

HOMEWOOD HISTORIC DISTRICT DESIGN GUIDELINES

**Prepared for the Minneapolis Heritage Preservation Commission
City of Minneapolis
Community Planning & Economic Development (CPED)
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INTRODUCTION

Scope

These guidelines are meant to be used in conjunction with the latest version of *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. The four treatment types identified in these extensive federal guidelines contain best practices for preserving historic properties. In general, they require property owners preserve historic building materials and features, repair them when necessary, and replace them with matching materials only when they are beyond repair. New construction (buildings, garages, etc.) and additions (both building additions and additions of nonhistoric features to buildings), should generally be compatible in design, subordinate (smaller than the historic building, for example), reversible, and difficult to see from the public right-of-way. But these federal best practices do not always provide the specificity needed to protect unique resources in all historic districts or the flexibility that owners wish to retain in maintaining and updating their properties, so these local design guidelines for the Homewood Historic District have been developed with property owners to supplement the federal standards. Where these guidelines do not provide specific guidance, it is recommended that *The Secretary of the Interior's Standards for the Treatment of Historic Properties* should be followed.

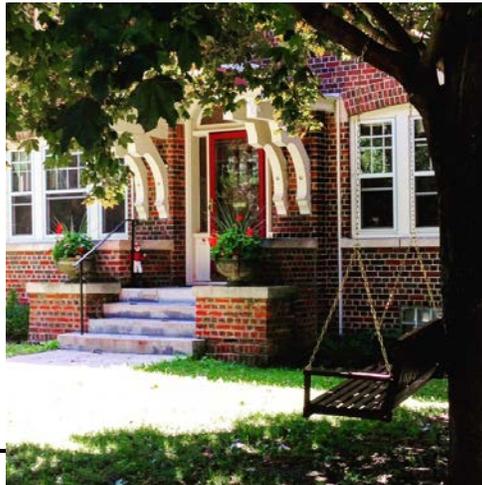
These guidelines identify the district's period of significance; indicate historic uses, and state character-defining features, all used in applying design guidelines. This document also specifies additional guidelines for exterior alterations specifically suited to the district. These guidelines apply only to the exteriors of the buildings within the district. Non-contributing buildings dating from the period of significance are encouraged to be restored, but this is not mandated. Non-contributing buildings constructed within the period of significance can have their contributing status reevaluated in the event of any restoration work that brings the property back to its historic appearance. This document also contains guidelines for any future new infill construction, which non-contributing buildings also follow. Where these guidelines do not provide specific guidance, *The Secretary of the Interior's Standards for the Treatment of Historic Properties* should be followed.

Flexibility shall be exercised in allowing alternate materials that provide substantially the same appearance and performance as the materials listed in this guide. An example is PVC trim boards.

Cost shall be allowed as a factor in evaluating options.

Period of Significance

The period of significance is 1909-1949. Homewood was platted for development by 1909, the entire 80-acre subdivision bounded by Plymouth, Penn, Oak Park, and Xerxes Avenues North was accepted and approved by the Minneapolis city council as an addition to the city on April 30, 1909. Four houses were built in this year. In 1910, water mains were laid and the plat was improved with sewer, city water, sidewalks, curb and gutters, gas, electric lights, and macadamed streets. Additionally, the Plymouth Avenue streetcar line (built originally in 1891) was extended from Penn Avenue North to



Comment [JKS1]: PICKLE COMMENT 1 - "The Secretary of the Interior's Standards for the Treatment of Historic Properties" is referenced several times. Indicate where the document may be obtained and reference the specific sections that are applicable in the context of each referenced.

STAFF RESPONSE – URLs change so frequently (here is a current one - <https://www.nps.gov/tps/standards/four-treatments/standguide/index.htm>) that we did not include the current web address, but it is posted on the HPC website and easy to find using a search engine. These federal guidelines are large, and contain four treatment types, so we have not listed every section in each of those treatment types not covered by our guidelines, such as architectural metals, accessibility, site, and setting guidelines. We could copy and paste every one of those guidelines into these local district guidelines, but the local guidelines would become very large, so we added some explanatory text instead.

Comment [SJ2]: BROPHY COMMENT 3 – Modify text to read, "Where these guidelines do not provide specific guidance, it is recommended that The Secretary of the Interior's Standards for the Treatment of Historic Properties ~~should be~~ followed." Reading Interior's Standards, 4 sections each start with about 10 general principles with the enforcement word "will". The rest of it is "recommended" and "not recommended". That does not appear to me to be prescriptive. Interior's Standards is 182 pages. IMHO finding what would apply prescriptively to a particular task is unreasonable. Might be reasonable if these guidelines were specific - DOI Standards page 99 shall be followed. If there is a link between tax credits and Interior's Standards that should be explicitly spelled out.

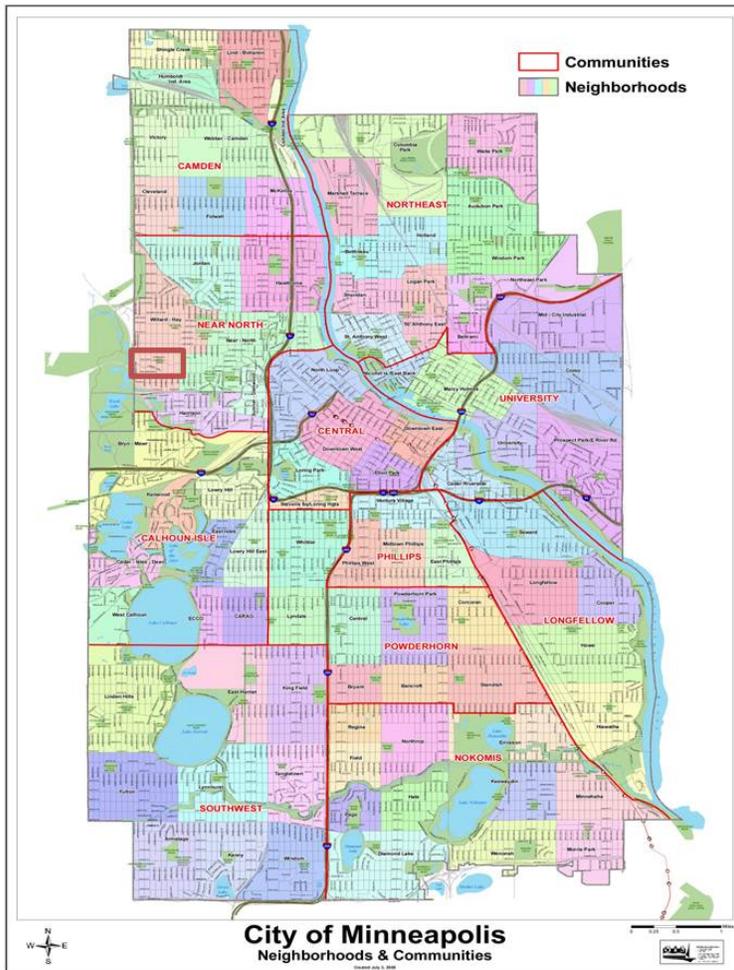
STAFF RESPONSE – Change made.

Comment [SJ3]: BROPHY COMMENT 4 - Change text to add, "Flexibility shall be exercised in allowing alternate materials that provide substantially the same appearance and performance as the materials listed in this guide. An example is PVC trim boards. Cost shall be allowed as a factor in evaluating options." IMHO this is critical. These guidelines could greatly contribute to gentrification.

STAFF RESPONSE – Changes made.

Sheridan Avenue North in 1912. The majority of residences in Homewood were constructed before 1949.

Comment [JKS4]: PICKLE COMMENT 2 - Provide an overview map indicating where the Homewood district is located in Minneapolis.



[Homewood neighborhood outlined in red](#)

Historic Uses

During the period of significance, the district **was** **been** home to single-family residences, some duplexes, a few small apartment buildings, two houses of worship and small commercial properties at the intersection of Penn and Plymouth Avenues. Farwell Park and the Lincoln Athletic Field are open spaces within the district.

Character-Defining Features

Character-defining features are the form and detailing of those architectural materials and features that are important in defining the districts' historic character and which **must shall** be retained in order to preserve that character. The residential area includes 254 properties, the majority of which were built from 1909 to 1949, representing a variety of popular architectural styles, including Tudor Revival, Colonial Revival, French Eclectic, Spanish Colonial Revival, Craftsman and Prairie. Heights range from one to one-and-a-half, and two, to two-and-a-half stories. Residences are set back a minimum of 35 feet from the sidewalks and foundation heights are a minimum of 3 feet above the sidewalks

The Tudor Revival residences feature steeply pitched roofs typically dominated by a prominent front facing gable, large, decorative masonry chimneys, tall, narrow windows with multi-pane glazing, false half-timbering, and main front entry doors with rounded arches.

The Colonial Revival style is generally characterized by symmetrical facades, emphasis of a central front entry and the balanced and symmetrical placement of rectangular shaped windows. Palladian window placements are common, as are fanciful dormers; and single-story front porches.

The French eclectic style is characterized by tall and steeply pitched roofs but without the dominant front facing gable found in Tudor Revival residences. Segmental arches on doors, windows and dormers



High pitched roof lines, roof dormers, entry pediments, projecting bay windows, decorative glass and ornamentation provide a continuity of design and visual appearance throughout the district.



Comment [SJ5]: BROPHY COMMENT 61 – TYPO, page 4, "Historic uses, During the period of significance, the district *was* [has] been home to single-family residences"

STAFF RESPONSE – Text changed.

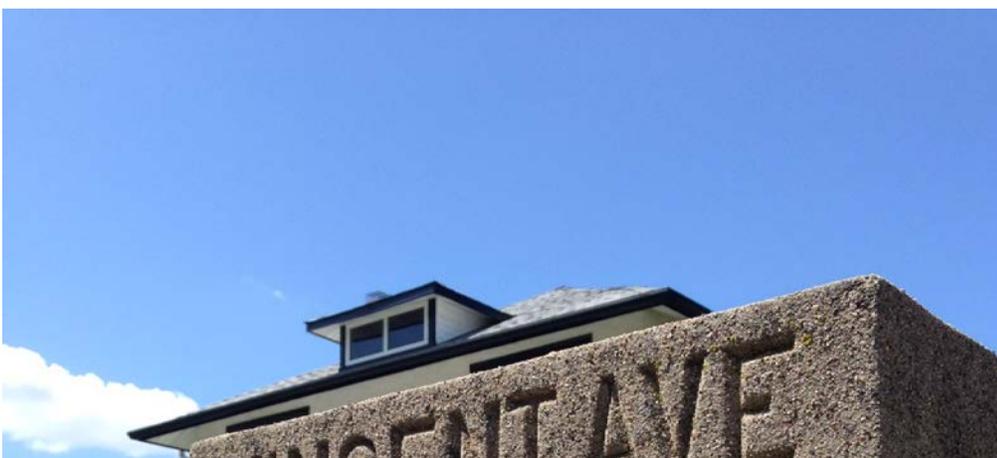
are common, as are brick, stone or stucco wall cladding.

Spanish Colonial Revival residences are characterized by low-pitched roofs with little to no overhanging eaves, red clay tile roofs, arches above doors and windows and stucco wall cladding.

Craftsman dwellings feature low pitched gabled roofs with wide eave overhangs and tapered, square, porch roof supports and false beams or bracing used as decorative elements. Wood clapboard is the most common cladding material, however, stucco, brick and stone are commonly used in northern and Midwestern states.

