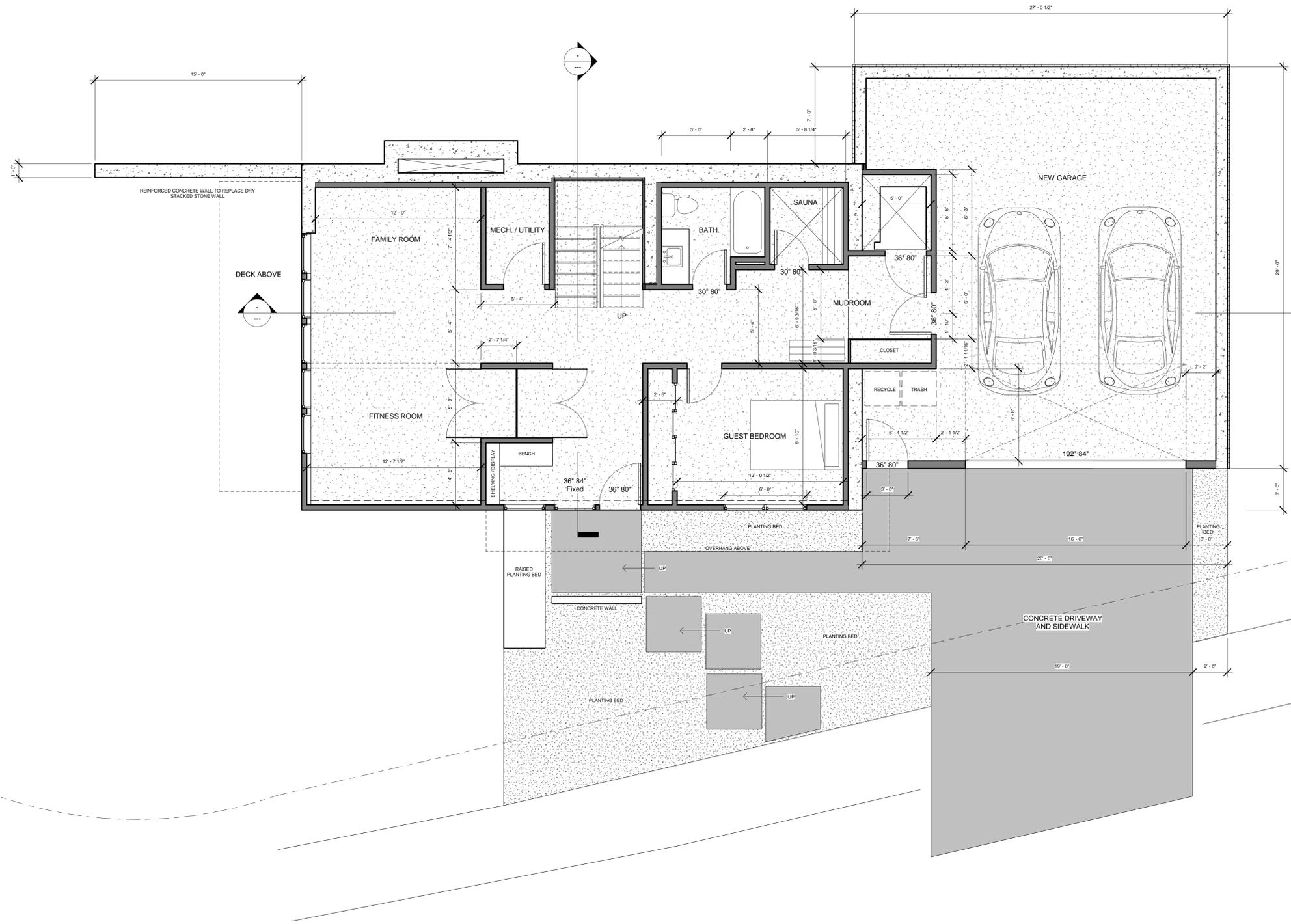
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REG. NO. _____

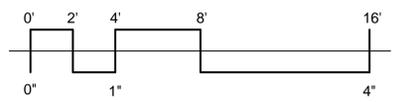
REVISIONS

LAUX RESIDENCE REMODEL AND ADDITION

2000 CEDAR LAKE PKWY | MINNEAPOLIS



① L0 - TO FLOOR
1/4" = 1'-0"



PROJECT NUMBER	PROJECT NUMBER
DATE	ISSUE DATE
DRAWN BY	AUTHOR
CHECKED BY	CHECKER

LOWER LEVEL - NEW
AI.2

SCALE 1/4" = 1'-0"

7/27/2016 9:26:29 AM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE STATE OF MINNESOTA.

PRINT NAME: _____

SIGNED: _____

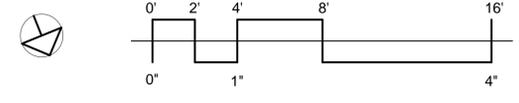
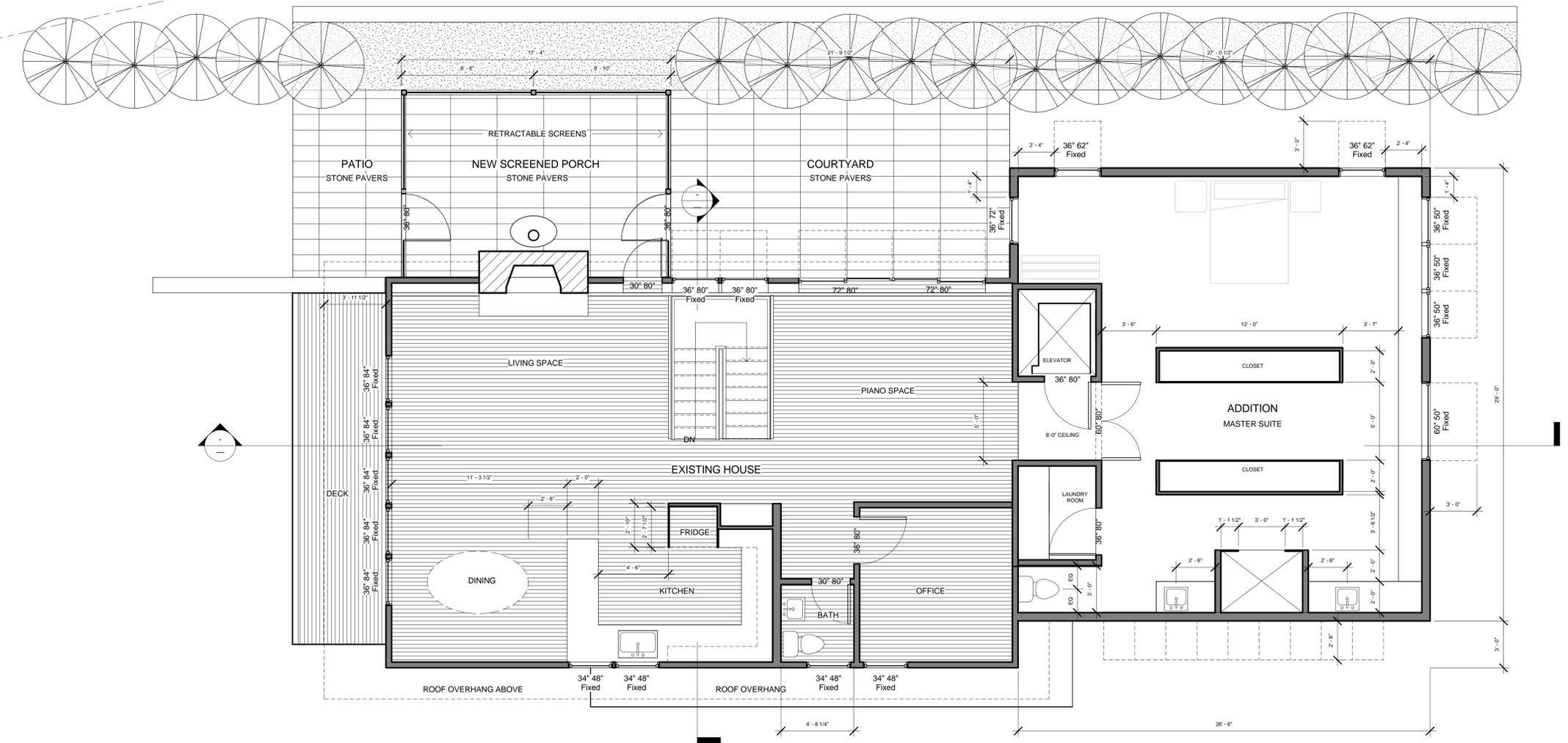
DATE: _____