The Prairie style is characterized by low pitched roofs, often hipped or pyramidal in form with overhanging eaves, and a box form that is massed either symmetrically or asymmetrically. Emphasis is on the horizontal; windows, brickwork and trim typically communicate a theme of horizontal orientation.

The boundaries of the Homewood Historic District are defined by stone markers that are placed at the entrances to the district and date to the establishment of the subdivision. These markers create a distinctive physical boundary. The streetscapes in Homewood are created by interplay of all of these residential styles, set alongside tree-lined boulevards, in a regular street grid, in a park-like setting. Homes vary in size and scale, but as a whole, represent an eclectic yet cohesive collection. The district continues to reflect the area's original design elements, these architectural and landscape elements allow the Homewood area to be physically distinctive from other surrounding residential areas in North Minneapolis. The boundaries of this district enclose a continuous area that retains its historic integrity, in particular, the aspects of feeling and association that are lacking in places outside of the district's boundaries.



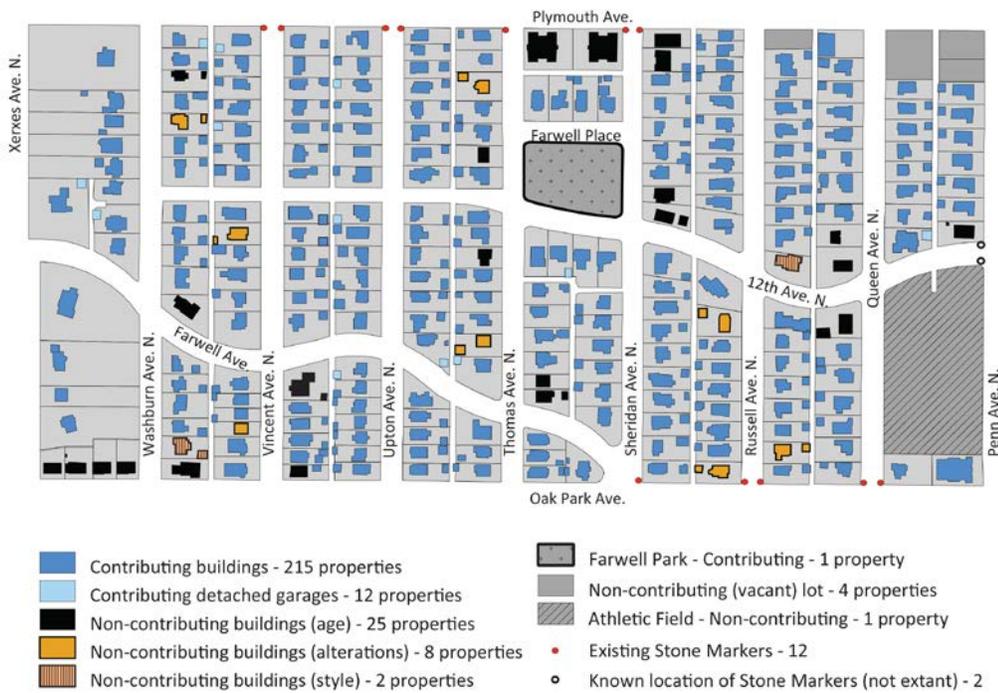


For properties currently zoned for offices and multifamily residences on the south side of Plymouth Avenue, these guidelines do not apply. *The Secretary of the Interior's Standards for the Treatment of Historic Properties* should be used as for guidance on these sites. The same hold true for Farwell Park and the two places of worship in the district. These guidelines are specific to single family residences and duplexes. Properties zoned for other uses are not limited to single family development. The Lincoln Junior High Athletic Field is non-contributing and any development in the future should adhere to *The Secretary of the Interior's Standards for the Treatment of Historic Properties*.



Comment [SJ6]: BROPHY COMMENT 5 – Change text to, "For properties currently zoned for offices and multifamily residences on the south side of Plymouth Avenue, these guidelines do not apply. It is recommended that *The Secretary of the Interior's Standards for the Treatment of Historic Properties* should be used as for guidance on these sites....The Lincoln Junior High Athletic Field is non-contributing. and it is recommended that any development in the future should adhere to *The Secretary of the Interior's Standards for the Treatment of Historic Properties*."

STAFF RESPONSE –Only recommending that *The Secretary of the Interior's Standards* be used would permit developers of significant sections of Homewood to abide by no guidelines whatsoever, if they choose, since no additional guidelines are proposed to apply. Also, it would be difficult to justify HPC review of the redevelopment of these sites if the developer chose to abide by no guidelines. No HPC review of developments might prevent property owners from participating in the review of the developments.



Figure#1. Homewood Historic District Map

Alterations to Contributing Resources

These design guidelines exist to aid in the preservation and restoration of the contributing resources. Contributing resources are houses, garages and carriage houses that were built during the period of significance and retain their historic integrity. Regardless of the treatment, historic material should be preserved unless it is too deteriorated to provide a functioning building envelope.

Beyond the recommended standards and guidelines stated in *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, changes to individual properties mustshall meet these standards:

- The entire exterior of contributing resources ~~shall~~ should be protected. Non-contributing additions to contributing properties are considered non-historic features that have been added to a property over time.
- Alterations and additions to contributing resources ~~shall~~ should be compatible with the historic character of the building or structure.

Comment [SJ7]: BROPHY COMMENT 6 – Change text to read, “Beyond the recommended standards and guidelines stated in *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, changes to individual properties must meet these standards:...”

STAFF RESPONSE – Changes made.

Comment [SJ8]: BROPHY COMMENT 7 – Change text to read, “The entire exterior of contributing resources ~~shall~~ should be protected... Alterations and additions to contributing resources ~~shall~~ should be compatible with the historic character of the building or structure.” A little less restrictive.

STAFF RESPONSE – Changes made.

Alterations to Non-contributing Resources

Changes to individual properties that are non-contributing mustshall meet the following standard because they are located in the district:

- For non-contributing properties, the guidelines for new infill construction shall apply to the extent that the architectural style of the noncontributing property is not compromised, because preservation of remaining features is not required. Instead, the main objective is to assure that future alterations will be compatible within the district, just as new construction should be.

Several non-contributing properties were built during the period of significance and have been substantially altered; as a result they have lost their integrity and no longer resemble their historic appearance. These non-contributing properties can be considered “compatible” with the character of the district, but do not contribute to the era of history in the district that is being preserved. These non-contributing buildings constructed during the period of significance that are restored to their historic appearance may have their contributing status reevaluated by city staff at the request of the property owner or Heritage Preservation Commission. Non-contributing buildings that were built during the period of significance are encouraged to be restored, but this is not mandated.

Alterations to non-contributing properties that were built after the period of significance or that are of an architectural style that is not being preserved mustshall be compatible with the character of the district.

Comment [SJ9]: BROPHY COMMENT 8 – Change text to read, “For non-contributing properties, the guidelines for new infill construction shall apply to the extent that the integrity of the non-contributing property is not compromised, because Preservation of remaining features is not required.”

Trying to migrate a non-contributing property toward the contributing properties could compromise the integrity of the structure appearance and have a fairly awful effect.

STAFF RESPONSE – Changes made, substituting “architectural style” for “integrity” since noncontributing resources do not retain the integrity required to communicate the district’s historical significance.

Comment [JKS10]: PICKLE COMMENT 3 - Page 9: “...non-contributing buildings constructed during the period of significance that are restored to their historic appearance may have their contributing status reevaluated.” There should be a process or authority specified for re-evaluation.

STAFF RESPONSE – Text added to address this.

GUIDELINES FOR CONTRIBUTING RESOURCES

General Principles

The following are principles for the preservation of the contributing resources in the district.

- The distinguishing original historic qualities and character, defined as those dating to the period of significance of the district, shall be preserved. The removal of historic material should be avoided when possible.
- Alterations that create a false sense of history are discouraged.
- Changes that have taken place during the period of significance shall be recognized and respected. Alterations to the historic building that were made during the period of significance shall be protected. Restorations of earlier features dating to the period of significance are also permissible but not required.
- Distinctive stylistic features and examples of skilled workmanship that characterize the district shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible whenever the costs of doing do does not substantially exceed the costs of replacement with matching materials. In the event that replacement is necessary, the new material should match the material being replaced in color, texture, design, and other visual qualities. It may be an accurate restoration using historical, pictorial, and physical documentation. If this is not possible, it may be a new design that is compatible with the size, scale, material, and color of the historic building.
- Surface cleaning shall be done by the gentlest means possible.
- Compatible additions to properties should be sympathetic to the historic character of the district.
- New alterations and additions shall be done in such a manner that if they were to be removed in the future, the essential form and integrity of the historic building would remain intact.
- The terms paint and finish are often used interchangeably, but materials required to be painted, have a painted finish, or have a factory applied finish are intended to be colored, via paint, anodization, or some other integral application, unless otherwise indicated, with no bare, natural hued metal permitted.
- When guidelines use the term right-of-way to call out viewsheds, it is intended to mean public streets and sidewalks, not alleys.

Exterior Siding and Cladding

The majority of the homes in the district are clad with stucco and brick veneer. A few homes are clad in wood siding and shingles. These are the predominant materials that were used historically in the district.

Stucco

- A. The majority of residences were originally built with stucco during the period of significance. This historic building material should be retained and maintained through adherence to The Secretary of the Interior's Standards for the Treatment of Historic Properties as applied to stucco surfaces preserved, repaired with matching materials when necessary, and, when repair is not practical, replaced with matching materials. Re-cladding buildings such as these with painted wood siding, shingles or other materials shall not be permitted.

Comment [JKS11]: PICKLE COMMENT 6 - Related to comment #3: How is removal of architectural features treated? Many homes have false brackets or dentils that could be removed without otherwise affecting the structure. Repair or replacement of these may be expensive so owners may opt to remove them. I don't think this possibility is addressed in the document other than through language like "alteration".

STAFF RESPONSE – Sections like this indicate that historic architectural features need to be preserved.

Comment [JKS12]: PICKLE COMMENT 4 - Page 10: "Changes that have taken place during the period of significance shall be recognized and respected." This is a little vague. Does it mean "Alterations to the original structure that were made during the period of significance shall be protected."?

STAFF RESPONSE – Text added to address this.

Comment [JKS13]: PICKLE COMMENT 5 - Page 10: "Deteriorated architectural features shall be repaired rather than replaced whenever possible." This is also vague. It's almost always "possible" to repair something given enough budget. Is a more objective standards such as "Deteriorated architectural features shall be repaired whenever the costs of doing so does not substantially exceed the cost of replacement."?

STAFF RESPONSE – Text added to address this.

Comment [SJ14]: BROPHY COMMENT 9 – Change text to read, "Deteriorated architectural features shall be repaired rather than replaced whenever possible practical. In the event that replacement is necessary, the new material should match the material being replaced in color, texture, design, and other visual qualities. It may be an ...

Comment [SJ15]: BROPHY COMMENT 56 – Add definition of Paint: Shall include factory applied finishes and materials that have an integral color. It is not clear to me that all factory finishes are "paint."

STAFF RESPONSE – Text added to address this.

Comment [SJ16]: BROPHY COMMENT 57 – Define public right-of-way as the street in front of the house. For houses on a corner flexibility shall be exercised in applying public right-of-way guidelines to the second street. IMHO it is unfair to apply full limitations for both streets for a corner houses [disclosure - I live on a corner]. ...

Comment [SJ17]: BROPHY COMMENT 10 - Change text to read, "It is recommended that this historic building material should be retained and maintained through adherence to The Secretary of the Interior's Standards for the Treatment of Historic Properties as applied to stucco surfaces." ...

Masonry

1. The Secretary of the Interior's Standards for the Treatment of Historic Properties shall be administered in the maintenance of masonry portions of structures. Historic masonry should be preserved, repaired with matching materials when necessary, and, when repair is not practical, replaced with matching materials or alternate materials that provide substantially the same appearance and performance.

Wood

1. The Secretary of the Interior's Standards for the Treatment of Historic Properties shall be administered in the maintenance of wood clad portions of structures. Historic wood cladding should be preserved, repaired with matching materials when necessary, and, when repair is not practical, replaced with matching materials or alternate materials that provide substantially the same appearance and performance.

General Best Practices

1. **Repair Before Replacement:** First consideration for the replacement of deteriorated cladding materials should be replacement with the same material used in original/historic construction (stucco for stucco, wood for wood, brick for brick, etc.) especially if there is a small amount of deterioration. If this is not possible, replacement with high-quality materials such as fiber cement board may be acceptable if it closely resembles the dimensions, texture, reveal, and appearance of historic wood cladding. Stucco that is minimally deteriorated shall be repaired as per The Secretary of the Interior's Standards for the Treatment of Historic Properties unless the costs of doing substantially exceeds the costs of replacement with matching materials. There is no suitable replacement for stucco other than stucco. There is no suitable replacement for deteriorated brick other than brick that closely matches historic brick.
2. **Covered Historic Stucco and Siding:** When selecting a replacement for nonhistoric cladding, All repair and reuse of historic stucco and siding which is intact under non-historic siding shall not be removed is required unless r- Rotted or significantly deteriorated, in which case covered historic stucco or wood siding should be replaced with matching materials.
3. **Design:** Width, pattern, and profile of the original/historic cladding should be duplicated. Applying new stucco should not alter the width or reveal of bordering trim; it should be applied in a texture that is similar to the historic appearance of the structure. Narrow wood siding in the district is generally between 3 and 6 inches in width on average. Re-siding should not alter the width or reveal of the bordering trim. Wide siding greater than 6 inches in width is not permitted unless it is to replicate an original/historic design feature. Diagonally oriented siding is not permitted. Artificial stone or artificial brick veneer is also not permitted unless it is used to replace unrepairable historic brick or stone and closely matches the appearance of those materials.
4. **Paint:** Stucco may have a painted finish unless historically unpainted. Siding and trim shall have painted surfaces and shall not be of natural finish. Some alternate materials may have an integral color. Shingles

Comment [SJ18]: BROPHY COMMENT 11 - Change text to read, "It is recommended that The Secretary of the Interior's Standards for the Treatment of Historic Properties shall be administered used in the maintenance of masonry portions of structures."

STAFF RESPONSE – Changes made to specify more specific standards.

Comment [SJ19]: BROPHY COMMENT 12 - Change text to read, "It is recommended that The Secretary of the Interior's Standards for the Treatment of Historic Properties" shall be used administered in the maintenance of wood clad portions of structures."

Comment [JKS20]: PICKLE COMMENT 7 - Page 11: "Stucco that is minimally deteriorated..." What constitutes minimal deterioration? Is cracking minimal if it causes stucco to be detached from the underlying mesh? Does part of the stucco cladding have to be missing from the structure?

Comment [SJ21]: BROPHY COMMENT 13 – Change text to read, "Stucco that is minimally deteriorated shall It is recommended that minimally deteriorated stucco be repaired as per The Secretary of the Interior's Standards for the Treatment of Historic Properties."

Comment [JKS22]: PICKLE COMMENT 8 - Page 11: "Covered Historic Stucco and Siding:" Given that the standards are to protect the appearance of structures, what is the need for protecting covered items.

Comment [JKS23]: PICKLE COMMENT 9 - Related to comment #6: Are the standards meant to indicated that homeowners should remove non-contributing cladding, repair siding or stucco underneath and then re-install matching non-contributing siding? That seems unrealistic and

Comment [JKS24]: PICKLE COMMENT 11 - Page 11: "Artificial stone or artificial brick veneer is also not permitted." Is requiring actual brick cladding for structure such as garages realistic? Perhaps "Artificial stone or artificial brick veneer that closely matches the appearance of the origi

Comment [SJ25]: BROPHY COMMENT 14 - No recommended change, but IMHO painting stucco is generally a real bad idea. I have not looked closely, but I think not much stucco is painted.

Comment [JKS26]: PICKLE COMMENT 10 - Page 11: "Stucco may have a painted finish unless historically unpainted." Is this meant to prohibit homeowners from painting stucco in a historically appropriate color if it is currently unpainted? Ho

Comment [SJ27]: BROPHY COMMENT 15 – Change text to read, "Siding and trim shall have painted surfaces and shall not be of natural finish. Some alternate materials may have an integral color. Shingles may have a painted or natural finish."

may have a painted or natural finish. ~~Paint should be complementary to the style of the building and its surroundings. It should be an appropriate choice from colors available from 1909-1949.~~

5. **Other Materials:** Vinyl and metal siding are not permitted. Synthetic stucco products are not permitted.

Roofs

- A. Shape:** Preserving roofs are important in defining the overall historic character of the district. This includes preserving individual roof shapes found in the district, such as hipped, gabled and gambrel roofs.
- B. Shingles:** Flexibility should be employed in approving new roofing materials and colors and determining their compatibility. Building permits show that almost all of the residences in the district have been re-roofed and with only a few exceptions, there is almost no extant historic roofing material in the district. The most important factor in choosing replacement roof material is that it is complementary to the visual appearance of the property during the period of significance in the district.

Tudor Revival Residences

Square tab asphalt shingles were commonly used as a roofing material and are appropriate for replacement of roofing material if it is done in-kind. These shingles are presently installed on the majority of homes within the district. Solid, uniform and deep colors are recommended for replacement. Several Tudor Revival homes have, or had, terra cotta clay tile shingles; these may be a compatible replacement material. Slate, synthetic slate and wood shakes or shingles are also an appropriate replacement roofing material, particularly on buildings where it can be documented these were employed historically.

Spanish Colonial Revival Residences

These residences commonly use terra cotta clay tile shingles. Replacement should be in kind. Plastic "clay tile" shingles are not permitted. Square tab asphalt shingles in a solid color on the red-orange spectrum may be an acceptable replacement.

Eclectic Residences

Several of these dwellings have asphalt shingles. Historically, these residences also used terra cotta clay tile shingles, slate and wood shingles.

Colonial Revival and Colonial Revival subtype Residences

Square tab asphalt shingles were commonly used on Colonial Revival residences and are a very appropriate choice for replacement roofing material. During the period of significance, the most common colors were solid, uniform and deep red or solid, uniform and deep green. Slate and wood shakes or shingles may also be an appropriate replacement roofing material.

Craftsman Residences:

Square tab asphalt shingles cover the roofs of these properties in the district. This material, in a solid color, makes for a compatible replacement. Wood shingles, clay tile and slate were all available during the period of significance and would be compatible replacement roofing materials if historic documentation shows them to be ~~original/historic to the building.~~

Prairie Residences:

Square tab asphalt shingles in a solid color, is a compatible replacement. Wood shingles and clay tiles were all available during the period of significance and would be compatible replacement roofing materials if historic documentation shows them to be ~~original/historic to the building.~~

Comment [SJ28]: BROPHY COMMENT 16 – Delete, "Paint should be complementary to the style of the building and its surroundings." Could be, but I don't have a clue what this means.

STAFF RESPONSE – Text eliminated to address this.

Comment [JKS29]: PICKLE COMMENT 12 - Page 11, D. Paint: it says that "Paint should be an appropriate choice from colors available from 1909 - 1949." Is there a list of colors that are going to be automatically approvable without detailed review (t would be nice to not have to provide paint swatches for HPC review), and what is the process if someone wants to use a paint color that isn't on the list? More guidance on this issue would be helpful.

STAFF RESPONSE – Text eliminated to address this.

Comment [SJ30]: BROPHY COMMENT 17 – Change text to read, "~~It should~~ **is recommended that paint** be an appropriate choice from colors ~~available used on houses~~ from 1909-1949."
1- you likely aren't going to/can't enforce it
2- likely any color was "available"
3- there is no reference to what colors you want
4. regulating color is likely to be very annoying to people

STAFF RESPONSE – Text eliminated to address this.

C. **Skylights:** If skylights are added to structures, they shall be located on the rear half of the roof, towards the rear and should be, and are encouraged to be installed in a manner that makes them inconspicuous from the street. They shall be flat in design so that they do not exceed 6 inches in total height above the roof plane at any point, are close to the roof plane.

Comment [SJ31]: BROPHY COMMENT 18 – Change text to read, “If skylights are added to structures, ~~they shall~~ it is recommended they be located towards the rear and ~~should~~ be inconspicuous from the street.” The location where skylights make sense to install depends on the layout of the house.

STAFF RESPONSE: Text changed to balance this concern with best practices, using an objective standard.

D. **Mechanical and Other Equipment:** The installation of mechanical and other equipment such as vents, air conditioning units, satellite dishes or transformers should be inconspicuous and least visible from the public right-of-way. Venting should ideally be installed at ridge lines. Any mechanical equipment should not obscure character-defining features. Solar ~~It is recommended that solar panels should preferably~~ be located either in the backyard or on the garage roof in a way so that they are inconspicuous from the public right-of-way. If located on the garage they should be installed flat against the roof. They should not be installed on a house, but if they are, if installed on a house it is recommended that they should be inconspicuous and least visible from the public right-of-way. and They should be located at on the rear half of the house roof and should be installed flat against the roof.

Comment [JKS32]: PICKLE COMMENT 13 - Page 12: “Skylights:... They shall be flat in design so that they are close to the roof plane.” Does this mean that domed glazing is not permitted or that the skylight frame must be parallel to the roof plane? Would it be more appropriate to say “Skylight structures may not exceed XX inches in total height above the roof plane at any point.”?

STAFF RESPONSE: Text added to address this.

E. **Chimneys:** Repairs to chimneys should be made with in-kind materials to emulate original historic designs. Mortar should match original historic mortar in color, strength, joint width, and joint profile and composition.

Comment [SJ33]: BROPHY COMMENT 19 – Change text to read, “~~It is recommended that solar panels should preferably~~ be located either in the backyard or on the garage roof in a way so that they are inconspicuous from the public right-of-way. If located on the garage they should be installed flat against the roof. ~~They should not be installed on a house, but if they are, if installed on a house it is recommended that~~ they ~~should~~ be inconspicuous and least visible from the public right-of-way, and ~~should~~ be located at the rear of the house and should be installed flat against the roof.” Original ...

F. **Gutters:** New or replacement gutters should be of metal and should have a painted finish. Unpainted galvanized gutters are also permitted. Copper gutters must shall not be painted and shall be allowed to age naturally. Vinyl gutters are not permitted.