REG. NO. _____

REVISIONS

LAUX RESIDENCE REMODEL AND ADDITION
2000 CEDAR LAKE PKWY | MINNEAPOLIS

1 L1 - TO SUB FLR
1/4" = 1'-0"



PROJECT NUMBER	PROJECT NUMBER
DATE	ISSUE DATE
DRAWN BY	AUTHOR
CHECKED BY	CHECKER

UPPER LEVEL - NEW
AI.3

SCALE 1/4" = 1'-0"



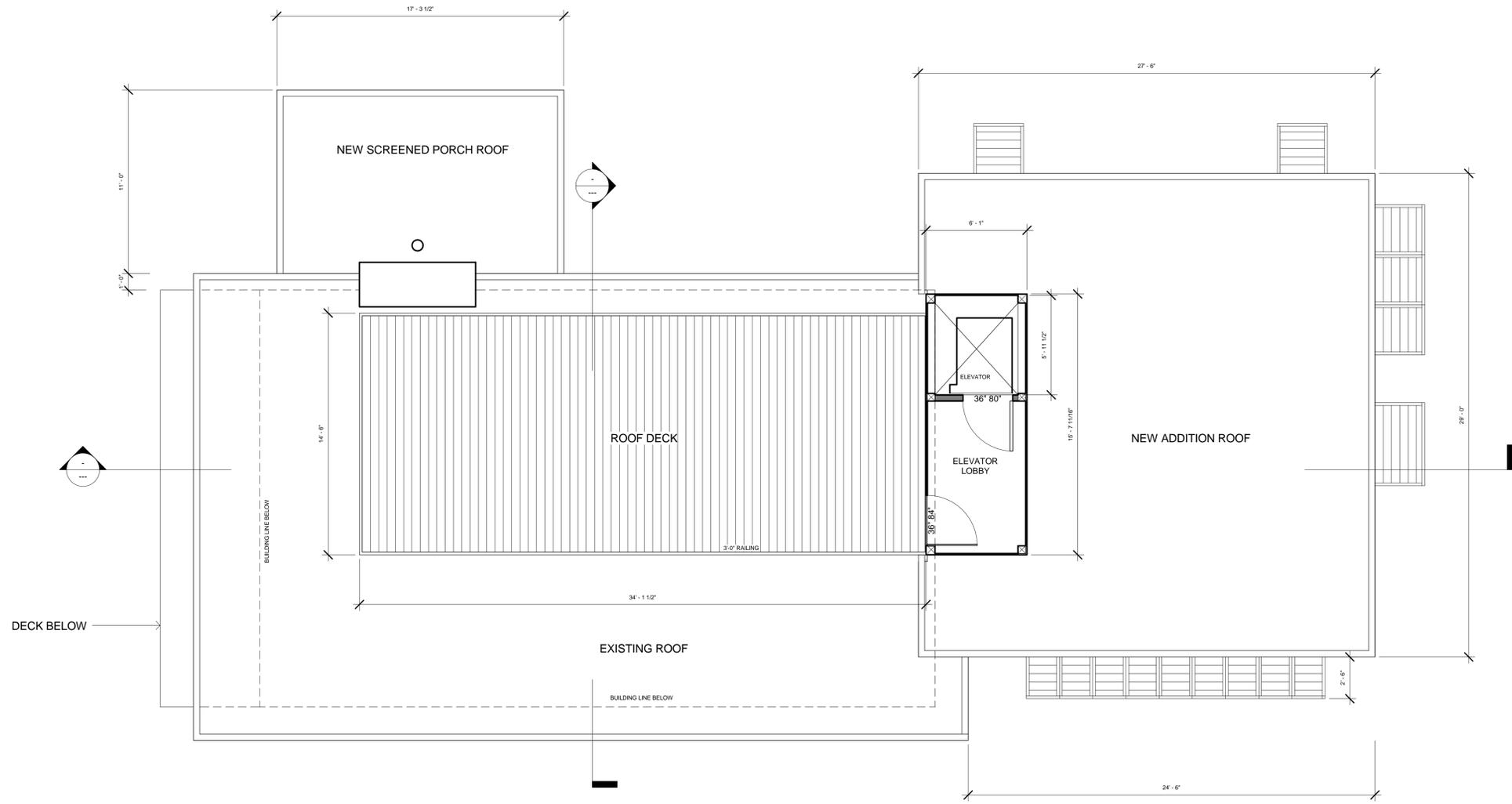
DESIGN FILTER

3101 E. FRANKLIN AVE., MINNEAPOLIS, MN 55406

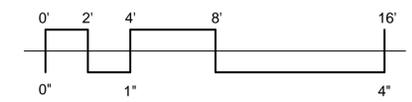