G. **Eaves:** New or replacement eaves must be constructed of wood or another material that is visually indistinguishable from painted wood from the street. Brackets shall be retained as well as other ornamental features. Wrapping eaves and covering soffits and fascia with vinyl or metal is not permitted. Wrapping with metal that replicates the appearance of underlying materials is permitted, though not encouraged, due to the tendency of metal seals to deteriorate, permit water infiltration, trap water, accelerate deterioration of underlying materials, and mask such deterioration. Installation of vents shall be done in a manner that is as inconspicuous as possible, small soffit vents may be allowed, however any vent installation is encouraged to be as invisible as possible.

Comment [SJ34]: BROPHY COMMENT 20 – Change text to read, “New or replacement eaves ~~must shall~~ be constructed of wood or alternate materials that provide substantially the same appearance and performance.” Allows flexibility in materials, if appropriate. For example, This Old House sometimes uses PVC trim boards as a material. ...

Porches

A. **Original Historic Material and Ornamentation:** Ornamentation should be repaired where practical, or else replaced with an equivalent reproduction.” No original material of ornamental quality shall be removed from porches unless it is deteriorated beyond the point of repair. It must then be replaced in kind.



Comment [SJ35]: BROPHY COMMENT 21 - Change text to read, “Wrapping eaves and covering soffits and fascia with ~~vinyl or metal is not~~ permitted. Wrapping with vinyl is not permitted.” Aluminum fascia and soffits are fairly common. Residents have voted in their favor by installing them. Metal fascia likely looks the same from the ...

Comment [JKS36]: PICKLE COMMENT 14 - Page 12/13: “Wrapping eaves and covering soffits and fascia with vinyl or metal is not permitted.” Why is this? Many homes have had aluminum applied to windows eaves, etc. As long as it’s properly maintained, it is visually indistinguishable from painted wood from the street. This seems ...

B. **Open Porches:** Many residences have open front porches. They shall function as such and shall not be enclosed with walls. Screening-in of porches may be acceptable;

Comment [JKS37]: BROPHY COMMENT 22 – Change text to, “~~No original material of ornamental quality shall be removed from porches unless it is deteriorated beyond the point of repair. It must then be replaced in kind.~~ Ornamentation should be repaired where practical, or else replaced with an equivalent reproduction.” These are not 1800 ...

however, any porch screen ~~must~~shall be well-detailed and designed to be easily removed with minimal harm to historic materials. This guideline applies also to back porches.

- C. **Rebuilt Porches:** If new porches are added, or ~~original~~historic porches are rebuilt, they should be in the spirit of the ~~original~~historic design. It may be an accurate restoration using historical, pictorial, and physical documentation. If this is not possible, it may be of a new design that is compatible with the size, scale, massing, material, and color of the historic structure. However, it should not create a false sense of history.
- D. **Railings and Columns:** Replacement railings and wood columns ~~shall~~should match the ~~original~~historic. ~~based upon historical documentation. If documentation does not exist~~If the ~~original~~historic is missing, they may be a new design that is compatible with the size, scale, material, and color of the historic structure. Wood is the preferred material for any replacement of deteriorated or missing porch material. ~~Alternate products that resemble wood, like composite wood, fiberglass, or steel products, can also be used~~However, in some instances, ~~composite wood, fiberglass, or steel products may be an acceptable substitute~~ if they can closely resemble the dimensions, texture, reveal, and appearance of wood.
- E. **Entry Steps:** If repaired or replaced, entry steps shall be of concrete, wood or brick construction, ideally replacing in-kind what they were historically.
- F. **Porch Reconstruction:** Reconstruction of missing porches is encouraged. Enclosed porches that were ~~original~~historically open are encouraged to be rehabilitated to be open.
- G. **Height Above Sidewalks:** All porches ~~must~~shall maintain a height of approximately 3-feet above the front sidewalk on street facing elevations.

Comment [JKS38]: BROPHY COMMENT 23 – Change text top read, "Replacement railings and wood columns shall should match the original. based upon historical documentation. If documentation does not exist, if the original is missing they may be a new design that is compatible with the size, scale, material, and color of the historic structure. Wood is the preferred material for any replacement of deteriorated or missing porch material. Alternate products that resemble wood, like composite wood products, can also be used." This was more important in Lowry Hill East where the porches are highly detailed. Homewood has little or nothing that matches that.

STAFF RESPONSE – Text amended to address this.

Comment [SJ39]: BRADLEY COMMENT 1 – Permit fiberglass or steel replacement materials.

STAFF RESPONSE – Text added to address this.



Windows

- A. **Preservation of Historic Windows:** Retaining and preserving windows, both their functional and decorative features, is important in defining the overall historic character of the district. ~~Every effort should be made to preserve~~Preserving all extant historic windows is highly encouraged. Maintaining the sash, frame, and glazing is recommended to avoid the costs of total

Comment [JKS40]: BROPHY COMMENT 24 – Change text to, "Every effort should be made to preserve. Preserving all extant historic windows is highly encouraged." What is "every effort"? IMHO it is not reasonable to tell someone they cannot replace their windows. Replacement windows that meet (E – Divided Lights) do not look particularly different from the street.

STAFF RESPONSE – Text amended to address this.

replacement. If it is within reason to salvage historic windows on contributing properties, it should be done. Replacing windows solely because of peeling paint, broken glass, stuck sash, and high air infiltration is not recommended. These conditions alone are often not evidence that the windows are beyond repair.

- A. Replacing Non-Historic Windows:** Designing and installing new windows when the historic windows (frames, sash and glazing) are completely missing is allowed. This is highly encouraged if the non-historic windows being replaced are not appropriate to the design of the building. If non-historic windows are not appropriate to the design of the building, replacement is encouraged. The replacement windows may be an accurate restoration using historical, pictorial, and physical documentation, or be of a new design that is compatible with the window openings and the historic character of the building. The replacement windows may be an accurate restoration using historical, pictorial, and physical documentation, or be of a new design that is compatible with the window openings and the historic character of the building. When replacing non-historic windows, replacement windows shall be either double-hung frames constructed of wood and have a painted finish unless they are to replace casement, or fixed-pane windows. Overall, replacement windows should be consistent with the architectural style and design of the building. Replacement windows shall match the original in proportion and size, material, texture, finish and other visual qualities. Vinyl replacement windows are not permitted. Wood clad, aluminum, fiberglass and other composite windows with high thermal performance may be acceptable. It is most important that replacement windows accurately conform to the visual appearance of painted wood.
- B. Replacement Windows:** Replacement windows shall match the historic in method of operation (such as double-hung) unless egress requirements necessitate a change in method of operation. Replacement windows shall match the historic in proportion and size, texture, finish and other visual qualities, and be consistent with the architectural style and design of the building. Windows are encouraged to be the same color as the trim. More flexibility should be exercised if the windows are not visible from the public right-of-way. Window construction shall be painted wood windows; wood, clad on the exterior with vinyl or a factory finish aluminum; composite; aluminum with a factory finish; or fiberglass. Vinyl is not recommended.
- C. Glazing:** Glass used in any replacement windows should be clear to match or complement the color and reflectivity of glass found in the residence and throughout the district. Low-E coatings may be used on the interior portion of the glazing, as long as the glazing appears clear from the exterior.

Comment [JKS41]: BROPHY COMMENT 25 – Change text to, "Designing and installing new windows when the historic windows (frames, sash and glazing) are completely missing is allowed. This is highly encouraged if the non-historic windows being replaced are not appropriate to the design of the building. If non-historic windows are not appropriate to the design of the building replacement is encouraged. The replacement windows may be an accurate restoration using historical, pictorial, and physical documentation, or be of a new design that is compatible with the window openings and the historic character of the building. When replacing non-historic windows, replacement windows shall be either double-hung frames constructed of wood and have a painted finish unless they are to replace casement, or fixed-pane windows. Overall, replacement windows should be consistent with the architectural style and design of the building. Replacement windows shall match the original in proportion and size, material, texture, finish and other visual qualities. Vinyl replacement windows are not permitted. Wood clad, aluminum, fiberglass and other composite windows with high thermal performance may be acceptable. It is most important that replacement windows accurately conform to the visual appearance of painted wood. Replacement windows shall match the original in type (such as double-hung), proportion and size, texture, finish and other visual qualities, and be consistent with the architectural style and design of the building. Windows shall be the same color as the trim. REPLACEMENT WINDOWS Replacement windows should have high thermal performance. More flexibility should be exercised if the windows are not visible from the public right-of-way. Window construction shall be painted wood windows (like historic originals); wood, clad on the exterior with vinyl or a factory finish aluminum; Composite; aluminum with a factory finish; or fiberglass. Vinyl is not recommended. For vinyl and vinyl clad consider color fade and product lifespan. Several sources say vinyl may get brittle." "Replacement windows" applies to both historic and non-historic sections The list of window construction is all the types I am aware of. What is "finish"?

STAFF RESPONSE – Text amended to address this.

Comment [SJ42]: BROPHY COMMENT 62 - page 14 to 15, there is no "D" heading - re-letter what follows? or you could add "D. Exterior Doors: Extant Mezuzahs must not be removed. Replacement is encouraged using Mezuzahs that match the size, material, color and appearance of those used in the historical period." (there should be at least one guideline in keeping with Jewish social history?)

STAFF RESPONSE – Lettering corrected.

D. Divided Lights: Divided lights are a prominent feature within the district. When restoring historic windows, or when installing replacement windows, if the historic division of lights is known, new windows should replicate this feature. If this is unknown, it is recommended to use a simple one-over-one double hung window. Divided lights should be of wood with a painted finish or of a material that accurately conforms to the visual appearance of wood painted windows. Applied muntins and interstitial spacers are an acceptable way to replicate this feature in a replacement window.



Divided lights, a feature that is common within the district

E. Decorative Glass: All original historic cut glass, stained glass or decorative glass shall be retained.

F. Replacement Storm Windows: Replacement or new storm windows should be constructed of wood and have a painted finish. Aluminum or metal storm windows are permitted if they are painted to complement the surrounding trim and provide a flush appearance that minimizes shadow lines, to best resemble historic wood storm windows. Storm windows should have a color that complements (same color or harmonious contrasting color) the surrounding trim. Window construction shall be: painted wood windows (like what was historically installed); painted wood windows, like above, with a factory finish aluminum window & screen mechanism; factory finish aluminum or other metal windows that are essentially flush with the surrounding window trim. Storm windows shall provide a flush appearance that minimizes shadow lines, to best resemble historic wood storm windows.

Scholarly, peer-reviewed research has shown that restored wood windows made prior to WW II, even in a deteriorated condition, when used in combination with a storm window, achieve an ENERGYstar rating or better, and can last for up to 100 years after being restored.¹

Wood storm windows from the period of significance



F.G. Window Alterations: Removing or radically changing windows or sash type so that the character is diminished as a result is not permitted. Changing the number, location, size or glazing pattern of windows, through cutting new openings, blocking in windows, and installing replacement sash that do not fit the historic window openings is also not permitted. Changing windows on a façade of a residence that is not visible or hardly visible from the public right-of-way may be permitted if there is compelling reason in which to do so. Changing windows that alter a façade facing a public right-of-way shall be permitted if there is a compelling reason for the change. Flexibility shall be used in changing windows on a façade of a residence that is not visible or hardly visible from the public right-of-way. Wrapping window trim with metal that replicates the appearance of underlying materials is permitted, though not encouraged, due to the tendency of metal seals to deteriorate, permit water infiltration, trap water, accelerate deterioration of underlying materials, and mask such deterioration.

Comment [JKS43]: BROPHY COMMENT 26 – Change text to read, "Replacement or new storm windows should be constructed of wood and have a painted finish. Aluminum or metal storm windows are permitted if they are painted to complement the surrounding trim and provide a flush appearance that minimizes shadow lines, to best resemble historic wood storm windows. Storm windows should have a color that complements (same color or harmonious contrasting color) the surrounding trim. Window construction shall be painted wood windows (like what was historically installed); painted wood windows, like above, with a factory finish aluminum window & screen mechanism; factory finish aluminum or other metal windows that are essentially flush with the surrounding window trim. Acceptable but not encouraged older style aluminum windows that are attached nearer the prime window and are not flush with the trim. They shall mount on the blind stop (near the glass), not on the trim (outer surface) It is recommended that these windows have a factory painted finish."

Comment [SJ44]: BROPHY COMMENT 2 - The ultimate stupid idea. Residents have overwhelmingly voted against this by replacing wood storms. Ignored in the proposal is that for ventilation you need to tilt the bottom out, as in the picture conveniently provided on page 15. That doesn't work so good with mosquitoes, so unless you have air conditioning and don't open your windows you need a set of painted wood screens and swap to screens in the spring and back to storms in the fall. The ultimate in high

Comment [SJ45]: BROPHY COMMENT 1 - Are these combination windows and multitrack so the storm window section slides up and stores to expose the screen section?

STAFF RESPONSE – They can be.

Comment [JKS46]: BROPHY COMMENT 27 – change text to read, "Removing or radically changing windows or sash type so that the character is diminished as a result is not permitted. Changing the number, location, size or glazing pattern of windows, through cutting new openings, blocking in windows, and installing replacement sash that do not fit the historic window openings is also not permitted. Changing windows on a façade of a residence that is not visible or hardly visible from the public right-of-way may be permitted if there is

Comment [SJ47]: BROPHY COMMENT 59 - I would like to consider covering door and window trim with aluminum. It is an option with Anderson replacement windows. And my kid is doing it soon with some? All of his windows. I am not entirely fond of it. If there is an edge-band around the trim the detail is muted. And if not done right it may result in rot. There are a couple places I would like to research it, and haven't yet.

¹ "Life Cycle Assessment of Residential Windows: Saving Energy with Window Restoration," Katherine M. Switala-Elmhurst, Ph.D. Candidate, LEED AP and Philip D. Udo-Inyang, Ph.D., PE, Temple University Philadelphia, PA, 2014.

G.H. Basement Windows: Many basement windows throughout the district have been infilled with glass blocks. While glass blocks were available during the period of significance, their use was uncommon in residential buildings until after the period of significance. Nevertheless, district homeowners have requested these less visible entries into homes be improved for greater security, therefore, replacing historic and nonhistoric basement windows with glass blocks is not encouraged, but is permitted installing glass blocks is not an appropriate treatment for basement windows. Any replacement of non-historic or deteriorated basement windows shall have a sash that is wood with a painted finish, or a. Other replacement windows shall utilize a material that has the appearance of painted wood. Glazing shall be clear to be compatible with the district.

Comment [JKS48]: BROPHY COMMENT 28 – Change text to read, “Many basement windows throughout the district have been infilled with glass blocks. While glass blocks were available during the period of significance, their use was uncommon in residential buildings until after the period of significance, therefore, installing glass blocks is not an appropriate treatment for basement windows. Any replacement of non-historic or deteriorated basement windows shall have a sash that is wood with a painted finish, or a material that has the appearance of painted wood. Glazing shall be clear to be compatible with the district.”

Comment [JKS49]: PICKLE COMMENT 15 - Page 15, I. Basement Windows. There appears to be no wiggle room on glass block windows, even though it is noted that glass blocks were available (although uncommon) during period of significance. Would highly recommend adding it to the list of permitted materials.

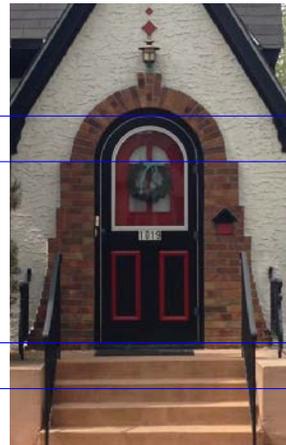
Foundations

- A. Cladding:** Cladding material should not be used to cover up existing limestone or rock-faced concrete block foundations. Brick veneer used as a cladding on concrete foundations should be preserved.
- B. Foundation Replacement:** If a damaged foundation is to be completely replaced, and is constructed of site cast concrete or concrete blocks, the exterior part of the foundation that is exposed below the cladding shall should have a limestone, brick, or rock-faced veneer to replicate the appearance of the original historic foundation where applicable. Historic foundation cladding material should be preserved whenever possible and incorporated into the rehabilitation work. The existing height above the sidewalk should be maintained to be consistent with this design element that in the district.

Comment [JKS50]: BROPHY COMMENT 29 – Change text to read, “If a damaged foundation is to be completely replaced, and is constructed of site cast concrete or concrete blocks, the exterior part of the foundation that is exposed below the cladding shall should have a limestone, brick, or rock-faced veneer to replicate the appearance of the original historic foundation where applicable. Historic foundation cladding material should be preserved whenever possible and incorporated into the rehabilitation work. The existing height above the sidewalk should be maintained to be consistent with this design element that in the district.”

Doors

- A. Preserving Original Historic Doors:** Original Historic exterior doors and transoms shall should be retained where practical, especially on facades that are visible from the public right-of-way.
- B. Replacement Doors:** New or replacement doors shall should be an accurate replacement of the historic door, or and if this is not known, they shall be made out of solid wood, or have the appearance of solid wood, and should incorporate design elements such as raised panels, or other elements that are compatible with the structure. Doors shall have a painted, stained or natural wood finish.
- C. Door Openings:** Existing door openings shall should be retained. Enlarging or reducing door openings that are visible from the street to fit stock door sizes shall not be permitted, though minor reductions in the door opening area to permit a stock door of very close size shall be permitted when odd size custom doors would otherwise be required. Alterations to the rear of the structure or other portions of the structure that are not visible from the public right-of-way will be reviewed with greater flexibility in comparison to the more visible portions. Wrapping door trim with metal that replicates the appearance of underlying materials is permitted, though not encouraged, due to the tendency of



1019 Russell Ave N

Comment [JKS51]: BROPHY COMMENT 30 – Change text to read, “Original exterior doors and transoms shall should be retained where practical, especially on facades that are visible from the public right-of-way.”

Comment [JKS52]: BROPHY COMMENT 31 – Change text to read, “New or replacement doors shall should be an accurate replacement of the historic door, or if this is not known, they shall should be made out of solid wood and should incorporate design elements that are compatible with the structure.”

Comment [JKS53]: PICKLE COMMENT 16 - Page 16: The requirement that doors be made of solid wood seems superfluous. Composite/veneer doors can have an appearance indistinguishable from wood from the street. Also, given the concerns residents may have about security, steel doors should be permitted.

Comment [JKS54]: BROPHY COMMENT 32 - Change text to read, “Existing door openings shall should be retained. Enlarging or reducing door openings to fit stock door sizes shall not be permitted should be avoided where practical. Changes that are made should use a close stock door size.”

Comment [JKS55]: PICKLE COMMENT 17 - Page 16: “Enlarging or reducing door openings to fit stock door sizes shall not be permitted.” Given the costs of custom door manufacture this doesn't seem realistic for many residents.

Comment [SJ56]: BROPHY COMMENT 60 - I would like to consider covering door and window trim with aluminum. It is an option with Anderson replacement windows. And my kid is doing it soon with some? All of his windows. I am not entirely fond of it. If there is an edge-band around the trim, that would be better.

[metal seals to deteriorate, permit water infiltration, trap water, accelerate deterioration of underlying materials, and mask such deterioration.](#)

Decks

- A. **Decks:** Decks shall be visually refined and integrated into the overall design of the structure. They shall not be located on any primary façade or other elevation of the building that is visible from the public right-of-way. [A raised deck projecting from a side wall generally appears disjointed from the overall design and is generally unacceptable.](#) Decks, [to include handrails, should handrails, should](#) be constructed out of painted or stained wood finish or of a material that recreates the appearance of painted [or stained wood](#). Patios are acceptable as alternatives to decks. [When using alternative materials, a false, raised wood grain is not permitted.](#)

Stairs

- A. **Egress Stairs:** Exit stairs added to dwellings shall be located at the rear when possible or be located on a façade that is least visible from the public right-of-way. They shall be visually refined and of painted or stained wood finish, or of painted steel to complement the character of the district.

Landscaping

- A. **Public, Semi-Public, Semi-Private and Private Space:** Open space in Homewood that can be experienced from the public right-of-way is divided into public, semi-public, semi-private and private space. The public space of the street boulevards and sidewalk is distinguished from the semi-public space of the front yard typically by a change in grade, cultivated plantings and occasionally a visually open fence or retaining wall. Boulevards are tree-lined, planted with turf grass and perennials. While these elements are common to many residential neighborhoods of Minneapolis, they add visual appeal to the district. The ongoing maintenance of these semi-private and semi-public spaces on the part of property owners is highly encouraged.

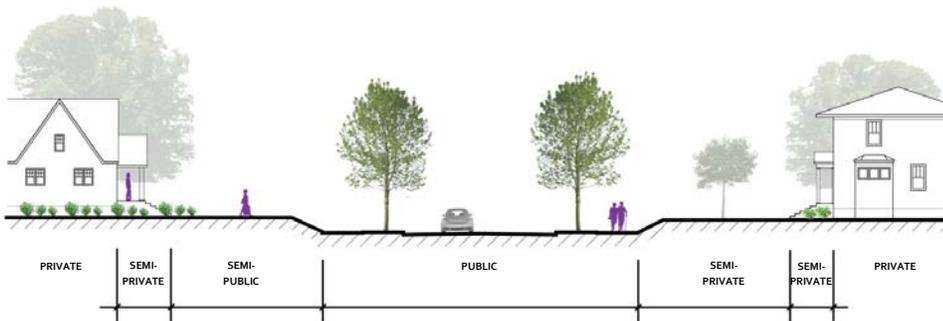


Figure #2. Landscape and Streetscape

Comment [JKS57]: BROPHY COMMENT 33 - Change text to read, "They shall not be located on any primary façade or other elevation of the building that is visible from the public right-of-way. They shall not be located on the façade facing the public right-of-way. A location that is not visible from the public right-of-way is preferred. Decks may be at a 2nd floor level, or as additions to a roof." Where decks are practical to build depends on the house floor plan. Second floor/roof - adapted from the Lowry Hill East guidelines. My house had a historic-period 2nd floor deck.

STAFF RESPONSE - Text amended.

Comment [JKS58]: BROPHY COMMENT 34 - Change text to read, "A raised deck projecting from a side wall generally appears disjointed from the overall design and is generally unacceptable." Most decks are a raised deck projecting from a wall. The corner house behind me has an added deck on the side of the house and on the same side as the 2nd street, and I think it looks OK.

STAFF RESPONSE - Text deleted.

Comment [JKS59]: BROPHY COMMENT 35 - Change text to read, "Decks should be constructed out of painted or stained wood finish or of a material that recreates the appearance of painted wood. Metal railings may be appropriate, particularly for small decks. Patios are acceptable as alternatives to decks." I assume that "recreates the appearance of painted wood" here and elsewhere does not require the phony wood grain some of these materials have. My painted wood surfaces do not have wood grain showing through.