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE STATE OF MINNESOTA.

PRINT NAME: _____
SIGNED: _____
DATE: _____
REG. NO. _____

REVISIONS



1 Roof Plan
1/4" = 1'-0"



LAUX RESIDENCE REMODEL AND
ADDITION
2000 CEDAR LAKE PKWY | MINNEAPOLIS

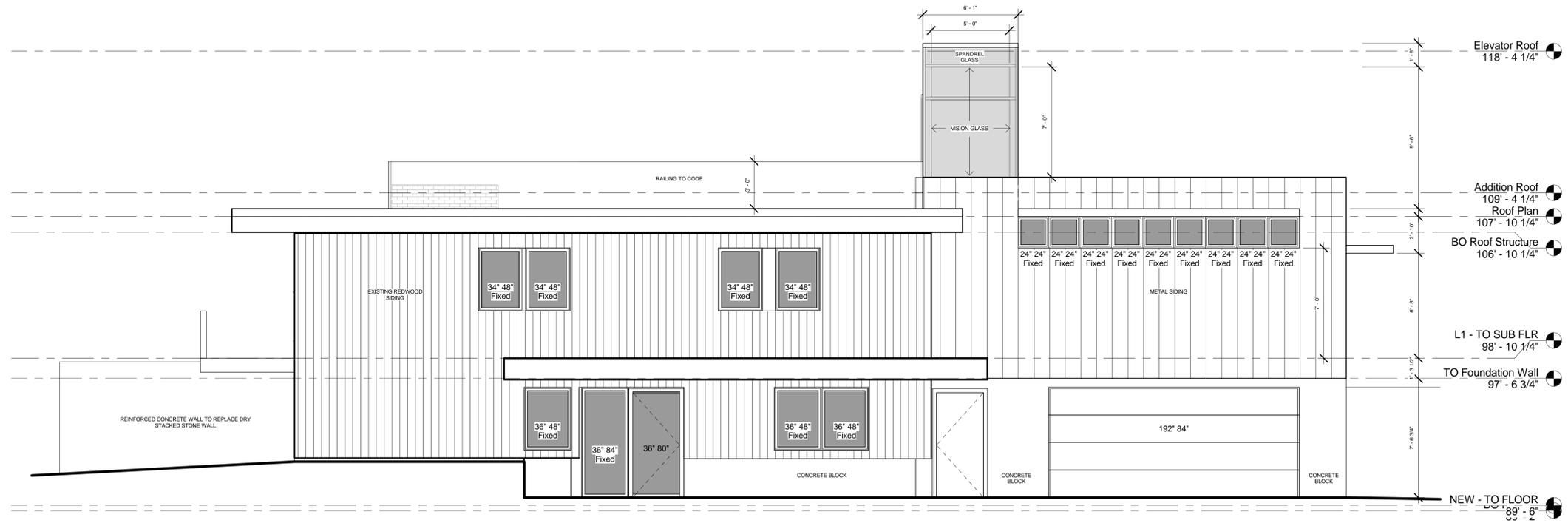
PROJECT NUMBER	PROJECT NUMBER
DATE	ISSUE DATE
DRAWN BY	AUTHOR
CHECKED BY	CHECKER