STAFF RESPONSE - Text amended to address issue.

Comment [SJ60]: BRADLEY COMMENT 2 - Permit products that recreate the appearance of stained wood.

STAFF RESPONSE - Text added to address this.

B. Farwell Park: This area is the public space in the neighborhood; it is an amenity and shall always remain an open space. While the park itself does not retain any historic buildings or infrastructure dating to the period of significance, its original plat and design are largely intact. The original plan by Morell & Nichols shows that trees should be planted about 30 feet apart around the perimeter of the park, with clusters of vegetation within in the park. In the original plan a children’s play area is specified, so the existing playground area is entirely appropriate to maintain and update. The design of this park is in line with the trend of the time to create landscapes in the spirit of the English garden, which moved away from more formal and symmetrical designs.

C. Stone Street Markers: The stone street markers should be maintained by their owners and permits should be easily acquired for their maintenance. New Missing pillars markers may be built/reconstructed based on documentary and physical evidence, they should be compatible with the existing historic stone street markers, but must be somehow differentiated to include historical photos and maps of other street markers in this mostly homogeneous set.

D. Plantings / Vegetation: Trees, low shrubbery and perennial plantings are encouraged in the front yards as they add beauty and character to the district, however they should not dominate. No tall hedge rows that obscure views of the structure are permitted in front yards. In general, front yards are sodded near the sidewalk and the flat area in front of houses should be retained, overall this creates a terraced effect that is found throughout the district. No drastic excavating is permitted in front yards (see figure 2). Dying trees should be removed and replanted with similar species.

E. Street Lighting: There appear to be no streetlamps that date to the period of significance within the district. Any new street lights should be of a historically appropriate design.

F. Retaining Walls: Retaining walls that retain natural grade are permitted so long as they are constructed out of brick, ~~or stone.~~ Landscaping timber, modern retaining wall blocks, and concrete blocks are not permitted as materials for the construction of retaining walls. Landscaping timber and modern retaining wall blocks are permitted, but not encouraged, as materials for the construction of retaining walls.

G. Screening: Landscaping elements such as shrubs should be used to screen mechanical equipment such as vents or air-conditioning units, especially if these already exist and are noticeable from the public right-of-way.

H. Mature Trees: Mature trees should be protected. Every reasonable effort should be undertaken to protect mature trees, especially during any construction.

Fences

A. Front Yard: Fences, if they are constructed in the front yard, should be low in height and visually permeable should not obscure views of the fronts of buildings from the street. Opaque fences are not permitted in the front of the property. It is recommended that fences be made of wrought iron,

Comment [JKS61]: PICKLE COMMENT 18 - Page 17 - C., Stone Street Markers. It is unclear what the last sentence is talking about. Is it saying that if someone wants to "recreate" a stone pillar at a corner when it currently is missing, that they may do so but that they can't make it look exactly like a historic one? I'm not sure why that would be an issue. More clarification of intent is needed here.

STAFF RESPONSE – Text added to address this.

Comment [JKS62]: BROPHY COMMENT 36 - Delete, "The stone street markers should be maintained and permits should be easily acquired for their maintenance." Needs to be rewritten. "Shall be maintained" by who? Markers are partly or entirely outside property lines and on city property. Does the city allow their construction? Does the city accept the liability?

STAFF RESPONSE - Text amended to address issue.

Comment [JKS63]: BROPHY COMMENT 37 – Change text to read, "New pillars may be built based on documentary and physical evidence, they should be compatible with the existing historic stone

Comment [JKS64]: PICKLE COMMENT 19 - Page 18 - D, Plantings/Vegetation. The note at the end of this section that "Dying trees should be removed and replanted with similar species." is too vague. What does "similar" mean - similar shape and size? If it means actually the same genus and

Comment [JKS65]: BROPHY COMMENT 38 – delete this text, "No drastic excavating is permitted in front yards (see figure 2)." Could be - but I have no idea what this applies to.

STAFF RESPONSE - Text deleted.

Comment [JKS66]: BROPHY COMMENT 39 – Delete this section. First a discussion of what ongoing costs will be. Last I heard decorative street lighting came with a monthly(?) charge.

Comment [JKS67]: BROPHY COMMENT 40 – Change text to read, "Retaining walls that retain natural grade are permitted so long as they are constructed out of brick, ~~or stone,~~ modern retaining wall blocks, or poured concrete. Cement block with a thin surface coat to create a smooth surface are

Comment [JKS68]: PICKLE COMMENT 20 - Page 18: Retaining Walls... Concrete blocks are prohibited as a material. Can we be more descriptive? Are concrete landscaping blocks also prohibited or just "cinder block" style blocks? The preceding sentence seems to indicate that all

Comment [JKS69]: PICKLE COMMENT 21 - Fences... "should be low in height" is vague. Can it read "should not exceed 42 inches above grade" or something that gives more specific guidance?

STAFF RESPONSE – Text added to address this.

mild steel or wood. Ornamental bent wire fencing is encouraged over use of chain link fencing. Chain link fencing does date to the period of significance and is permitted; however, residential use of chain link fencing was not common before WWII. Plastic and vinyl fences are not permitted, but other composite materials may be allowed if they resemble painted wood with a low-gloss finish.

- B. Back Yard and Side Yards:** Tall opaque fences are permitted towards the rear of the lot and may be installed in the side yards.

Comment [JKS70]: BROPHY COMMENT 41 – Change text to read, Plastic and vinyl fences are not also permitted." I know of no original wrought iron or mild steel fences in Homewood. What is the argument against plastic/vinyl, particularly when chain-link is allowed.

STAFF RESPONSE – Text amended to create greater flexibility but not to eliminate prohibition of vinyl and plastic fences. Vinyl is brittle, melts easily, fades quickly, cannot withstand reasonable loads, and was not available during the district's period of significance. Fences are generally installed along property lines and thus become highly visible from the sidewalk. Chain link fences are cheaper, wood fences look better, and both were available during the period of significance.

Comment [JKS71]: PICKLE COMMENT 22 - Fences..." Plastic and vinyl fences are not permitted". Is this meant to include all composite materials?

STAFF RESPONSE –No. Text added to address this.

Comment [SJ72]: BRADLEY COMMENT 3 – Why not? Vinyl should be permitted on fences, gutters, downspouts, and garages.

STAFF RESPONSE – Vinyl is brittle, melts easily, fades quickly, cannot withstand reasonable loads, and was not available during the district's period of significance. Fences are generally installed along property lines and thus become highly visible from the sidewalk. Chain link fences are cheaper, wood fences look better, and both were available during the period of significance.

Comment [JKS73]: BROPHY COMMENT 42 – Delete this text, and change "Differentiation" title. "Differentiation: New additions should be designed in a manner that makes clear what is historic and what is new." The Sistine Chapel syndrome. We don't have historic 1800 houses. If someone wants to build an addition that looks like it was part of the original I am all for it. Change "Differentiation" title.

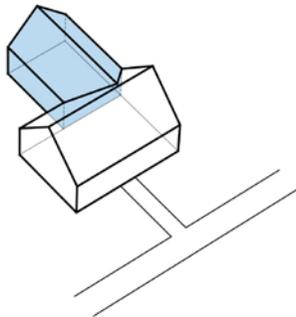
STAFF RESPONSE – Text amended to explain the important preservation goal being sought by this standard.

Comment [JKS74]: PICKLE COMMENT 23 - Page 19: "New additions should be designed in a manner that makes clear what is historic and what is new." This seems somewhat contradictory to the overall goal of preserving the historic character. Can we elaborate on why an addition should NOT appear to be part of the original structure? It seems as though this would be desirable.

STAFF RESPONSE – Text added to address this.

Additions

- A. Preservation of Historic Material:** Any additions should be constructed in a manner where there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged or destroyed.
- B. Differentiation:** New additions should be designed in a manner that makes clear what is historic and what is new to avoid fooling viewers into thinking the additions are historically important while ensuring they do not stand out like twenty-first century construction. Additions should be compatible, subordinate, reversible and inconspicuous with limited visibility from the public right-of-way. Generally, additions to the front and to street-facing elevations would have a substantial adverse impact and would not be appropriate.



Additions should be subordinate to the primary structure; they should be inconspicuous, differentiated and well designed in order to complement the main structure

NEW INFILL CONSTRUCTION – PRIMARY BUILDINGS

General Principles

Any new construction should be compatible within the urban fabric of the district, allowing the historic buildings to be featured. These guidelines for new infill development focus on the most obvious visual characteristics found in the district, and encourage new construction to conform to these standards. However - a good design is always an exception.

Massing and Height

- A. **Massing:** New construction should conform to the general massing, height, volume and scale of the surrounding structures (See Figure #3).
- B. **Compatible Height:** ~~New construction should be, in general, no taller than the average height of the structures on the block face.~~ New infill construction should be one, to one-and-a-half, two to two and-a-half stories tall and specific to its immediate surroundings by being no taller or shorter than a half story in comparison to the majority of the residences on the block face in question. Homewood should retain a mix of housing sizes.

Comment [JKS75]: PICKLE COMMENT 24 - Page 20: "New construction should be, in general, no taller than the average height of the structures on the block face." I think this sentence is redundant given the more specific guidance in the sentence that immediately follows.

STAFF RESPONSE – Text left in for emphasis.

- C. **Foundation Heights:** Foundations on new houses should be set approximately 3 feet above the existing front sidewalk to harmonize with the existing foundation heights in the district, as dictated by the spirit of the original building restrictions in Homewood.

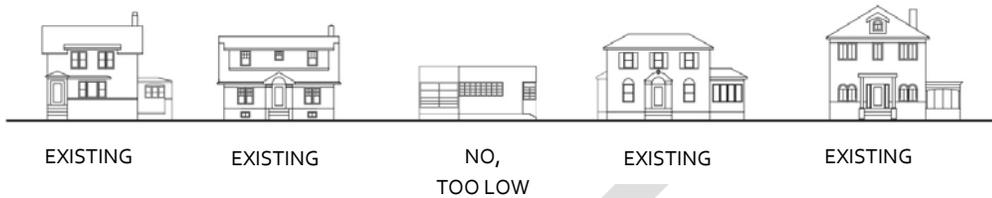
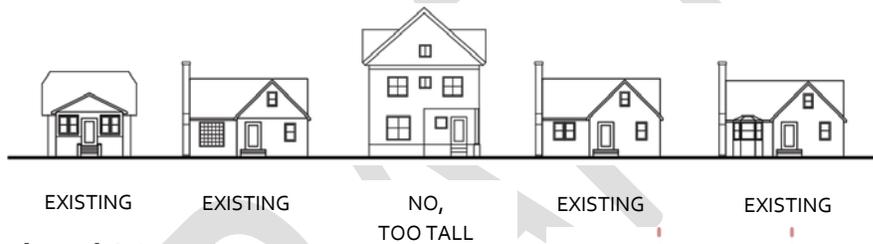


Figure #3. Massing and height



Setbacks and Orientation

Figure #4. Massing and height

1. **Average Setback:** New structures shall be built in line with existing structures on the block face and a minimum 35-foot setback. Homewood originally was designed with 35-foot minimum setbacks from the sidewalk and 3-foot setbacks from the northern property line. This element is found consistently throughout the district.

Roof Pitch

- A. Roof pitch should complement the roof pitches found in the district. There are a wide variety of roof pitches found in Homewood that range from low to high. In general, flat roofs would not be appropriate in the R1 and R2B zoned areas.

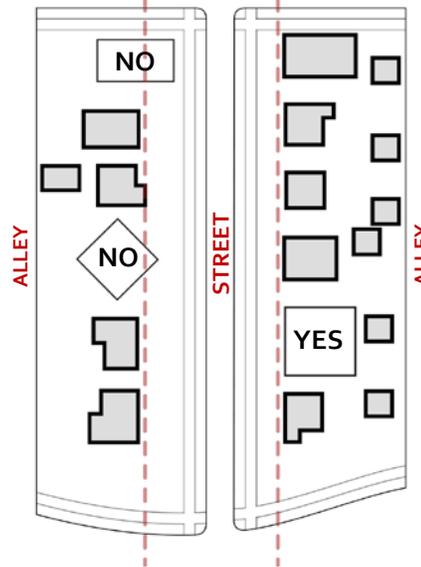


Figure #5. Building setbacks generally align

Rhythm and Directional Emphasis

- Vertically Oriented Elements:** In Homewood, the use of vertical façade elements is an element of order within a great amount of variety. Depending on the size of the lot, some buildings may be somewhat wider and longer than they are tall, but they should incorporate vertical elements into the overall design. Similarly, while the Prairie style places emphasis on the horizontal, it still uses window proportions that are taller than they are wide, but may group these windows into ribbons that create a horizontal effect in tandem with other architectural elements such as an elevated water table. The design of new construction should consider engaging this existing language that is found throughout the district (See Figure #6).

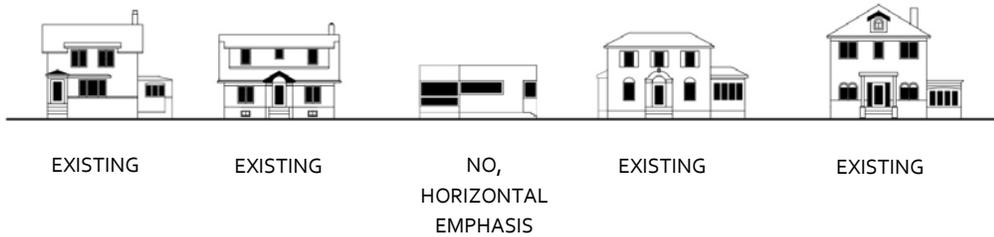


Figure #6. Directional emphasis and rhythm

- Building on Multiple Lots:** ~~Combining lots is not permitted. Building a single structure on two lots is not permitted. Any future infill construction must conform to the guidelines for height, mass and setbacks (See Figure #7).~~

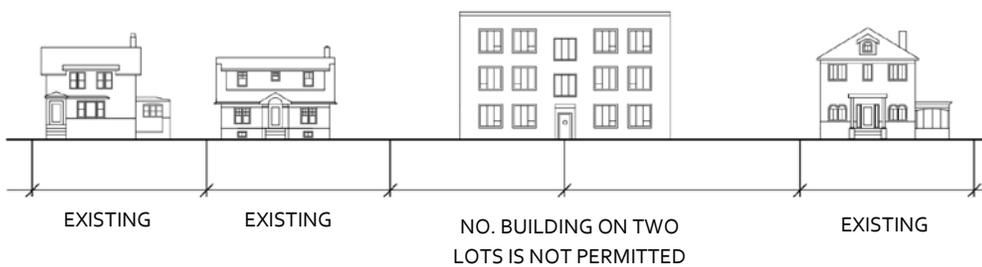


Figure #7. Building on multiple lots

Comment [SJ76]: BRADLEY COMMENT 4 – Permit combinations of all lots except R1 zoned lots.

STAFF RESPONSE – Text deleted to address this.

Comment [JKS77]: PICKLE COMMENT 25 - Page 22: "Combining lots is not permitted. Building a single structure on two lots is not permitted." What is the rationale for this given the very large lots with single structures on the western side of the district? It appears that single homes on larger-sized lots was common an appropriate for the period and location.

STAFF RESPONSE – Text deleted to address this.

Materials and Details

- 1. Continuity of Design and Materials:** There is an overall thread of continuity provided by the materials and ornamental details that were used in the district during the period of significance. Materials and details of new construction should relate to those found in the district. Stucco, brick, stone, wood, and concrete may be used in traditional or even innovative new ways. Other materials may be used so long as they are compatible with the district and do not detract from the historic architecture.
- 2. Ornamental Details:** The replication or incorporation of ornamental details in new buildings is not required or even encouraged. Future designers of new buildings in the district should attempt to understand how details were used on historic buildings in the district and are encouraged to invoke thoughtful use of these details to provide visual compatibility to the facades of new buildings. The use of details shall be appropriate to the design perspective of any proposed building and should not try to exactly replicate historic designs.
- 3. Exterior Cladding Materials:** Stucco cladding is the most prevalent historic cladding material in the district and its use is encouraged. Brick and brick veneer is common throughout the district and its use is encouraged. Narrow horizontal wood siding and wood shingles are also found throughout the district and the use of this material in new construction is also permitted. Diagonal siding is generally unacceptable; however, incorporation of some vertical siding elements may be considered as a way to differentiate between what is old and what is new. ~~As guidance, materials available from the period of significance should be given first consideration in any new infill construction, and using these materials in ways that are compatible with, but do not replicate historic styles is encouraged.~~

Comment [JKS78]: BROPHY COMMENT 43 – Change text to read, “The use of details shall be appropriate to the design perspective of any proposed building and should not try to exactly replicate historic designs.” The Sistine Chapel syndrome. If someone wants to build a new house that looks like an original “contributing” house I am all for it.

STAFF RESPONSE – No change made. An important preservation principle is compatibility. Additions and new construction should be designed in a manner that makes clear what is historic and what is new to avoid fooling viewers into thinking the additions are historically important while ensuring they do not stand out like twenty-first century construction. Adding anachronistic ornamental details to new construction/additions can lead viewers into believing a new building is historic. We want to avoid this.

Comment [JKS79]: BROPHY COMMENT 44 – Change text to read, “As guidance, materials available from the period of significance should be given first consideration in any new infill construction, and using these materials in ways that are compatible with but do not replicate historic styles is encouraged.” The Sistine Chapel syndrome. If someone wants to build a new house that looks like an original “contributing” houses I am all for it.

STAFF RESPONSE – Change made.

Windows

- 1. Window Ratios:** Contributing resources within the district have windows that are generally taller than they are wide, and have a vertical height orientation and an approximate height to width ratio that ranges from 2:1 to 3:1. Windows in new construction should maintain this vertical orientation within the scheme of an overall design (See Figure #8).
- 2. Window Shape:** Individual windows may be square or circular in shape if the overall configuration of windows conveys a vertical height orientation on primary facades that can be seen from the public right-of-way.
- 3. Operable Windows:** Wooden double hung-windows with a painted finish are common in the district. Wooden crank-out casement windows with a painted finish are also common in the district. These types of windows should be used in new construction. Other modern windows may be considered as long as the overall design is compatible with the character of the district.
- 4. Window Setback:** Windows should be slightly set back from the façade in order to create a reveal, a feature commonly found throughout the district.

- 5. **Traditional Details:** Incorporating elements that are found throughout the district, such as window trim, divided lights, decorative brick, and tilework is recommended. Articulating them in new, but compatible ways with traditional detailing is encouraged.
- 6. **Glazing:** Clear glass or glass with non-reflective coatings shall be used to complement the surrounding buildings in the district.

Materials: ~~Aluminum and fiberglass are acceptable window materials provided they have a finish that complements windows found throughout the district. Vinyl windows are not permitted. Windows should have a finish that complements windows found throughout the district. Window construction shall be painted wood windows; wood, clad on the exterior with vinyl or a factory finish aluminum; composite; aluminum with a factory finish; or fiberglass. Vinyl is not recommended.~~

- 7. **Contemporary Designs:** Sliding glass doors, large picture windows and horizontally oriented windows should not be visible from the public right-of-way. Generally, if included in a design they should be located at the rear of the building.

Comment [JKS80]: BROPHY COMMENT 45 - Change text to read, "Aluminum and fiberglass are acceptable window materials provided they have a finish that complements windows found throughout the district. Vinyl windows are not permitted."
 Windows should have a finish that complements windows found throughout the district. Window construction shall be painted wood windows (like historic originals); wood, clad on the exterior with vinyl or a factory finish aluminum; composite; aluminum with a factory finish; or fiberglass. Vinyl is not recommended.
 STAFF RESPONSE – Text amended.

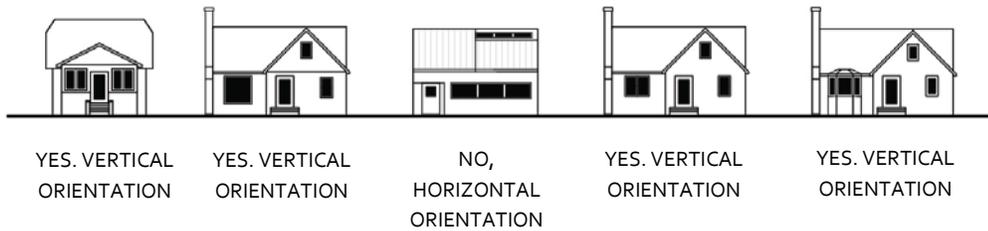


Figure #8. Windows and window ratios

Doors

- A. **Exterior Doors:** Wood exterior doors are encouraged. They may incorporate elements such as raised panels, or other elements that are compatible with the district. Steel doors are permitted. Doors shall have a painted, stained or natural wood finish. If exterior storm doors are used they should complement the main exterior door and the structure.

Porches

- A. **Open Porches | Front Patios | Entry Element:** For all new construction, some suitable design element that provides an entry transition is required recommended. This may be an open front porch, a small vestibule, a three-season porch, a front patio or a simple entry pediment. This establishes a transitional zone from the public space of the street to the semi-private and private spaces in front yards that are part of the spatial configuration of the district. Porches may be screened-in if well detailed and if the screen element is easy to remove. Enclosing porches with windows or walls is not permitted. Porches should be 3-feet above the sidewalk on front elevations.
- B. **Materials:** Porches and entry elements should be constructed of wood. They may also be constructed with brick or stone and alternate products that resemble wood like composite wood products. ~~In some instances, composite wood products may be an acceptable substitute if it can closely resemble the appearance of wood.~~
- C. **Vertical Orientation:** The vertical elements of any porch roof should carry the actual and visual weight of the porch roof. The balustrade should relate to the solid-to-void ratio found in the district.

Landscaping

- A. See previous landscaping section A on page 17. In any new construction, it is recommended that front yards ~~should~~ be defined by a change in grade and plantings as found throughout the district. Trees and vegetation should not obscure the front of the house from the street.

Comment [SJ81]: BRADLEY COMMENT 5 - Permit steel doors.

STAFF RESPONSE – Text added to address this.

Comment [JKS82]: BROPHY COMMENT 47 – Change “required” to “recommended.” I believe there are many houses that do not have an “entry transition”. This sounds like an urban planner good design idea.

STAFF RESPONSE – Change made.