ROOF PLAN -
NEW
AI.4

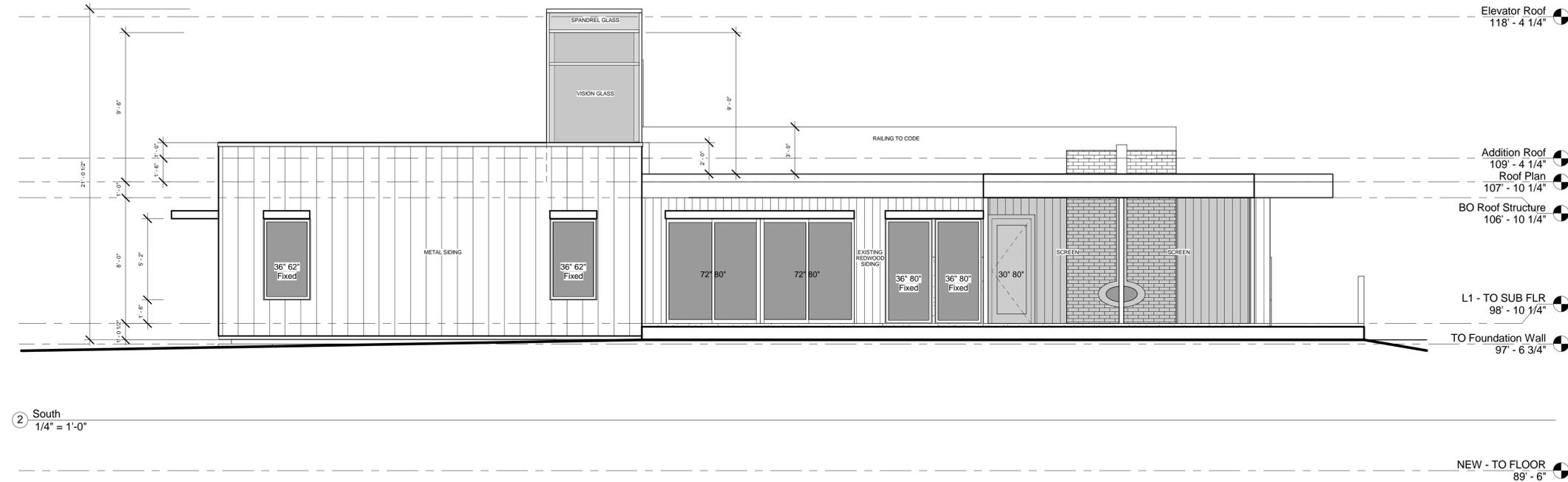
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REVISIONS

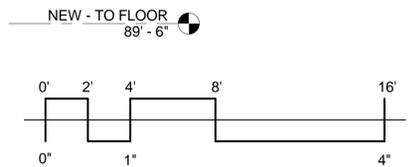
NO.	DESCRIPTION



1 North (Front)
1/4" = 1'-0"



2 South
1/4" = 1'-0"



LAUX RESIDENCE REMODEL AND ADDITION
2000 CEDAR LAKE PKWY | MINNEAPOLIS

PROJECT NUMBER	PROJECT NUMBER
DATE	ISSUE DATE
DRAWN BY	AUTHOR
CHECKED BY	CHECKER

ELEVATIONS

A2.1

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE STATE OF MINNESOTA.