Comment [JKS83]: BROPHY COMMENT 48 – Change text to read, “Porches and entry elements should be constructed of wood. They may also be constructed with brick or stone. and alternate products like composite wood products that resemble wood. ~~In some instances, composite wood products may be an acceptable substitute if it can closely resemble the appearance of wood.~~”

STAFF RESPONSE: Text amended.

Comment [JKS84]: BROPHY COMMENT 49 – Change text to read, “In any new construction, it is recommended that front yards should be defined by a change in grade and plantings as found throughout the district.” There are plenty of existing houses that do not have “a change in grade and plantings”. This sounds like an urban planner good design idea.

STAFF RESPONSE – Changes made. The Homewood plat did state that the tops of foundations should be elevated at least 3’ above the sidewalk.

Comment [SJ85]: BROPHY COMMENT 58 - New construction –new item to add: “The distance from the edge of the eaves of a garage (not including gutter) to the property line shall be 6” or more. There shall be no further restriction if the eaves are over 6” wide. This shall override zoning requirements.” Randal Bradley commented on the same thing. I recently replaced a garage. I wanted the eaves to match the old, and surrounding, garages. The contractor said he was told by zoning that if the eaves were 6” or less the distance from the garage (not eaves) to the property lines is minimum 1’. If the eaves were over 6” the distance from the garage to the property line is minimum 3’. As a result I have 6” eaves which I really did not want. The proper solution is to change zoning. If not, my understanding is that the design guidelines can override zoning.

STAFF RESPONSE – No changes made. Design Guidelines do not invalidate zoning code requirements, and vice versa. The zoning code currently permits this scenario. Detached garages meeting certain basic standards (positioned in the rear 40’ of the lot and at least 10’ from adjacent residences, etc.) may be built as close as 1’ from property lines. Eaves may be as close as 6” from the property line, regardless of how wide the eaves are.

NEW INFILL CONSTRUCTION – GARAGES

New garages should be compatible with other garages on the block face to ensure compatibility and simplicity of these secondary buildings. When replacing a non-contributing garage to a contributing house, the existing garage may be used as a design precedent.

- Roof Pitch:** The roof pitch ~~shall~~ should be consistent with the primary roof pitch of the design of the main residence ~~and or~~ surrounding garage roof pitches (See Figure #11). In general, gabled, low-pitched hipped and pyramidal roofs are appropriate, as they are the most common roof shapes in the district. Furthermore, the roof pitch of a new garage should harmonize with the roof pitches of other garages found adjacent to the alley. Most detached garages in Homewood are simple structures with low-pitched hipped and pyramidal roofs.
- Garages:** Garages may be detached from the main structure, they may be attached to the rear of the residence or they may be tucked under the rear of the residence. Front-facing, attached garages are not permitted. New front curb cuts will shall not be constructed if there is no historical precedent.
- Garage Access from Alley:** If an alley is adjacent to the lot, any new garage should be accessed from the alley. (See Figure #9).

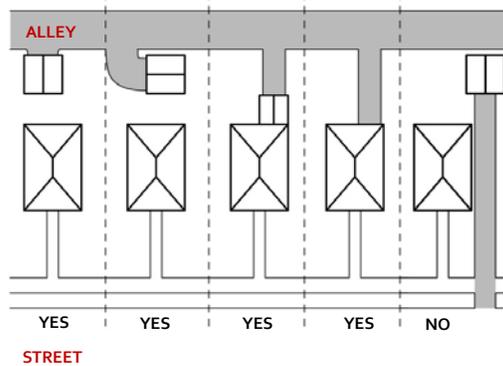
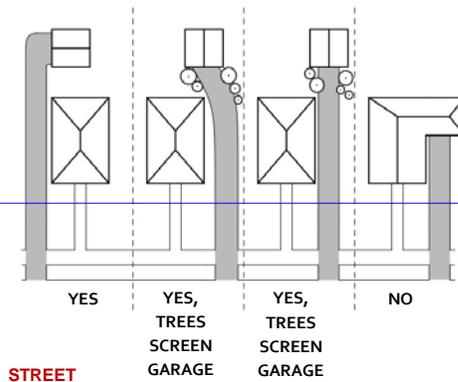


Figure #9. Garage access from alley

- Garage Access from Street:** Only when alleys do not exist are curb cuts acceptable. If feasible, garages should be located towards the back of the lot. They should be positioned entirely, or partially behind the ~~principle~~ principal structure. If this is not possible, using plantings as a visual screen to soften the visual appearance of the garage from the street is encouraged (See Figure #10).



Comment [JKS86]: PICKLE COMMENT 26 - Page 25/26, Garages - We would vote for more flexibility in the garage construction designs. Most garage in our neighborhood have been replaced anyway, and are non-contributing. It appears that at the beginning of the Garage section on Page 25 that if you're replacing a non-contributing garage you can use the existing structure as a design, but what if you want to change things a bit (keep the double-wide door, but also change the roof pitch)? I would like there to be more flexibility on garages (replacing either contributing or non-contributing garages) - cladding, type, etc., if they are not visible from the street and sidewalks.

STAFF RESPONSE – Changes made to increase options available to homeowners.

Comment [JKS87]: BROPHY COMMENT 50 – Change text to read, “The roof pitch shall be consistent with the primary roof pitch of the design of the main residence ~~and or~~ surrounding garage roof pitches (See Figure #11).” This article says most detached garages are low pitch. Houses are higher pitch. A new garage can't be consistent with both. Fig 11 is wrong.

STAFF RESPONSE – Text amended to provide greater flexibility for homeowners and figure 11 deleted.

Comment [JKS88]: BROPHY COMMENT 51 - Change “principle” to “principal.” The original may be correct if the structure is a church, where principles are important. Else it is the wrong spelling.

STAFF RESPONSE – Change made.

Figure #10. Garage access from street

5. **Single Width Garage Doors:** ~~Single width garage doors should be used in any new garage construction. Double width garage doors may be allowed if vehicle maneuverability is impeded but preference shall be given to designs for garages with single width garage doors.~~ Garage doors should be compatible with the character of the principal structure and shall have a surface that is painted (wood or other material) or a stained wood finish. ~~Metal or vinyl garage doors may be allowed provided they have the appearance of low-gloss painted wood.~~ Doors may incorporate panels and glazing and may derive inspiration from historic trade catalogues. A simple design is also appropriate.
6. **Exterior Cladding:** Cladding, siding, trim and shingles should match or complement the principal structure. In the case of stucco clad residences, it is preferred that the garage be clad with stucco; however synthetic stucco products may be acceptable if they closely resemble the general dimensions, texture, reveal, and appearance of historic stucco. ~~New detached garages behind contributing resources should complement, but not replicate the design of historic houses.~~

In the case of residences that are clad with horizontal wood siding, it is preferred that the garage also be clad with horizontal wood siding, however other high quality materials such as fiber cement board products may be acceptable if it closely resembles the general dimensions, texture, reveal, and appearance of historic wood cladding.

In the case of brick and brick veneer residences, contemporary brick veneer products may be used to create the effect of a single course of brick veneer.

No vinyl or aluminum siding is permitted.
7. **Skylights:** Skylights shall be flat in design.
8. **Windows:** Proportions of windows should be consistent with those of the principal structure. Vinyl windows are not permitted.
9. **Design:** The design of the garage shall complement the overall design of the principal structure (see Figure #11).

Comment [SJ89]: BROPHY COMMENT 52 – Change text to read, “Single Width-Garage Doors: Single width garage doors should be used in any new garage construction. Double width garage doors may be allowed if vehicle maneuverability is impeded but preference shall be given to designs for garages with single width garage doors. Garage doors should be compatible with the character of the principal structure and shall have a surface that is painted (wood or other material) or a stained wood finish. Doors may incorporate panels and glazing and may derive inspiration from historic trade catalogues. A simple design is also appropriate.” Double width garage doors on double garages are by far the dominant type. Doors other than wood are allowed.

STAFF RESPONSE – Text amended.

Comment [SJ90]: BRADLEY COMMENT 6 – Permit metal or vinyl garage doors.

STAFF RESPONSE – Text added to address this.

Comment [SJ91]: BROPHY COMMENT 53 – Change text to delete, “New detached garages behind contributing resources should complement, but not replicate the design of historic houses.” The Sistine Chapel syndrome. You like existing “significant” garages (most none are) but don’t want any more of them. If someone wants to build a new garage that is a “contributing” garage I am all for it.

STAFF RESPONSE – No change made. An important preservation principle is compatibility. Additions and new construction (to include garages) should be designed in a manner that makes clear what is historic and what is new to avoid fooling viewers into thinking the additions are historically important while ensuring they do not stand out like twenty-first century construction. Adding anachronistic ornamental details to new construction/additions can lead viewers into believing a new building is historic. We want to avoid this.

Comment [SJ92]: BROPHY COMMENT 54 - Fig 11 new garage does not fit. Page 25A says “Most detached garages ... are ... low-pitched. Double width garage doors are the dominant type.

STAFF RESPONSE – Figure deleted.

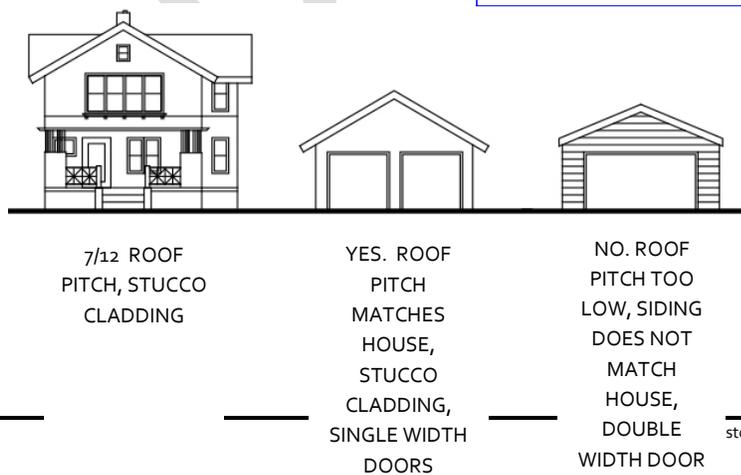


Figure #11. Garage roof pitch and design complement the main structure

GLOSSARY OF TERMS

Must: ~~This guideline must be followed unless the HPC allows an exception for good cause.~~

Shall: ~~There may be some exceptions, but in general, this guideline is steadfast. This guideline must be followed unless the HPC allows an exception for good cause.~~

Should: Exceptions allowed for good cause by city staff, but as a rule, this should be followed.

Encouraged: Just as it reads, encouraged, but not required.

Highly encouraged: Not required, but highly encouraged.

Not encouraged: Not encouraged, but not unpermitted.

Permitted: Allowed under any and all circumstances.

Not permitted: Not allowed under any circumstances without an exception granted by the HPC.

Comment [SJ93]: BROPHY COMMENT 55 - what is the difference between "must" and "shall"? and who allows the exceptions?

STAFF RESPONSE – Text amended to eliminate the term "must."

Comment [SJ94]: BROPHY COMMENT 56 – Change text to, "Should: ~~Exceptions allowed, but as a rule, this should be followed.~~ in general this should be followed but some flexibility is encouraged." and who allows the exceptions? IMHO this is also critical I am very familiar with the National Electrical Code. "Should" is essentially not used in a regulatory sense.

STAFF RESPONSE – Text amended to clarify the meaning without using another term (encouraged) in the definition.