PRINT NAME: _____

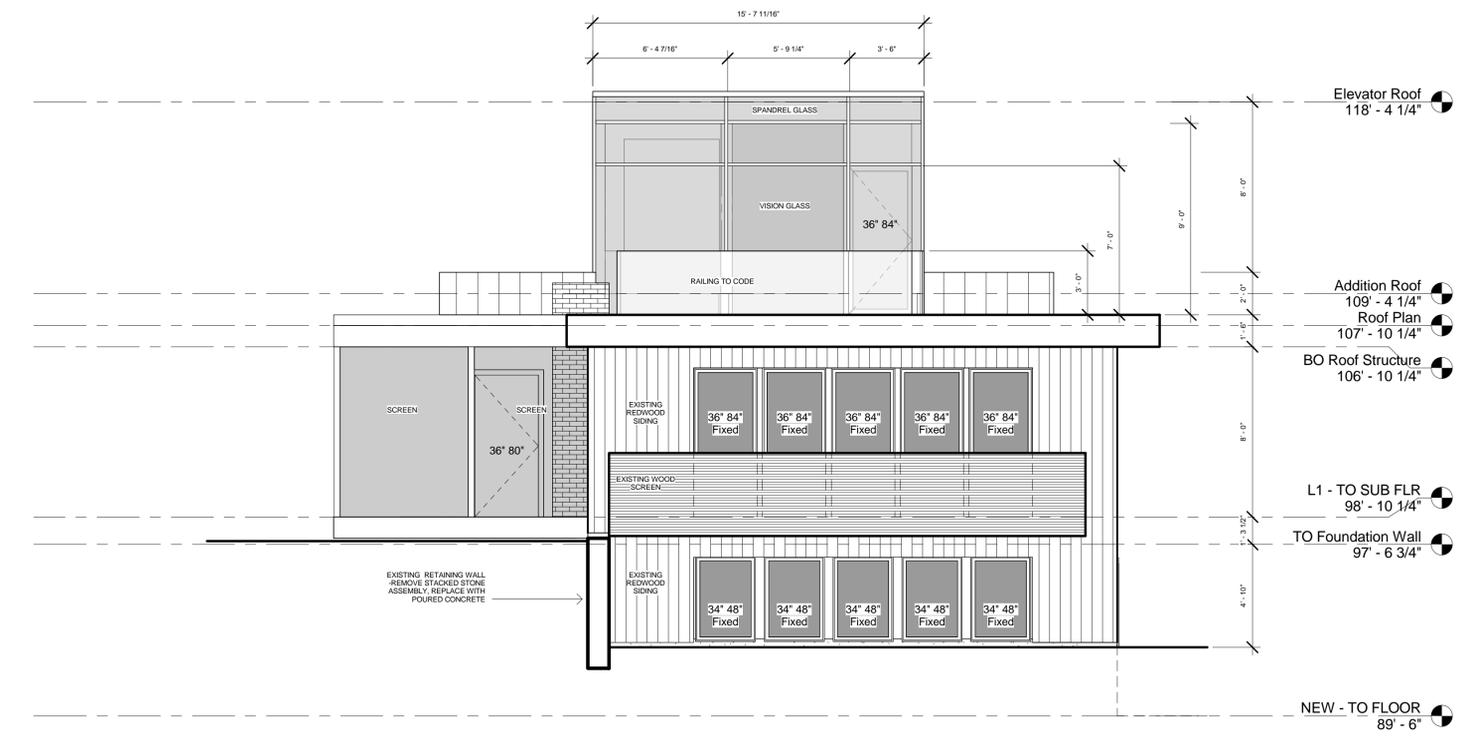
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DATE: _____

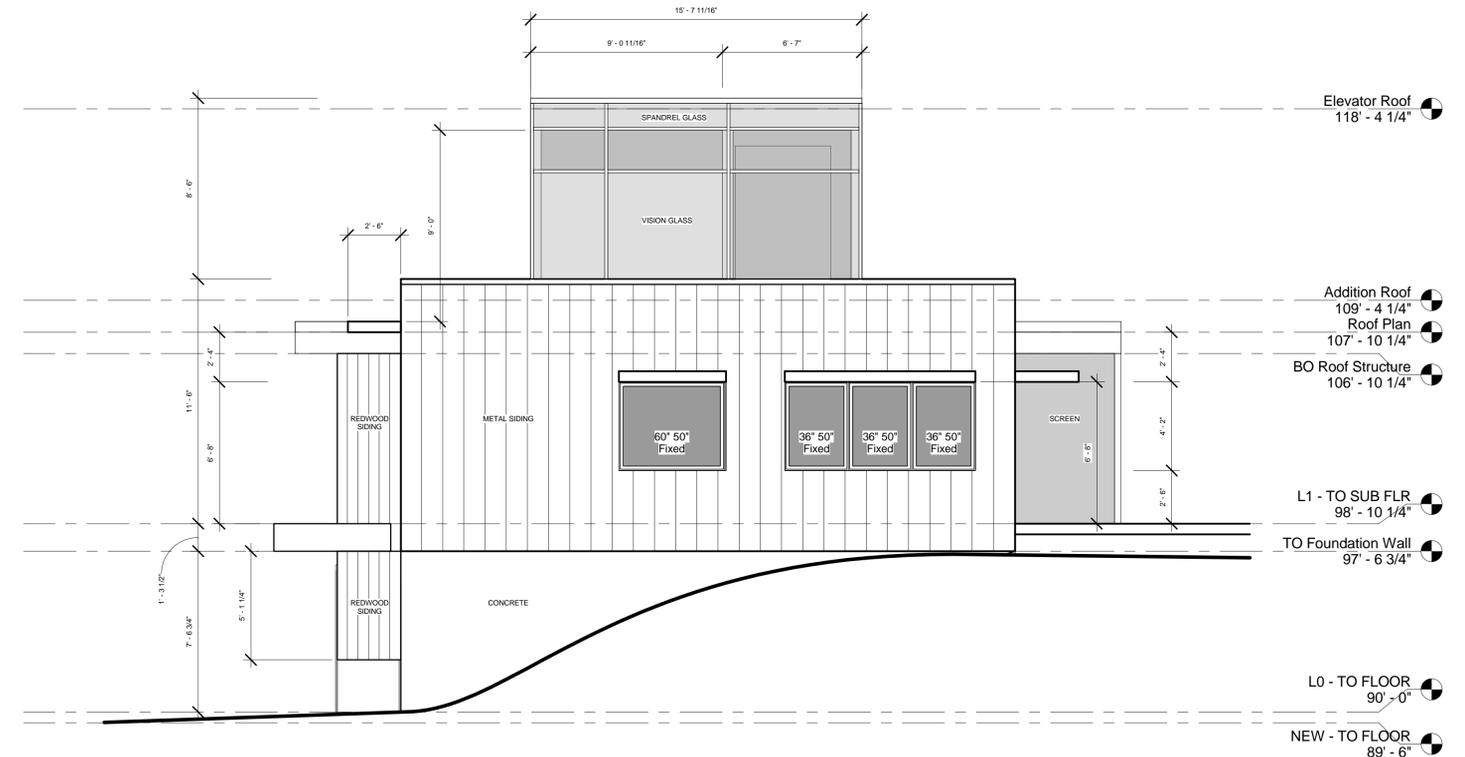
REG. NO. _____

REVISIONS

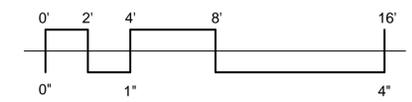
LAUX RESIDENCE REMODEL AND ADDITION
2000 CEDAR LAKE PKWY | MINNEAPOLIS



② East
1/4" = 1'-0"



① West
1/4" = 1'-0"



PROJECT NUMBER	PROJECT NUMBER
DATE	ISSUE DATE
DRAWN BY	AUTHOR
CHECKED BY	CHECKER

ELEVATIONS
A2.2

SCALE 1/4" = 1'-0"





























